

1. Agenda

Documents:

[TOWN COUNCIL AGENDA 12-12-19.PDF](#)

2. Agenda Addendum

Documents:

[TOWN COUNCIL ADDENDUM NO. 1 12-12-19.PDF](#)

3. Meeting Materials

Documents:

[COUNCIL PACKET 12-12-19.PDF](#)

4. Notices

Documents:

[PUBLIC NOTICE OF CONTINGENT FEE CONTRACTS.PDF](#)



David A. Rettig, Mayor
Rena Hardeman, Council Place 1
Jimmy Lambert, Council Place 2

Brian Montini, Mayor Pro Tem, Council Place 3
Roger Sessions, Council Place 4
Danny Simpson, Council Place 5

**Town Council Agenda
Regular Meeting
Thursday, December 12, 2019 at 6:30 pm
Chamber Room - 1500 Commons Circle, Suite 300 – Northlake, Texas 76226**

Notice is hereby given as required by Title 5, Chapter 551.041 of the Government Code that the Northlake Town Council will meet in a work session and regular meeting on Thursday, December 12, 2019 at 6:30 pm at the Northlake Town Hall in the Chamber Room, 1500 Commons Circle, Suite 300, Northlake, Texas 76226. The items listed below are placed on the agenda for discussion and/or action

1. Call Regular Work Session to Order
Invocation given by Pastor Dusty Burris, Cornerside Bible Church
Pledge of Allegiance to the American Flag
2. Briefing Items
 - A. TXDOT Driveway Access Town Coordination
 - B. Design Options for North Water Tower
 - C. Public Works Update and Overview
 - D. Ridgeview Estates Development Options
3. Call Regular Meeting to Order
4. Public Input
This item is available for citizens to address the Town Council on any matter. The presiding officer may ask the citizen to hold his or her comment on an agenda item until that agenda item is reached. By law, no deliberation or action may be taken on the topic if the topic is not posted on the agenda. The presiding officer reserves the right to impose a time limit on this portion of the agenda
5. Regular Items
 - E. Consider for approval a Final Plat of Canyon Falls Village W8 & W9, a phase of the Canyon Falls development consisting of 70 single-family residential lots and 2 HOA/Open Space lots on approximately 16.30 acres of land in the MEP & PRR Survey, Abstract No. 913, generally located north of the terminus of Glendale Lane approximately 650 feet north of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD). Nash Canyon Falls, LLC is the owner. Newland Real Estate Group, LLC is the applicant/developer. J. Volk Consulting, Inc. is the engineer/surveyor. Case # FP-19-012
 - F. Consider for approval a Final Plat of Lot 1, Block A, Elizabeth Town Addition, a 1.527-acre tract of land out of the G.W. Shamblin Survey, Abstract No. 1191, bounded by IH 35W on the north and west, Old Elizabethtown Road on the east, and vacant land in the City of Fort Worth on the south, and zoned Mixed-

Use Planned Development (MPD). Sahil Property LLC is the owner. North Lake Lodging is the applicant/developer. CBG Surveying Texas LLC is the surveyor. Case # FP-19-015

- G. Consider for approval a Site Plan for Best Western, a proposed 45,380 square-foot, 61-room hotel on 1.527 acres, to be platted as Lot 1, Block A, Elizabeth Town Addition, bounded by IH 35W on the north and west, Old Elizabethtown Road on the east, and vacant land in the City of Fort Worth on the south, and zoned Mixed-Use Planned Development (MPD). Sahil Property LLC is the owner. Northlake Lodging Development is the applicant/developer. Triangle Engineering is the engineer. Case # SP-19-006
- H. Consider for approval a Final Plat of Lot 8, Town Commons, a 1.172-acre tract of land out of the Patrick Rock Survey, Abstract No. 1063, generally located on the north side of FM 407 approximately 300 feet west of Harvest Way, and zoned Mixed-Use Planned Development (MPD). Northlake Development LTD is the owner. Office Equity Solutions is the applicant/developer. Baird, Hampton & Brown Inc. is the engineer/surveyor. Case # FP-19-013
- I. Consider for approval a Site Plan of Northlake Commons Phase 7, a proposed one-building, 10,212 square-foot commercial development on 1.115 acres situated in the Patrick Rock Survey, Abstract No. 1063, to be platted as Lot 8, Town Commons, generally located on the north side of FM 407 approximately 300 feet west of Harvest Way, and zoned Mixed-Use Planned Development (MPD). Northlake Development LTD is the owner. Office Equity Solutions is the applicant/developer. Baird, Hampton & Brown Inc. is the engineer/surveyor. Case # SP-19-007
- J. Consider for approval a resolution authorizing the Town Administrator to enter into a developer participation agreement with Fellowship of the Parks Baptist Church, for the construction of an oversized water line and related infrastructure improvements, being extended to serve Lot 1, Block A, Fellowship of the Parks
(Resolution No. 19-38)
- K. Consider for approval a resolution of the Town Council approving and authorizing the Town Administrator to enter into a contract with AAA Data Communications, Inc. for the installation of a camera monitored security and controlled access system
(Resolution No. 19-34)
- L. Consider for approval a resolution for professional services for Delinquent Court Collections
(Resolution No. 19-35)
- M. Consider for approval a resolution for professional services for Delinquent Property Tax Collections
(Resolution No. 19-36)
- N. Consider for approval a resolution with the City of Justin for the Farm-to-Market 407 Improvement Project Joint Support for Alignment and Scope
(Resolution No. 19-37)
- O. Consider cancelling the January 9th, 2020 Council Meeting

P. Consider for approval the Town Council Meeting Minutes of November 14, 2019

6. Convene into Executive Session

Pursuant to Texas Government Code, annotated, Chapter 551 Subchapter D:

a. Section 551.071 authorizes a governmental body to consult with its attorney in an executive session to seek his or her advice on a legal matter. It provides as follows: A governmental body may not conduct a private consultation with its attorney except: (1) When the governmental body seeks the advice of its attorney about: (a) pending or contemplated litigation; or (b) a settlement offer; or (2) on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter. The Town Council may adjourn into executive session for consultation with the Town Attorney regarding:

- (i) Legal advice on any matter related to any posted agenda item; or
- (ii) Legal advice related to Ridgeview Estates development options; or
- (iii) Pending or contemplated litigation; or
- (iv) Supreme Court of Texas - Town of Northlake vs City of Justin. No. 18-0651; or
- (v) Case # FP 18-020 considered by the Town at the January 24, 2019 Town Council meeting; or
- (vi) Potential litigation related to Eagleton and Applewood road failures; or
- (vii) Potential litigation related to Dale Earnhardt Way road failures; or
- (viii) Interlocal agreement between Town and City of Fort Worth executed on August 6, 1997.

b. Section 551.087 authorizes a governmental body to discuss in execution session regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations or to deliberate the offer of a financial or other incentive to such a business prospect. The Town Council may adjourn into executive session to discuss or deliberate:

- (i) Purchase and Sales Agreement for the Hotel Conference Center Development
- (ii) Management Agreement for the Hotel Conference Center Development

7. Open Session

Q. Consider for approval a resolution authorizing the Town Administrator to enter into a Purchase and Sales Agreement for the purchase of property on which the Town Conference Center will be located and which the partnering host hotel will be collocated

R. Consider for approval a resolution authorizing the Town Administrator to enter into a Management Agreement for the management by Lodging Host, Inc. of the Town Conference Center as agreed to by the approved Development Agreement

8. Adjournment

CERTIFICATION

I hereby certify that the above agenda was posted on the bulletin board at Town Hall
1500 Commons Circle, Suite 300, Northlake Texas on the 5th day of December by 6:00 pm


Shirley Rogers, Town Secretary

NOTE: The Town Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above as authorized by Texas Government Code Section 551.071(Consultation with Attorney); Section 551.072 (Deliberations about Real Property); 551.073 (Deliberations about Gifts and Donations); 551.074 (Personnel Matters); 55.076 (Deliberations about Security Devices); 551.087 (Economic Development Negotiations)



David Rettig, Mayor
Rena Hardeman, Council Place 1
Jimmy Lambert, Council Place 2

Brian Montini, Mayor Pro Tem
Roger Sessions, Council Place 4
Danny Simpson, Council Place 5

**Town Council Agenda Addendum No. 1
Thursday, December 12, 2019 at 6:30 pm
1500 Commons Circle, Suite 300 – Chamber Room
Northlake, Texas 76226**

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The following is amended as follows on Item 5. Regular Items

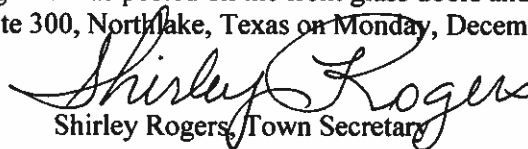
- L. Consider for approval for professional services for Delinquent Court Collections
 - i. Public Notice of Contingent Fee Contract
 - ii. Resolution No. 19-35 and findings as required by Section 2254.1036 of Texas Government Code
- M. Consider for approval for professional services for Delinquent Property Tax Collections
 - i. Public Notice of Contingent Fee Contract
 - ii. Resolution No. 19-36 and findings as required by Section 2254.1036 of Texas Government Code

The following is added to Item 6. Executive Session

- c. Section 551.074 authorizes certain deliberations about officers and employees of the governmental body to be held in executive session. The Town Council may adjourn into executive session for deliberations regarding:
 - i. Town Administrator Compensation

CERTIFICATION

I hereby certify that the above agenda was posted on the front glass doors and bulletin board at Town Hall 1500 Commons Circle, Suite 300, Northlake, Texas on Monday, December 9, 2019 by 4:00 pm


Shirley Rogers, Town Secretary

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1500 Commons Circle, Suite 300, Northlake Texas on the 5th day of December by 6:00 pm


Shirley Rogers, Town Secretary

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Work Session

Agenda Item 1



Briefing Items

Agenda Item 2

TXDOT DRIVEWAY ACCESS TOWN COORDINATION OPTIONS

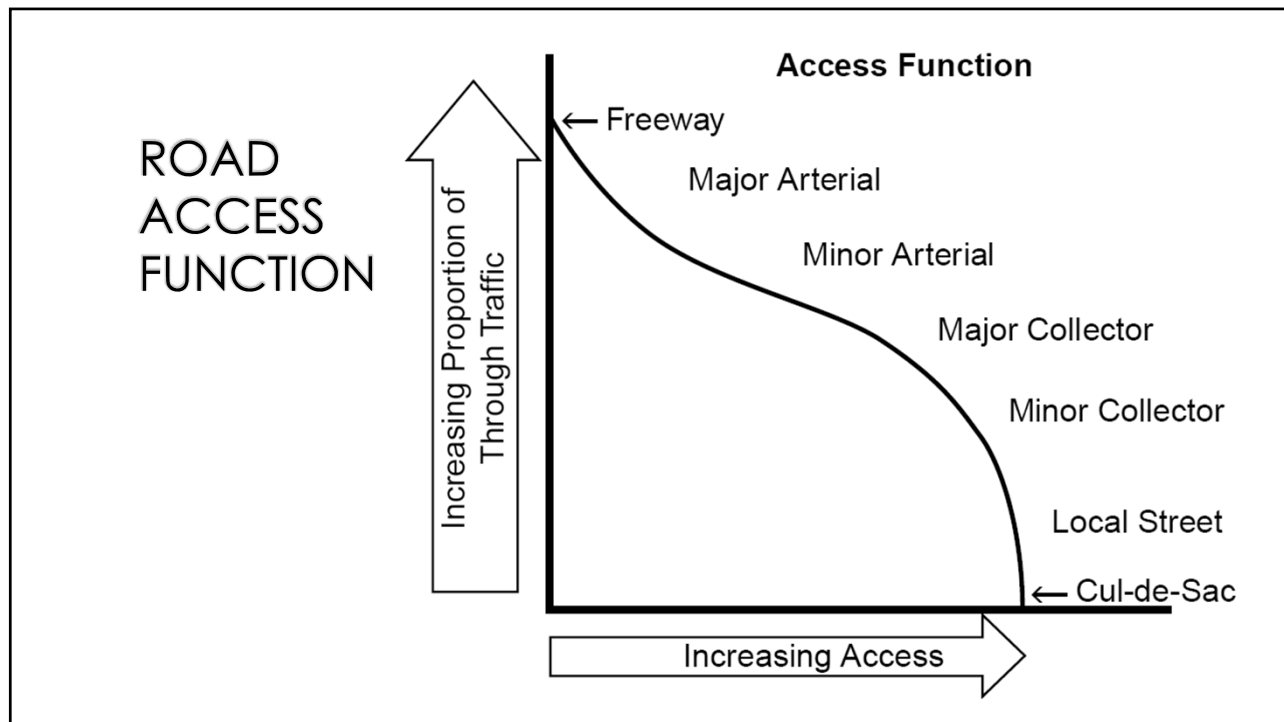
TOWN OF NORTHLAKE
TOWN COUNCIL MEETING
DECEMBER 12, 2019

1

ACCESSIBILITY VS. MOBILITY

- TXDOT ROADWAYS ARE PUBLIC
- ACCESS IS NOT DENIED TO A LEGAL VEHICLE
- EVERY PROPERTY MUST HAVE ACCESS TO ROAD SYSTEM
- EXPECTATION OF SERVICE LEVEL – TRAVEL TIME TO MAJOR ROADWAY
- TOO MANY ACCESS POINTS HINDER MOBILITY
- DRIVEWAY AND CROSS STREET SEPARATION ENHANCES MOBILITY
- SEPARATION DISTANCES BASED ON ANTICIPATED TRAFFIC VOLUME AND ACCELERATION OF ENTERING VEHICLE TO TRAFFIC SPEED

2



3

TXDOT DRIVEWAY SEPARATION

- TO MAINTAIN MOBILITY, SEPARATION BASED ON SPEED
- FASTER SPEEDS – GREATER DRIVEWAY SEPARATION
- 30 MPH – 200 FT
- 35 MPH – 250 FT
- 40 MPH – 305 FT
- 45 MPH – 360 FT
- 50 MPH – 425 FT

4

TXDOT DRIVEWAY SEPARATION

Other State Highways -- Minimum Driveway Spacing Requirements 	
Posted Speed (mph)	Distance (feet)
≤ 30	200
35	250
40	305
45	360
≥ 50	425

5

NORTHLAKE DRIVEWAY SEPARATION

- TOWN SEPARATION BASED ON USE (ZONING)
- THROUGH PLATTING EVERY SUBDIVIDED LOT HAS ACCESS TO ROAD SYSTEM
- SEPARATION FURTHER REFINED BY STREET TYPE
- RESIDENTIAL - EITHER 15 FT (LOCAL STREET) OR 25 FT (COLLECTOR) NOT ALLOWED ON ARTERIAL ROADS
- INDUSTRIAL – 110 FT TO 250 FT DUE TO VEHICLE ACCELERATION SPEED
- COMMERCIAL – 70 FT TO 230 FT DUE TO TRAFFIC VOLUME

6

PLANNING COOPERATION

- TXDOT DOES SEEK TOWN INPUT ON ACCESS
- TXDOT HAS TOWN REVIEW ACCESS PERMIT PRIOR TO SUBMITTING
- TXDOT'S GOAL IS TO PROVIDE MOBILITY
- TOWN'S GOAL IS TO ENSURE ACCESS AND SERVICE LEVEL
- TXDOT DOES CONSULT TOWN AND THOROUGHFARE PLANS
- TXDOT AND TOWN ATTEMPT TO PLAN FOR FUTURE TRAFFIC
- ALSO PLAN FOR ROAD TYPE (I.E. DIVIDED, LIMITED ACCESS, ETC.)

7

DRIVEWAY ACCESS COORDINATION OPTIONS

- OPTION ONE: NO TOWN REVIEW
- OPTION TWO: TOWN DRIVEWAY ACCESS PLAN
- OPTION THREE: COUNCIL APPROVAL OF TXDOT EXCEPTIONS
- OPTION FOUR: CURRENT PROCESS

8

OPTION ONE: NO TOWN REVIEW

- STRICTLY FOLLOW TXDOT DRIVEWAY SEPARATION REQUIREMENTS
- PROS:
 - MOST EFFICIENT FOR TOWN
 - TXDOT SEPARATION MORE RESTRICTIVE THAN TOWN'S
- CONS:
 - MISSED OPPORTUNITIES FOR COOPERATION (ESPECIALLY IN ETJ)
 - WITHOUT PLATTING AUTHORITY, TXDOT MUST GIVE EVERY PROPERTY OWNER ACCESS

9

OPTION TWO: LOCAL ACCESS MANAGEMENT PLAN

- TOWN DEVELOPS AND SUBMITS DRIVEWAY ACCESS PLAN WHICH TXDOT FOLLOWS
- PROS:
 - AFTER CREATION, MINIMAL TOWN INVOLVEMENT (E.G. FORT WORTH)
- CONS:
 - INITIAL TIME AND COSTS TO CREATE ACCESS PLAN
 - LIMITED COORDINATION IF PLAN DOES NOT COVER EXCEPTION

10

OPTION THREE: COUNCIL APPROVED EXCEPTIONS

- TOWN FORWARDS ACCESS PERMITS THAT MEET TXDOT REQUIREMENTS BUT BRING EXCEPTIONS TO COUNCIL FOR CONSIDERATION
- PROS:
 - ALLOWS FOR SOME COORDINATION
- CONS:
 - DELAYS IN PERMITTING BASED ON COUNCIL MEETING SCHEDULE
 - PROPERTY OWNER CAN STILL SEEK WAIVER FROM TXDOT

11

OPTION FOUR: CURRENT PROCESS

- TOWN STAFF FOLLOWS EDM AND MTP, USES PLATTING TO ENSURE ACCESS FOR ALL PROPERTIES, MEETS TXDOT DRIVEWAY SEPARATION IN MOST CASES
- PROS:
 - ENSURE TOWN STANDARDS MET
 - ENSURE TXDOT STANDARDS MET
 - ABILITY TO NEGOTIATE FOR BEST OUTCOME FOR ALL EFFECTED PROPERTY OWNERS (E.G. UST ADDITION)
- CONS:
 - PROPERTY OWNER CAN STILL SEEK WAIVER FROM TXDOT

12

Memo

To: Honorable Mayor and Town Council
From: Drew Corn, Town Administrator
CC: Eric Tamayo, Public Works Director
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Elevated Water Storage Tank Design Options

On November 14, 2019, the Town of Northlake awarded the construction contract for a 1.25 MG elevated water storage tank to the lowest responsible bidder, Landmark Structure I, L.P., in the amount of \$3,069,000. The budget for water system improvements in the northern pressure plain is \$3,600,000 and includes the elevated tank and the connecting water pipeline. The pipeline contract was awarded separately in an amount not to exceed \$260,000. Remaining project funds of \$271,000 may be dedicated to design elements to enhance the elevated storage tank.

On December 3, 2019, Town staff met with Landmark Structures to prepare for construction of the water tower. The design elements could include any of the following:

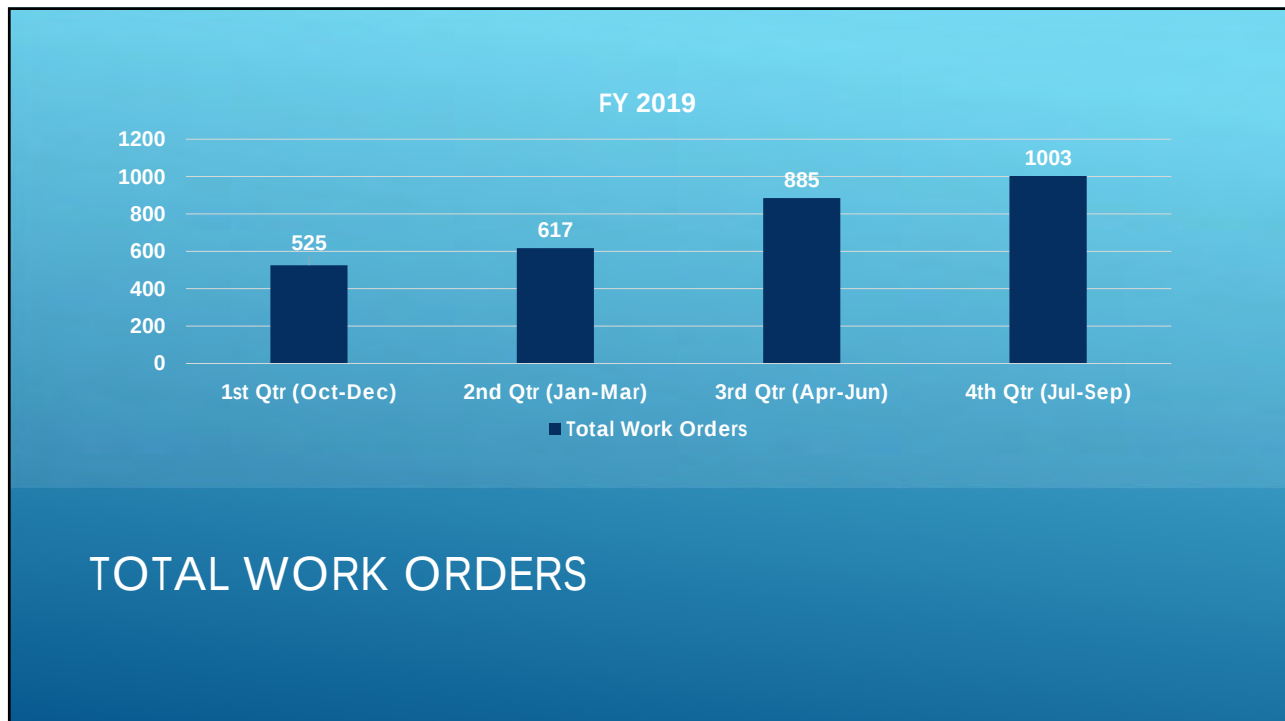
1. Lighting enhancements of the bowl and/or column, starting at \$50,000 with minimal delays
2. Enhanced paint including murals, coloring and/or wrap-around graphics, ranging from \$60,000 to \$300,000 with moderate delays
3. Augmented bowl shape as compared to standard with substantial cost increase and project delays
4. Enhancements or extensions to the top of the bowl with substantial cost increase and project delays

Landmark representatives were asked to provide rough estimates of additional costs and time associated with the various design elements. As Staff receives updated information from Landmark, we will forward to Town Council. Depending on which design option the Council chooses, significant redesign will be required.

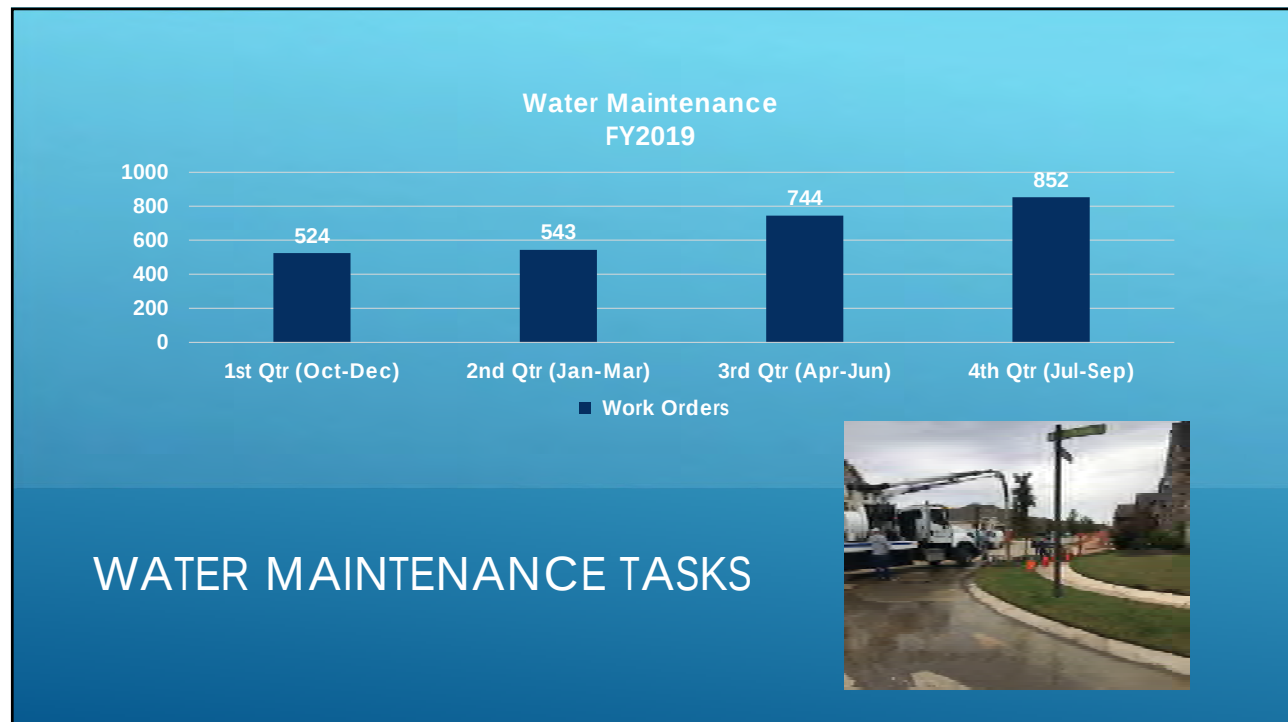
Please contact the Town at 940.648.3290, if you have any questions or comments.



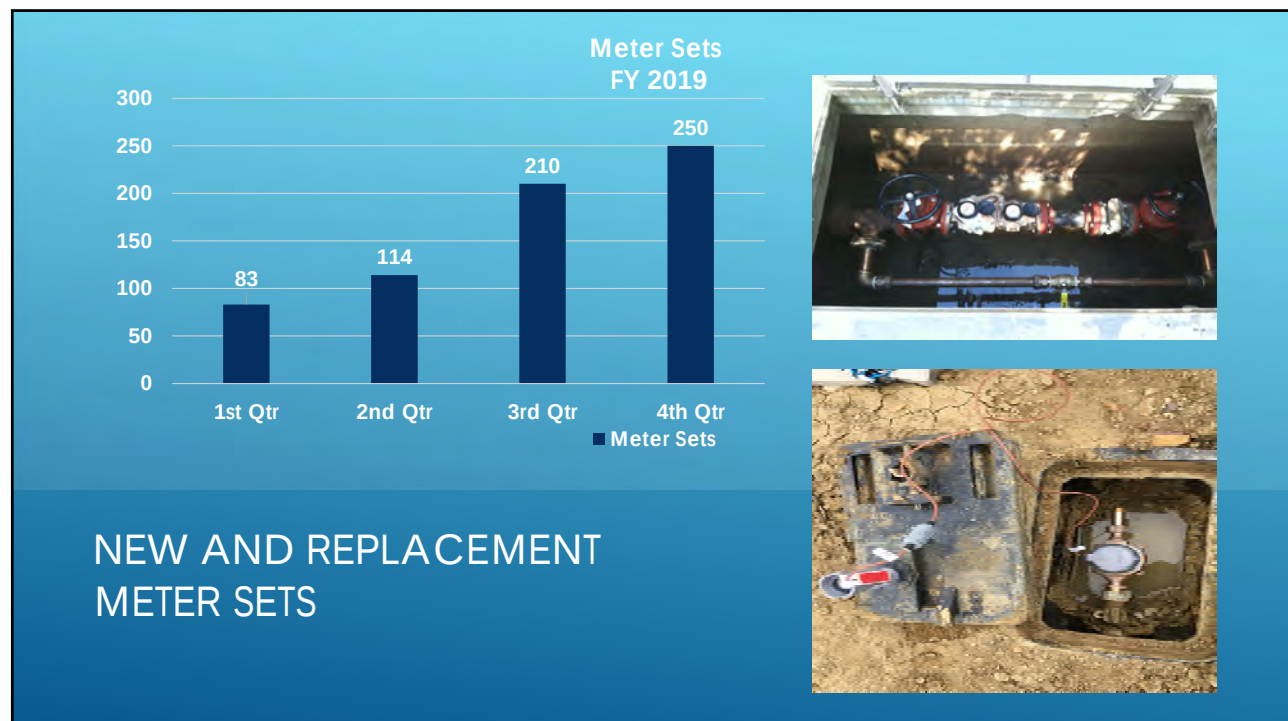
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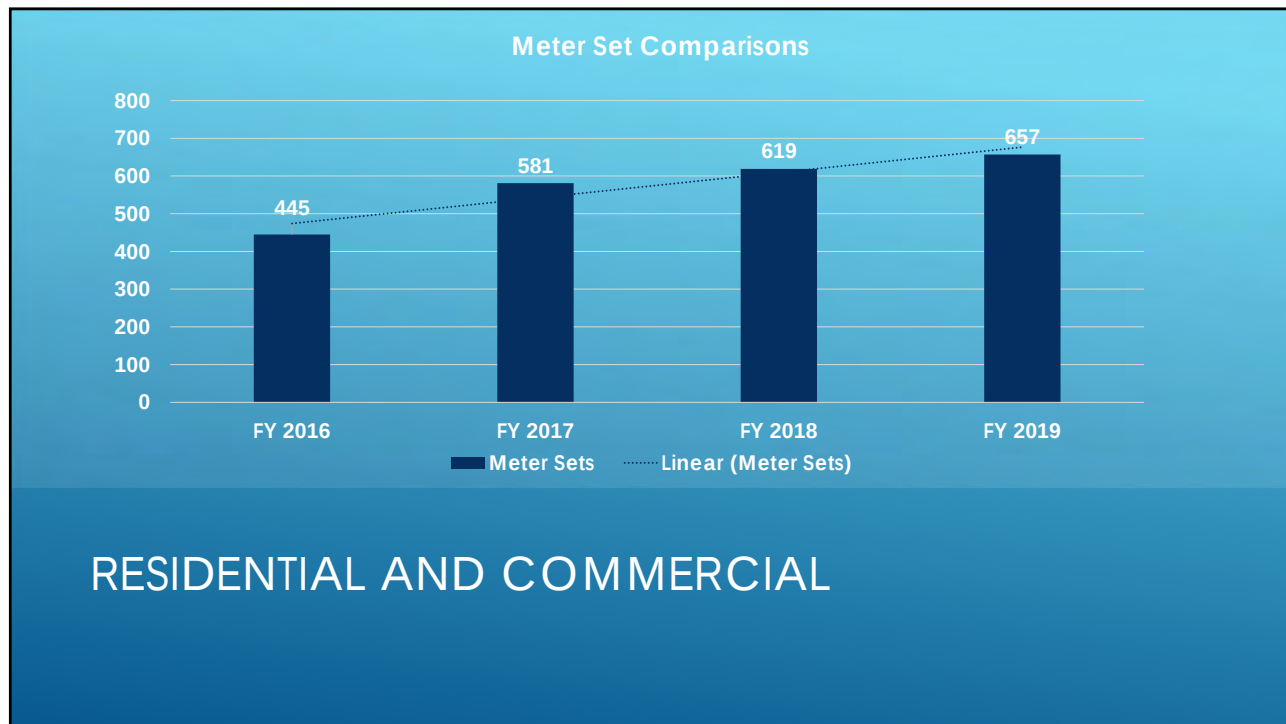
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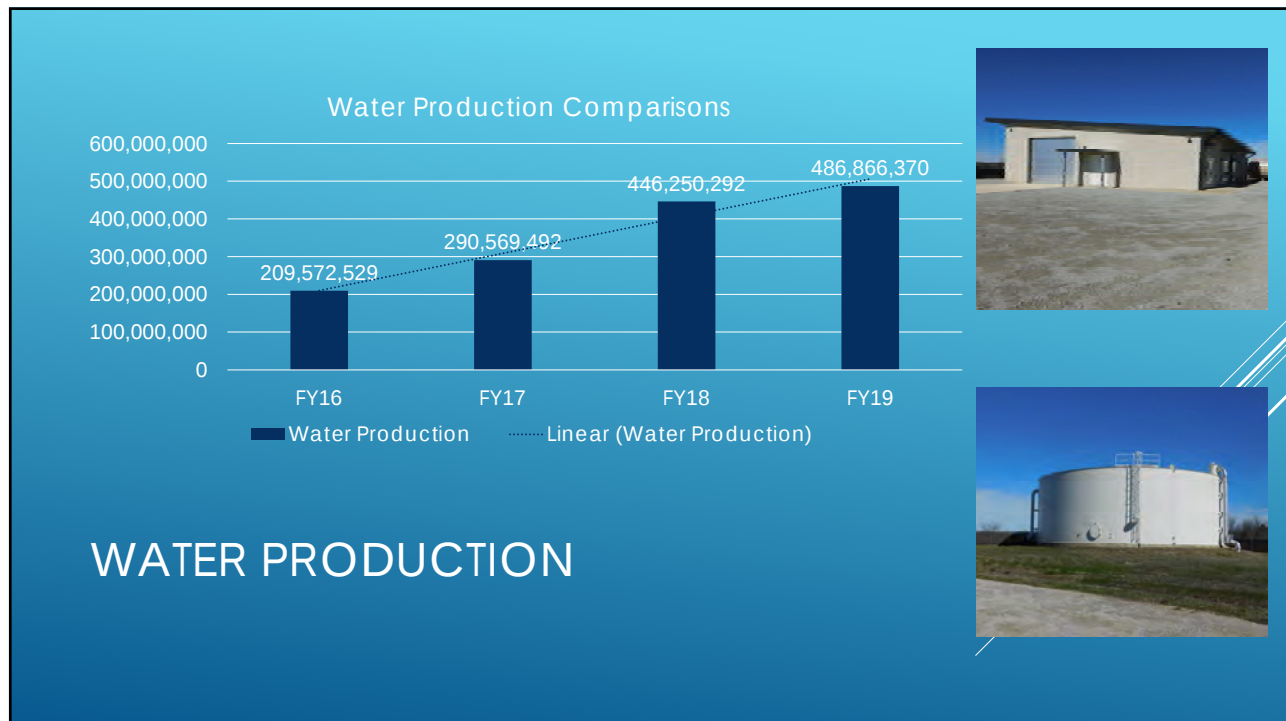
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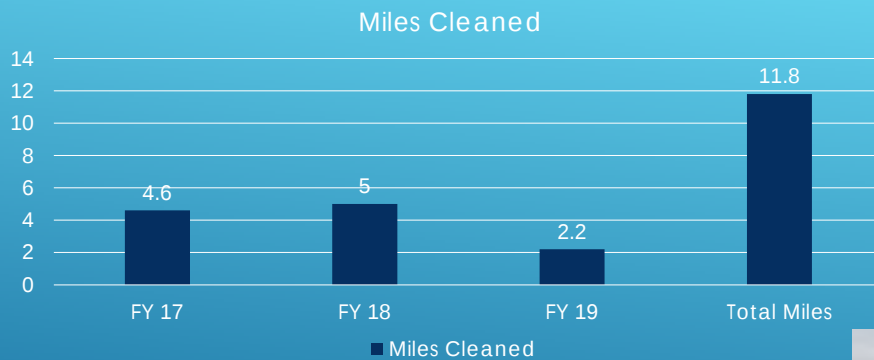
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Locations	Responsibility	Daily	Weekly	Monthly	Quarterly	Other
Take Points	Northlake	CES	CES	CES	CES	
Entry Points	Northlake	CDR CES	CES		CES	CES (semiannually)
	TCEQ				NO3/NO2	NO3/NO2 (annually)
Distribution	Northlake	CDR CES	CES	Coliform CES	CES	Pb/Cu (annually)
	TCEQ				DBPs	Asbestos (nine year)
Control Points	Northlake		CES			
Exit Points	Northlake		CES			

CDR – Compliance Disinfectant Residuals, CES – Chloramine Effectiveness Sampling

SYSTEM MONITORING

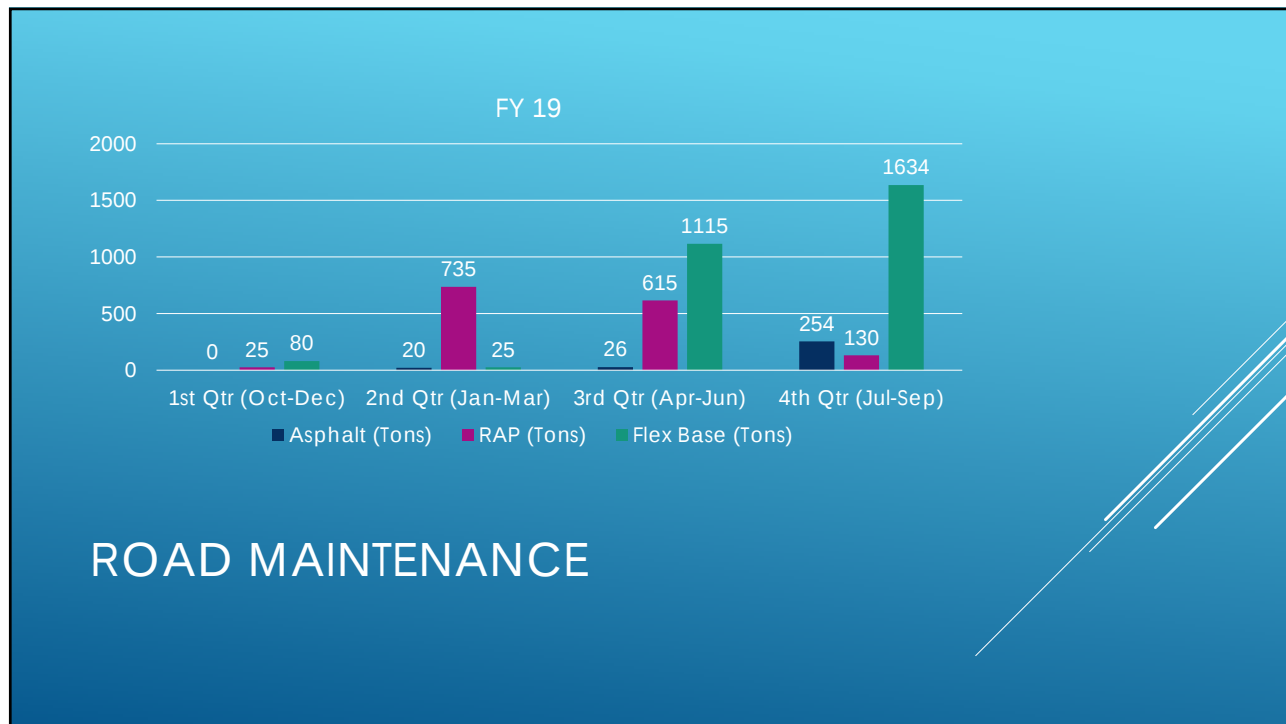
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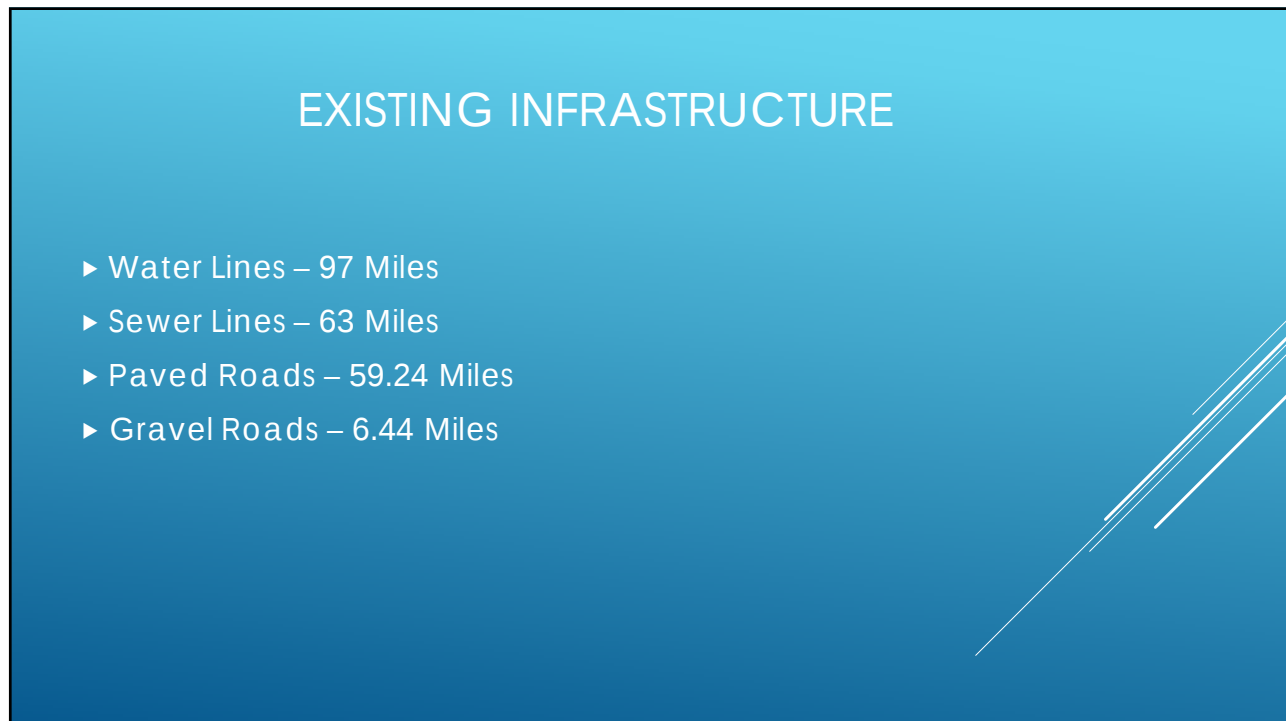
SEWER MAIN LINE CLEANING



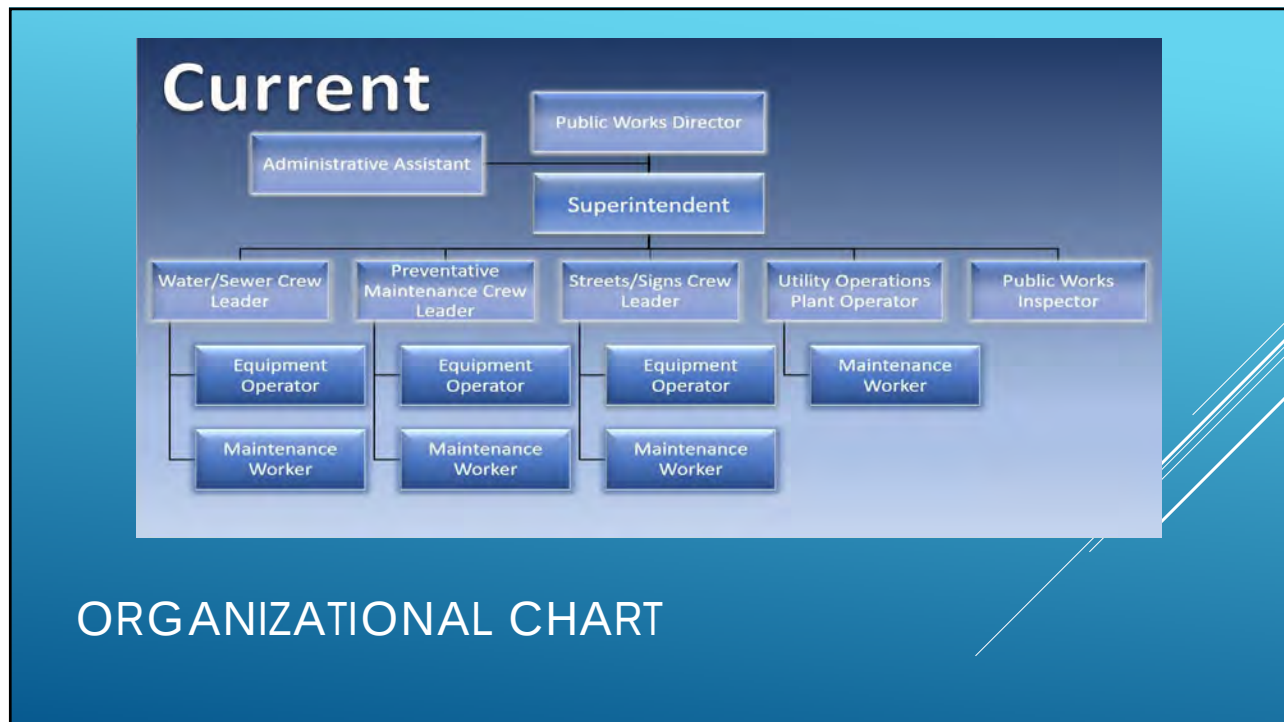
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9



10



11

Name	Position	Hire Date	Time Vacant (Months)
Eric J. Tamayo	PW Director	5/10/11	-
Brandon Doughty	PW Superintendent	10/1/19	1 (FY 20)
Mark Toler	PW Inspector	2/11/14	-
Kyle Brown	Crew Leader	4/19/16	-
Shannon Gummelt	Crew Leader	12/18/17	-
Tara Wilson	Administrative Asst	1/9/18	-
Collan Gamblin	Equipment Operator	10/22/18	1
Jacob McLeod	Equipment Operator	4/30/19	2
Samuel Karnes	Maintenance Worker	6/25/19	2
Roger Davis	Maintenance Worker	9/13/19	4
Albert Trevino	Maintenance Worker	9/17/19	4
Dillan McGuire	Equipment Operator	11/26/19	2 (FY 20)
Nicholas Bozzerallo	Plant Operator	11/26/19	8
Stephen Sims	Maintenance Worker	11/26/19	2 (FY 20)
Joshua Powell	Crew Leader	12/2/19	2 (FY 20)

12

TRAINING

- ❖ Texas Commission on Environmental Quality (TCEQ) Training
 - ❖ Basic Water Works Operations
 - ❖ Water Distribution
 - ❖ Water Utilities Safety
 - ❖ Pump & Motor Maintenance
 - ❖ Valve & Hydrant Maintenance
 - ❖ Water Utilities Management
 - ❖ Backflow Prevention Assembly Tester (BPAT)
 - ❖ Customer Service Inspector (CSI)
 - ❖ Basic Wastewater Operations
 - ❖ Wastewater Collection
 - ❖ Wastewater Treatment
 - ❖ On-Site Sewage Facility (OSSF) Designated Representative (DR)

Memo

To: Honorable Mayor and Town Council
From: Drew Corn, Town Administrator
CC: Nathan Reddin, Development Director
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Potential Development Options for Ridgeview Estates

At the November 14th council meeting, Dave Salisbury, a realtor representing Venado Ridge Investors, presented a proposed concept plan for the development of tracts of land totaling about 27 acres in Northlake extra-territorial jurisdiction. The tracts are located on the east side of Faught Road between Prairie View Farms and Creek Meadows. The developer requested the Town consider reducing the minimum lot size for residential served by septic from one acre to three-quarter acre.

Mayor Rettig has requested a council discussion during the briefing items. Staff does not have any briefing materials at this time but will be prepared to comment on various development scenarios. For your convenience, below is a table of existing development conditions and services in the Town compared to development in extraterritorial jurisdiction and the developer's proposal.

	Existing Town Standards and Services	Development in Extraterritorial Jurisdiction	Proposed Voluntary Annexation Agreement
Property Taxes	2.13%	1.83%	2.13%
Police Services	Northlake	Denton County Sheriff's Office	Northlake
Water Service	Northlake	Northlake +50% surcharge	Northlake
Road Maintenance	Northlake	None	Northlake
Lot Size	5-acre	1-acre	0.75-acre

In addition, it may be necessary to go into executive session to receive advice from the Town Attorney.

Please contact me at 940.242.5701 if you have any questions or comments.



Regular Meeting

Agenda Item 3



Public Input

Agenda Item 4



Regular Items

Agenda Item 5

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Final Plat of Canyon Falls Village W8 & W9 (FP-19-012)

Purpose: To consider approval of a Final Plat of Canyon Falls Village W8 & W9, a phase of the Canyon Falls development consisting of 70 single-family residential lots and 2 HOA/Open Space lots on approximately 16.30 acres of land in the MEP & PRR Survey, Abstract No. 913, generally located north of the terminus of Glendale Drive approximately 650 feet north of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD).

Owner: Nash Canyon Falls, LLC

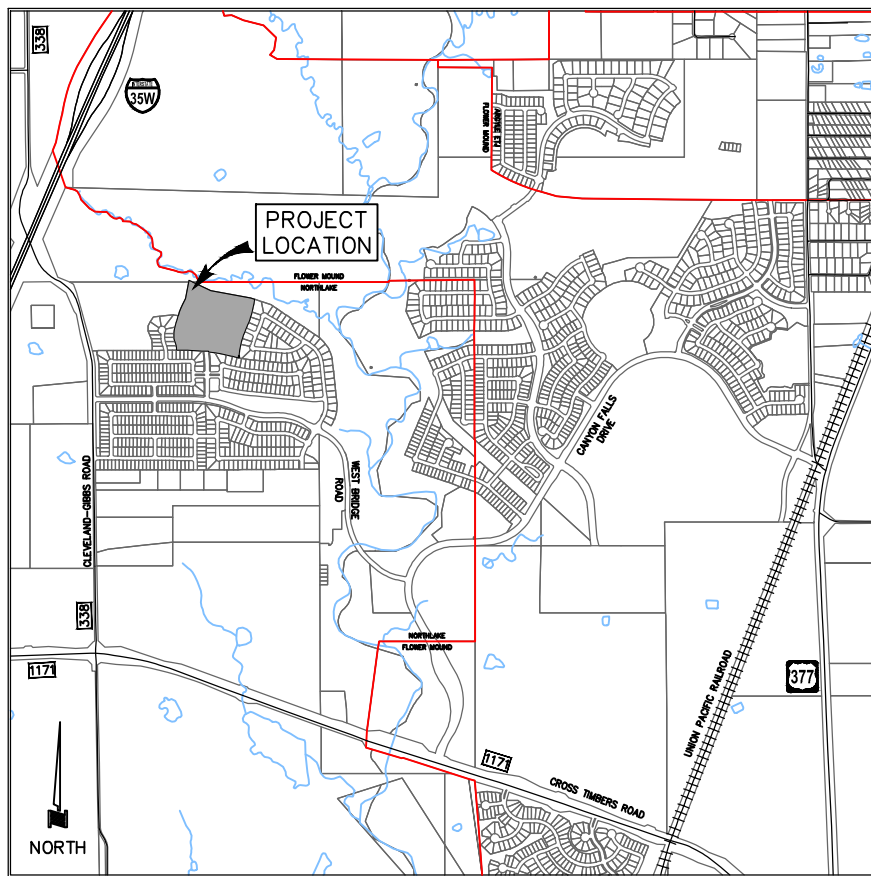
Applicant/Developer: Newland Real Estate Group, LLC

Engineer/Surveyor: J. Volk Consulting, Inc.

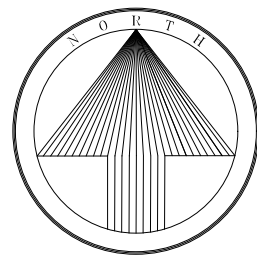
Background: Canyon Falls is a 1,200+ acre mixed-use, master planned community within multiple jurisdictions including the Town of Northlake, the Town of Flower Mound and the Town of Argyle's extraterritorial jurisdiction (ETJ). Zoning for the Northlake portion of the development was established as Mixed-Use Planned Development (MPD) with the approval of Ordinance No. 07-0111A on January 11, 2007. Subsequent amendments to the MPD have been approved with the latest being approved March 26, 2015. The preliminary plat for the portion of Canyon Falls including Village W8 & W9 was approved on November 8, 2012.

Staff Analysis: The applicant has submitted this final plat application in accordance with the requirements of the Unified Development Code (UDC), and it includes 70 single-family residential lots meeting and exceeding the High Density Residential SF-50 (41 lots) and Medium Density Residential SF-60 (29 lots) development standards outlined in the MPD. Access to this phase will be provided via stub-outs of Glendale Drive on the south and Edgerton Lane on the east which will be extended into this phase. Glendale Drive will stub out to the north where it is planned to extend north to intersect with a future street in Flower Mound. The overall layout of Village W8 & W9 substantially conforms to the preliminary plat. Accompanying construction plans for Village W8 & W9 have been reviewed and approved by Town Staff.

Staff Findings: Staff finds the final plat meets all applicable Town requirements.



VICINITY MAP
N.T.S.



SCALE 1" = 60'

LEGEND

- 1/2" IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- <CM> CONTROL MONUMENT
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
- UE UTILITY EASEMENT
- WME WALL MAINTENANCE EASEMENT
- DE DRAINAGE EASEMENT
- WLE WATER LINE EASEMENT
- SSE SANITARY SEWER EASEMENT
- BL BUILDING LINE

FINAL PLAT
OF
CANYON FALLS
VILLAGE W8 & W9

BLOCK A, LOTS 63X, 64-87;
BLOCK B, LOTS 1-17;
BLOCK C, LOTS 1-12;
BLOCK D, LOTS 1-9;
BLOCK H, LOTS 48-55, 56X;

BEING 16.30 ACRES LOCATED IN THE
MEP & PRR SURVEY -
ABSTRACT NO. 913
AN ADDITION IN THE
TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS
CONTAINING 70 SINGLE-FAMILY
RESIDENTIAL LOTS &
2 OPEN SPACE/HOA LOTS
ZONED MIXED-USE
PLANNED DEVELOPMENT (MPD)
HIGH DENSITY RESIDENTIAL (SF-50) &
MEDIUM DENSITY
RESIDENTIAL (SF-60)

Date: December 05, 2019

SHEET 1 OF 2

RECORDING INFORMATION

NOTES:

- ALL PROPOSED LOTS SITUATED IN WHOLE OR IN PART WITHIN THE TOWN'S CORPORATE LIMITS COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF THE GOVERNING ZONING DISTRICT.
- ALL "X" LOTS & COMMON AREAS SHALL BE PEDESTRIAN AND BICYCLE ACCESS EASEMENTS.
- ALL "Y" LOTS & COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- NO STRUCTURES SHALL BE PERMITTED TO BE CONSTRUCTED WITHIN ANY PUBLIC EASEMENTS SHOWN ON THIS PLAT; THE TOWN SHALL HAVE THE RIGHT TO REMOVE ANY STRUCTURE PLACED WITHIN A PUBLIC EASEMENT
- ALL LOT CORNERS TO BE MONUMENTED WITH 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
- ALL LOTS ON THE WEST SIDE OF GLENDALE DRIVE ARE HIGH DENSITY AND ALL LOTS ON THE EAST SIDE OF GLENDALE DRIVE ARE MEDIUM DENSITY PER THE APPROVED PRELIMINARY PLAT.

BEARINGS ARE BASED FROM GPS OBSERVATIONS, BY USING THE TOPCON NETWORK SURROUNDING THE DALLAS-FORT WORTH METROPLEX, ALONG WITH A HIGH PRECISION GEOD MODEL NAD83, NAVD88 TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202. VERIFIED BY THE TOWN OF FLOWER MOUND CONTROL NETWORK, MONUMENT NO. 39. A COMBINED SCALE FACTOR OF 1.0001596 SHALL BE USED TO TRANSLATE TO GRID COORDINATES.

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
972-992-3159
BCRAMER@NEWLANDCO.COM

CURVE TABLE					
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	2°40'36"	1880.00'	43.92'	87.82'	N77°32'23"W 87.82'
C2	6°31'02"	2660.00'	151.44'	302.56'	N79°27'36"W 302.40'
C3	0°45'58"	670.00'	4.48'	8.96'	N2°13'40"W 8.96'
C4	5°45'37"	2660.00'	133.83'	267.43'	N87°20'31"W 267.31'
C5	16°13'00"	445.00'	63.40'	125.95'	N12°09'23"W 125.53'
C6	20°02'27"	155.00'	27.39'	54.22'	N10°14'36"W 53.94'
C7	6°37'53"	1970.00'	114.13'	228.01'	N14°40'06"E 227.88'
C8	6°56'40"	1970.00'	119.53'	238.77'	N21°27'08"E 238.63'
C9	19°05'52"	1159.95'	195.13'	386.64'	S15°59'17"W 384.85'
C10	18°24'41"	1090.00'	176.65'	350.26'	S12°44'19"W 348.76'
C11	14°20'56"	325.00'	40.91'	81.39'	S72°09'24"E 81.18'
C12	88°23'58"	35.00'	34.04'	54.00'	S70°49'05"W 48.80'
C14	9°46'08"	300.00'	25.64'	51.15'	S81°54'22"W 51.09'
C15	92°13'11"	35.00'	36.38'	56.33'	S42°43'57"E 50.45'
C17	88°37'17"	35.00'	34.17'	54.14'	N57°16'42"E 48.90'
C18	12°06'08"	1235.00'	130.92'	260.86'	S19°01'07"W 260.37'
C19	9°14'06"	1015.00'	81.98'	163.60'	N20°27'08"E 163.42'
C20	95°43'53"	35.00'	38.69'	58.48'	N32°01'52"W 51.91'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N83°35'24"W	10.14'
L2	S88°09'19"W	60.00'
L3	N84°57'52"W	10.07'
L4	S38°46'25"E	14.00'
L5	S38°46'25"E	6.94'
L6	N53°48'11"E	22.52'
L7	S35°17'31"E	20.31'
L8	S52°02'47"W	14.09'
L9	S52°02'47"W	7.13'
L10	N42°43'57"W	14.41'

LINE TABLE		
LINE	BEARING	LENGTH
L11	S30°36'10"E	19.96'
L12	N70°49'05"E	13.94'
L13	N58°43'17"E	22.69'
L14	S56°39'42"W	21.59'
L15	N33°44'58"W	20.80'
L16	S32°01'52"E	14.83'
L17	N20°17'43"W	21.01'
L18	N67°57'49"E	20.79'
L19	S57°16'42"W	13.97'

STATE OF TEXAS §
COUNTY OF DENTON §

BEING a tract of land situated in the M.E.P. & P.R.R. SURVEY, ABSTRACT NO. 913, Town of Northlake, Denton County, Texas and being part of that tract of land described as Tract One in Deed to NASH Canyon Falls, LLC, as recorded in Document No. 2015-34494, Deed Records, Denton County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for the northeast corner of Lot 43, Block A of CANYON FALLS-VILLAGE W4 PHASE TWO, an Addition to the Town of Northlake, Denton County, Texas according to the Plat thereof recorded in Document No. 2015-475, Plat Records, Denton County, Texas at the beginning of a curve to the right having a central angle of 06 degrees 56 minutes 40 seconds, a radius of 1,970.00 feet and a chord bearing and distance of North 21 degrees 27 minutes 08 seconds East, 238.63 feet;

THENCE Northerly, with said curve to the right, an arc distance of 238.77 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE North 10 degrees 40 minutes 08 seconds East, a distance of 165.45 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE North 69 degrees 13 minutes 21 seconds East, a distance of 101.53 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE South 64 degrees 58 minutes 56 seconds East, a distance of 222.64 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE South 79 degrees 46 minutes 36 seconds East, a distance of 530.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” set for corner;

THENCE South 71 degrees 28 minutes 17 seconds East, a distance of 54.62 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for the northwest corner of Lot 13, Block D of CANYON FALLS-VILLAGE W7, an Addition to the Town of Northlake, Denton County, Texas according to the Plat thereof recorded in Document No. 2015-157, Plat Records, Denton County, Texas at the beginning of a non-tangent curve to the right having a central angle of 19 degrees 05 minutes 52 seconds, a radius of 1,159.95 feet and a chord bearing and distance of South 15 degrees 59 minutes 17 seconds West, 384.85 feet;

THENCE Southerly, with the west line of said CANYON FALLS-VILLAGE W7 Addition, the following three (3) courses and distances:

Southerly, with said curve to the right, an arc distance of 386.64 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 23 degrees 10 minutes 04 seconds West, a distance of 50.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a curve to the left having a central angle of 18 degrees 24 minutes 41 seconds, a radius of 1,090.00 feet and a chord bearing and distance of South 12 degrees 44 minutes 19 seconds West, 348.76 feet;

Southerly, with said curve to the left, an arc distance of 350.26 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found in the north line of CANYON FALLS-VILLAGE W3 PHASE ONE, an Addition to the Town of Northlake, Denton County, Texas according to the Plat thereof recorded in Document No. 2015-155, Plat Records, Denton County, Texas and also the southwest corner of Lot 45, Block H of said CANYON FALLS-VILLAGE W7 Addition, said point being at the beginning of a non-tangent curve to the right having a central angle of 02 degrees 40 minutes 36 seconds, a radius of 1,880.00 feet and a chord bearing and distance of North 77 degrees 32 minutes 23 seconds West, 87.82 feet;

THENCE Westerly, with said north line, the following three (3) courses and distances:

Westerly, leaving said west line and with said curve to the right, an arc distance of 87.82 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a reverse curve to the left having a central angle of 06 degrees 31 minutes 02 seconds, a radius of 2,660.00 feet and a chord bearing and distance of North 79 degrees 27 minutes 36 seconds West, 302.40 feet;

Westerly, with said curve to the left, an arc distance of 302.56 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

North 83 degrees 35 minutes 24 seconds West, a distance of 10.14 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner in the north line of CANYON FALLS-VILLAGE W4 PHASE ONE, an Addition to the Town of Northlake, Denton County, Texas according to the Plat thereof recorded in Document No. 2015-156, Plat Records, Denton County, Texas, said point being at the beginning of a non-tangent curve to the right having a central angle of 00 degrees 45 minutes 58 seconds, a radius of 670.00 feet and a chord bearing and distance of North 02 degrees 13 minutes 40 seconds West, 8.96 feet;

THENCE Westerly, with the north line of said CANYON FALLS VILLAGE W4 PHASE ONE Addition, the following three (3) courses and distances:

Northerly, with said curve to the right, an arc distance of 8.96 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 88 degrees 09 minutes 19 seconds West, a distance of 60.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

North 84 degrees 57 minutes 52 seconds West, a distance of 10.07 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for the northeast corner of the above mentioned CANYON FALLS-VILLAGE W4 PHASE TWO Addition, said point being at the beginning of a non-tangent curve to the left having a central angle of 05 degrees 45 minutes 37 seconds, a radius of 2,660.00 feet and a chord bearing and distance of North 87 degrees 20 minutes 31 seconds West, 267.31 feet;

THENCE Westerly and northerly, with the north line of said CANYON FALLS-VILLAGE W4 PHASE TWO Addition, the following six (6) courses and distances:

Westerly, with said curve to the left, an arc distance of 267.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

South 89 degrees 46 minutes 41 seconds West, a distance of 76.79 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non-tangent curve to the left having a central angle of 16 degrees 13 minutes 00 seconds, a radius of 445.00 feet and a chord bearing and distance of North 12 degrees 09 minutes 23 seconds West, 125.53 feet;

Northerly, with said curve to the left, an arc distance of 125.95 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a reverse curve to the right having a central angle of 20 degrees 02 minutes 27 seconds, a radius of 155.00 feet and a chord bearing and distance of North 10 degrees 14 minutes 36 seconds West, 53.94 feet;

Northerly, with said curve to the right, an arc distance of 54.22 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner;

North 00 degrees 13 minutes 19 seconds West, a distance of 49.42 feet to a 1/2 inch iron rod with a yellow plastic cap stamped “JVC” found for corner at the beginning of a non-tangent curve to the right having a central angle of 06 degrees 37 minutes 53 seconds, a radius of 1,970.00 feet and a chord bearing and distance of North 14 degrees 40 minutes 06 seconds East, 227.88 feet;

Northerly, with said curve to the right, an arc distance of 228.01 feet to the **POINT OF BEGINNING** and containing 16.30 acres of land, more or less.

LOT ACREAGE		
LOT #	BLOCK	S.F.
64	BLOCK A--VILLAGE W8-W9	6155
65	BLOCK A--VILLAGE W8-W9	6089
66	BLOCK A--VILLAGE W8-W9	6090
67	BLOCK A--VILLAGE W8-W9	6071
68	BLOCK A--VILLAGE W8-W9	8255
69	BLOCK A--VILLAGE W8-W9	10421
70	BLOCK A--VILLAGE W8-W9	7128
71	BLOCK A--VILLAGE W8-W9	6881
72	BLOCK A--VILLAGE W8-W9	6219
73	BLOCK A--VILLAGE W8-W9	5999
74	BLOCK A--VILLAGE W8-W9	6162
75	BLOCK A--VILLAGE W8-W9	6128
76	BLOCK A--VILLAGE W8-W9	6128
77	BLOCK A--VILLAGE W8-W9	6129
78	BLOCK A--VILLAGE W8-W9	6129
79	BLOCK A--VILLAGE W8-W9	6129
80	BLOCK A--VILLAGE W8-W9	6288
81	BLOCK A--VILLAGE W8-W9	9062
82	BLOCK A--VILLAGE W8-W9	14856
83	BLOCK A--VILLAGE W8-W9	7188
84	BLOCK A--VILLAGE W8-W9	6812
85	BLOCK A--VILLAGE W8-W9	6092
86	BLOCK A--VILLAGE W8-W9	6008
87	BLOCK A--VILLAGE W8-W9	7361

LOT ACREAGE		
LOT #	BLOCK	S.F.
1	BLOCK B	8139
2	BLOCK B	6141
3	BLOCK B	6141
4	BLOCK B	6141
5	BLOCK B	6141
6	BLOCK B	6141
7	BLOCK B	6141
8	BLOCK B	6141
9	BLOCK B	7165
10	BLOCK B	8862
11	BLOCK B	6127
12	BLOCK B	6152
13	BLOCK B	6152
14	BLOCK B	6152
15	BLOCK B	6152
16	BLOCK B	6152
17	BLOCK B	9005

LOT ACREAGE		
LOT #	BLOCK	S.F.
1	BLOCK C	9855
2	BLOCK C	8331
3	BLOCK C	8331
4	BLOCK C	8331
5	BLOCK C	8200
6	BLOCK C	10382
7	BLOCK C	10330
8	BLOCK C	8878
9	BLOCK C	8044
10	BLOCK C	8044
11	BLOCK C	8044
12	BLOCK C	10026

LOT ACREAGE		
LOT #	BLOCK	S.F.
1	BLOCK D--VILLAGE W8-W9	8449
2	BLOCK D--VILLAGE W8-W9	7232
3	BLOCK D--VILLAGE W8-W9	7224
4	BLOCK D--VILLAGE W8-W9	7106
5	BLOCK D--VILLAGE W8-W9	14711
6	BLOCK D--VILLAGE W8-W9	11481
7	BLOCK D--VILLAGE W8-W9	7583
8	BLOCK D--VILLAGE W8-W9	7472
9	BLOCK D--VILLAGE W8-W9	8476

LOT ACREAGE		
LOT #	BLOCK	S.F.
48	BLOCK H--VILLAGE W8-W9	9048
49	BLOCK H--VILLAGE W8-W9	7459
50	BLOCK H--VILLAGE W8-W9	7169
51	BLOCK H--VILLAGE W8-W9	17938
52	BLOCK H--VILLAGE W8-W9	10946
53	BLOCK H--VILLAGE W8-W9	7308
54	BLOCK H--VILLAGE W8-W9	7308
55	BLOCK H--VILLAGE W8-W9	7909

PARCEL TABLE - CANYON FALLS - TOWN OF NORTHLAKE			
VILLAGE	HIGH DENSITY	MEDIUM DENSITY	
	SF-50	SF-60	SF-70
VILLAGE W8-W9	41	29	0
PENNINGTON - PHASE THREE	0	66	0
PENNINGTON - PHASE ONE	98	53	0
PENNINGTON - PHASE TWO	81	39	0
VILLAGE E1	0	0	44
VILLAGE E2	37	0	0
VILLAGE E3	57	0	0
VILLAGE E4	0	9	10
VILLAGE W1	0	84	0
VILLAGE W2 - PH 1	99	0	0
VILLAGE W2 - PH 2	51	0	0
VILLAGE W3 - PH 1	0	40	0
VILLAGE W3 - PH 2	0	16	0
VILLAGE W4 - PH 1	46	0	0
VILLAGE W4 - PH 2	63	0	0
VILLAGE W7	0	0	62
TOTAL	573	336	116
MAXIMUM NUMBER OF DWELLING UNITS	600	400	200

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, NASH CANYON FALLS, LLC, acting herein by and through its duly authorized officers, does hereby adopt this plat designated herein as CANYON FALLS – VILLAGE W8 & W9, an addition to the Town of Northlake, Denton County, Texas.

The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys and rights-of-way are hereby dedicated in fee simple to the Town of Northlake for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Northlake.

BY: NASH CANYON FALLS, LLC
A DELAWARE LIMITED LIABILITY COMPANY

BY: NEWLAND REAL ESTATE GROUP, LLC
A DELAWARE LIMITED LIABILITY COMPANY
ITS DEVELOPMENT MANAGER

BY: _____
BRIAN CRAMER, VICE PRESIDENT

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared BRIAN CRAMER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2018.

Notary Public in and for the State of Texas

NOTARY SEAL
(Ink Stamp Only)

My Commission Expires: _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I have prepared this plat from an actual survey of the land, and that the corner monuments shown thereon were found or placed under my personal supervision in accordance with the platting rules and regulations of Town of Northlake, Denton County, Texas.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2018.

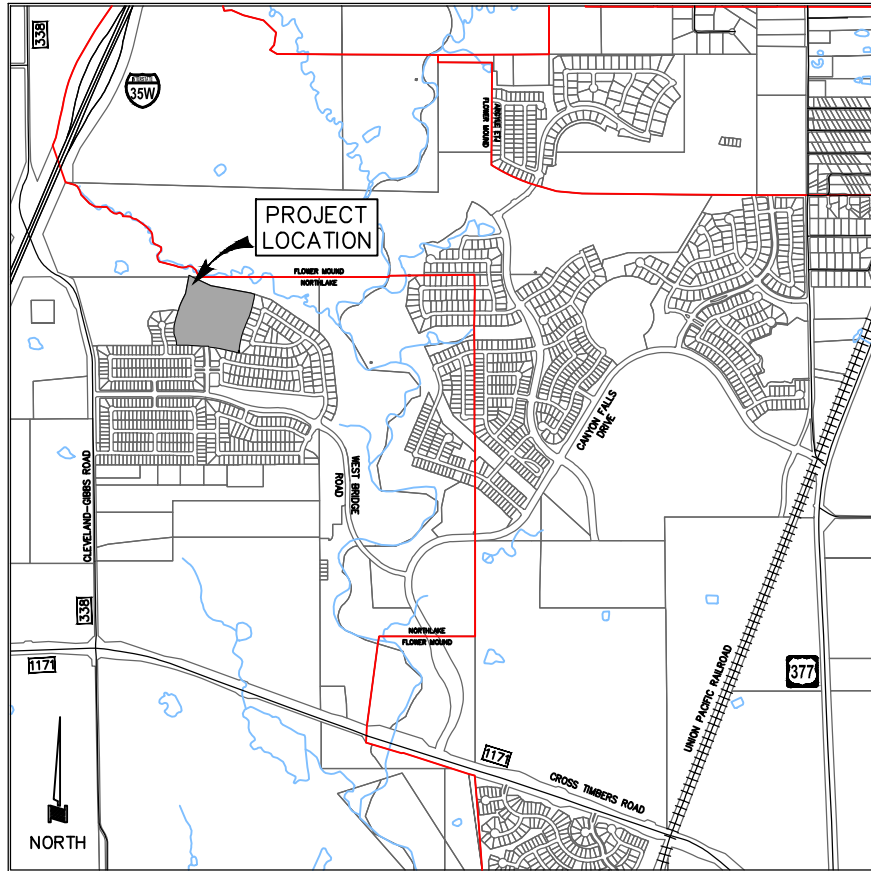
Notary Public in and for the State of Texas

My Commission Expires: _____

NOTES:

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- ALL "X" LOTS & COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- NO STRUCTURES SHALL BE PERMITTED TO BE CONSTRUCTED WITHIN ANY PUBLIC EASEMENTS SHOWN ON THIS PLAT; THE TOWN SHALL HAVE THE RIGHT TO REMOVE ANY STRUCTURE PLACED WITHIN A PUBLIC EASEMENT
- ALL LOT CORNERS TO BE MONUMENTED WITH 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.

BEARINGS ARE BASED FROM GPS OBSERVATIONS, BY USING THE TOPCON NETWORK SURROUNDING THE DALLAS-FORT WORTH METROPLEX, ALONG WITH A HIGH PRECISION GEOID MODEL NAD83, NAVD88 TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202. VERIFIED BY THE TOWN OF FLOWER MOUND CONTROL NETWORK, MONUMENT NO. 39. A COMBINED SCALE FACTOR OF 1.0001586 SHALL BE USED TO TRANSLATE TO GRID COORDINATES.



VICINITY MAP
N.T.S.

APPROVED BY THE TOWN COUNCIL ON:

Date _____

Mayor, Town of Northlake

Town Secretary, Town of Northlake

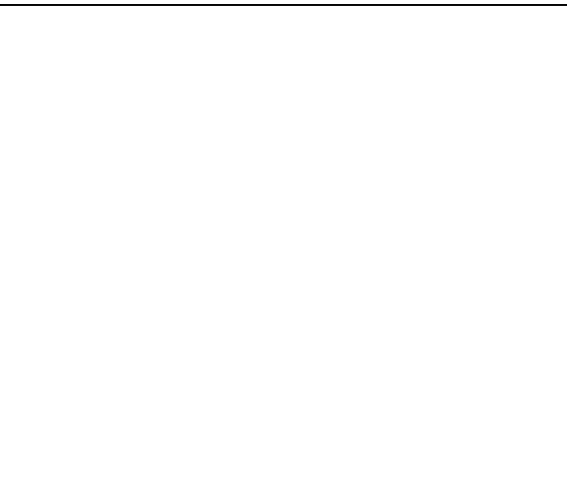
FINAL PLAT
OF
**CANYON FALLS
VILLAGE W8 & W9**

BLOCK A, LOTS 63X, 64-87;
BLOCK B, LOTS 1-17;
BLOCK C, LOTS 1-12;
BLOCK D, LOTS 1-9;
BLOCK H, LOTS 48-55, 56X;

BEING 16.30 ACRES LOCATED IN THE
MEP & PRR SURVEY -
ABSTRACT NO. 913
AN ADDITION IN THE
TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS
CONTAINING 70 SINGLE-FAMILY
RESIDENTIAL LOTS &
2 OPEN SPACE/HOA LOTS
ZONED MIXED-USE
PLANNED DEVELOPMENT (MPD)
HIGH DENSITY RESIDENTIAL (SF-50) &
MEDIUM DENSITY
RESIDENTIAL (SF-60)

Date: November 19, 2019

SHEET 2 OF 2



RECORDING INFORMATION

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
972-992-3159
BCRAMER@NEWLANDCO.COM

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Final Plat of Elizabeth Town Addition (FP-19-015)

Purpose: To consider approval of a Final Plat of Lot 1, Block A, Elizabeth Town Addition, a 1.527-acre tract of land out of the G.W. Shamblin Survey, Abstract No. 1191, bounded by IH 35W on the north and west, Old Elizabethtown Road on the east, and vacant land in the City of Fort Worth on the south, and zoned Mixed-Use Planned Development (MPD).

Owner: Sahil Property LLC

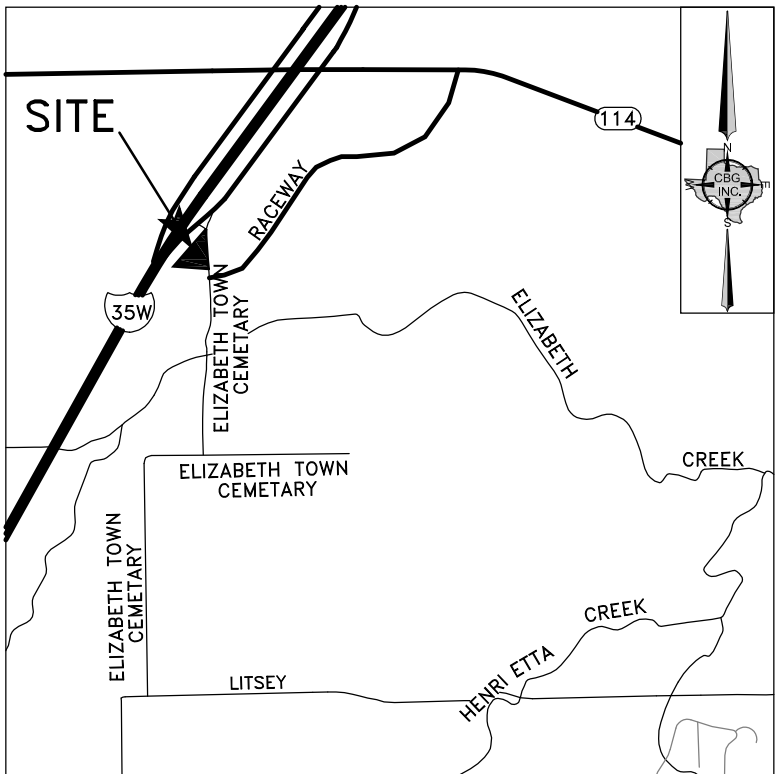
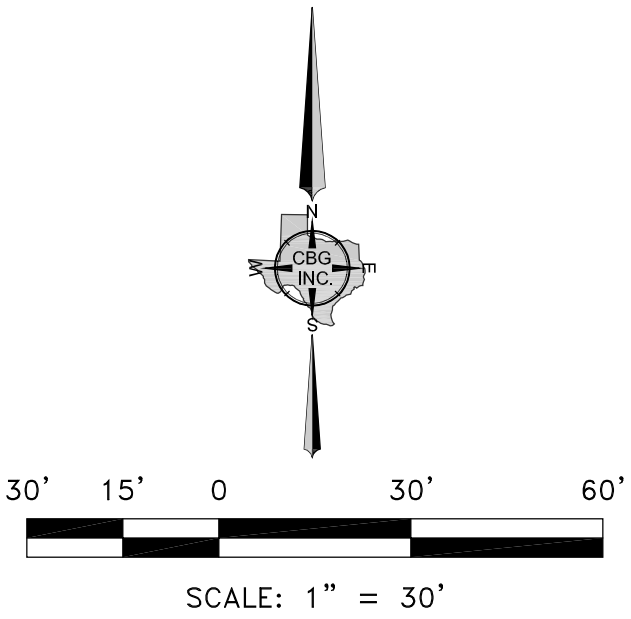
Applicant/Developer: North Lake Lodging

Surveyor: CBG Surveying Texas LLC

Background: The property was previously owned by the Independent Holiness Church, but it had not been used for many years and only contains a single 4,000 square foot metal building and a billboard located in the southwestern corner of the property. The applicant acquired the site from the Church and intends to remove the building and develop a hotel on the site. A zoning change was approved on December 14, 2017 allowing for the hotel to be developed on the site. The site plan for the Best Western is a companion item on this same agenda for Town Council consideration.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The final plat is comprised of a single lot with accessible frontage on Old Elizabethtown Road. Civil construction plans for water, sewer, streets, and drainage infrastructure to serve the plat have been reviewed by staff and found to be acceptable for approval. These plans include the improvement of Old Elizabethtown Road along the full frontage of the property as well as the extension of an off-site sewer line from a location within the Dry Creek Ranch Apartments. The final plat meets the requirements of the Unified Development Code and the Mixed-Use Planned Development zoning district.

Staff Findings: Staff finds the final plat meets all applicable Town requirements.



VICINITY MAP
NOT TO SCALE

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00'	S89°00'29"W
L2	15.00'	S01°40'08"E
L3	10.00'	N89°01'14"E
L4	20.00'	S87°02'03"W
L5	15.00'	S01°41'51"E
L6	20.00'	N87°01'20"E

GENERAL NOTES

- 1) BEARINGS SHOWN ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (2011).
- 2) THE PURPOSE OF THIS PLAT IS TO CREATE 1 LOT.
- 3) LOT TO LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.
- 4) ANY STRUCTURE NEW OR EXISTING MAY NOT EXTEND ACROSS NEW PROPERTY LINES.
- 5) TXDOT APPROVAL MAY BE REQUIRED FOR ANY DRIVEWAY MODIFICATION OR NEW ACCESS POINT(S).
- 6) PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FLOOD INSURANCE RATE MAP FIRM, MAP NUMBER 48121C0495G, MAP REVISED IN APRIL 18, 2001, IN DENTON COUNTY, STATE OF TEXAS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DENTON

WHEREAS, Sahil Properties, LLC, a Texas Limited Liability Company, is the sole owner of a tract of land situated in the G.W. Shamlin Survey, Abstract No. 1191, Denton County, Texas, and being all of that tract of land conveyed to Sahil Properties, LLC, a Texas Limited Liability Company, by Warranty Deed recorded in Instrument Number 2017-101214, Official Public Records, Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod with a pink plastic cap stamped "TXDOT SURVEY MARKER, RIGHT OF WAY MONUMENT" found for corner, said corner being on the North line of a tract of land conveyed to Puskoor M. Kumar, Trustee of the Puskoor M. Kumar Irrevocable Trust by Deed recorded in Instrument Number 2014-37967, Official Public Records, Denton County, Texas, same being the South corner of a tract of land conveyed to the State of Texas for Right-of-Way dedication in Instrument Number 2017-66147, Official Public Records, Denton County, Texas;

THENCE North 29 degrees 50 minutes 14 seconds East, along the Southeast line of said State of Texas Right-of-Way dedication, a distance of 11.24 feet to a 1/2 inch iron rod with a yellow cap stamped "CBG Surveying" set for corner, said corner being at the beginning of a non-tangent curve to the right with a radius of 6,463.33 feet, a delta of 02 degrees 28 minutes 56 seconds and a chord bearing and distance of North 31 degrees 39 minutes 01 seconds East, 280.00 feet;

Continuing along the Southeast line of said State of Texas Right-of-Way dedication, an arc length of 280.02 feet to a 5/8 inch iron rod with a pink plastic cap stamped "TXDOT SURVEY MARKER, RIGHT OF WAY MONUMENT" found for corner, said corner being on the Southeast Right-of-Way line of Interstate Highway 35W (a variable width Right-of-Way);

THENCE North 42 degrees 05 minutes 42 seconds East, along the Southeast Right-of-Way line of said Interstate Highway 35W, a distance of 196.41 feet to a point for corner, said corner being at the intersection of the Southeast Right-of-Way line of said Interstate Highway 35W and the West Right-of-Way line of Old Elizabethtown Road (a variable width feet Right-of-Way);

THENCE South 00 degrees 59 minutes 31 seconds East, along the West Right-of-Way line of said Old Elizabethtown Road, a distance of 419.00 feet to a 1/2 inch iron rod found for corner, said corner being on the West Right-of-Way line of said Old Elizabethtown Road, and also being the Northeast corner of said Puskoor M. Kumar tract;

THENCE North 85 degrees 04 minutes 43 seconds West, along the North line of said Puskoor M. Kumar tract, a distance of 292.51 feet to the POINT OF BEGINNING and containing 66,507 square feet or 1.527 acres of land.

LEGEND:

CM CONTROLLING MONUMENT
IRF IRON ROD FOUND
IRS IRON ROD SET WITH A YELLOW PLASTIC CAP STAMPED "CBG SURVEYING"
P.F.C. POINT FOR CORNER
TXDOT PC 5/8 INCH IRON ROD WITH A PINK PLASTIC CAP STAMPED "TXDOT SURVEY MARKER, RIGHT OF WAY MONUMENT"
ESMT. EASEMENT
CAB. CABINET
B.L. BUILDING LINE
VOL. VOLUME
PG. PAGE
INST. NO. INSTRUMENT NUMBER
SQ. FT. SQUARE FEET
R.O.W. RIGHT-OF-WAY
D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS

APPROVED BY THE TOWN COUNCIL ON:

Date	
Mayor, Town of Northlake	
Town Secretary, Town of Northlake	

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, Sahil Properties, LLC, a Texas Limited Liability Company, acting by and through its duly authorized officer Jay Bhakta, Owner, does hereby adopt this plat, designating the herein described property as **LOT 1, BLOCK A, ELIZABETH TOWN ADDITION**, an addition to the City of Roanoke, Denton County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Roanoke.

WITNESS, my hand at Roanoke, Texas, this the _____ day of _____, 2019.

By: _____
SAHIL Properties, LLC
Jay Bhakta, owner

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned, a Notary Public in and for said County and State on this day appears Jay Bhakta, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2019.

Notary Public in and for Denton County, Texas.

SURVEYOR'S STATEMENT:

I, Bryan Connolly, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, the City of Dallas Development Code (Ordinance no. 19455, as amended) , and Texas Local Government Code, Chapter 212. I further affirm that monumentation shown hereon was either found or placed in compliance with the City of Dallas Development Code, Sec. 51A-8.617 (a)(b)(c)(d) & (e); and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this _____ day of _____, 2019.

RELEASED FOR REVIEW 11/01/2019 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Bryan Connolly
Texas Registered Professional Land Surveyor No. 5513

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Bryan Connolly known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2019.

Notary Public in and for the State of Texas

FINAL PLAT
ELIZABETH TOWN ADDITION
LOT 1, BLOCK A
BEING 66,507 SQ.FT. / 1.527 ACRES
G.W. SHAMBLIN SURVEY, ABSTRACT NO. 1191
IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
MIXED-USED PLANNED DEVELOPMENT
DATE OF PREPARATION: APRIL 19, 2018



OWNER: SAHIL PROPERTIES, LLC,
a Texas Limited Liability Company
JAY BHAKTA, OWNER
820 S. 135E, UNIT 102
DENTON, TEXAS 76205
PHONE: (940) 293-3368
EMAIL: jy_bhakta@yahoo.com

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Site Plan for Best Western (SP-19-006)

Purpose: Consider approval of a Site Plan for Best Western, a proposed 45,380 square-foot, 61-room hotel on 1.527 acres, to be platted as Lot 1, Block A, Elizabeth Town Addition, bounded by IH 35W on the north and west, Old Elizabethtown Road on the east, and vacant land in the City of Fort Worth on the south, and zoned Mixed-Use Planned Development (MPD).

Owner: Sahil Property LLC

Applicant/Developer: North Lake Lodging Development

Engineer: Triangle Engineering

Existing Condition of the Property: The subject property was previously owned by the Independent Holiness Church, but it had not been used for many years and only contains a single 4,000 square foot metal building and a billboard located in the southwestern corner of the property. The applicant acquired the site from the Church and intends to remove the building and develop a hotel on the site. A zoning change was approved on December 14, 2017 allowing for the hotel to be developed on the site.

Staff Analysis:

Access: Access to the site will be provided from two driveway access points on Old Elizabethtown Road which will be fully improved along the frontage of the site as part of this project.

Parking: The MPD requires one space per sleeping room for hotel use. The hotel is planned for 61 sleeping rooms. 69 parking spaces are provided on the site plan of which four of the spaces will meet ADA requirements.

Fencing, Lighting, and Signage: No fencing is shown on the site plan. A masonry screening wall is proposed to enclose the dumpster. A monument sign location is shown on the site, but no building mounted signs are identified on the building elevations. All fencing, lighting and signage must meet the requirements of the MPD at time of permitting.

Landscaping: Detailed landscape plans have been provided showing landscaping meeting the requirements of the MPD.

Building Elevations: Architectural elevations of the 4-story hotel building are provided showing all four sides of the proposed building. The building elevations appear to comply with the requirements of the MPD.

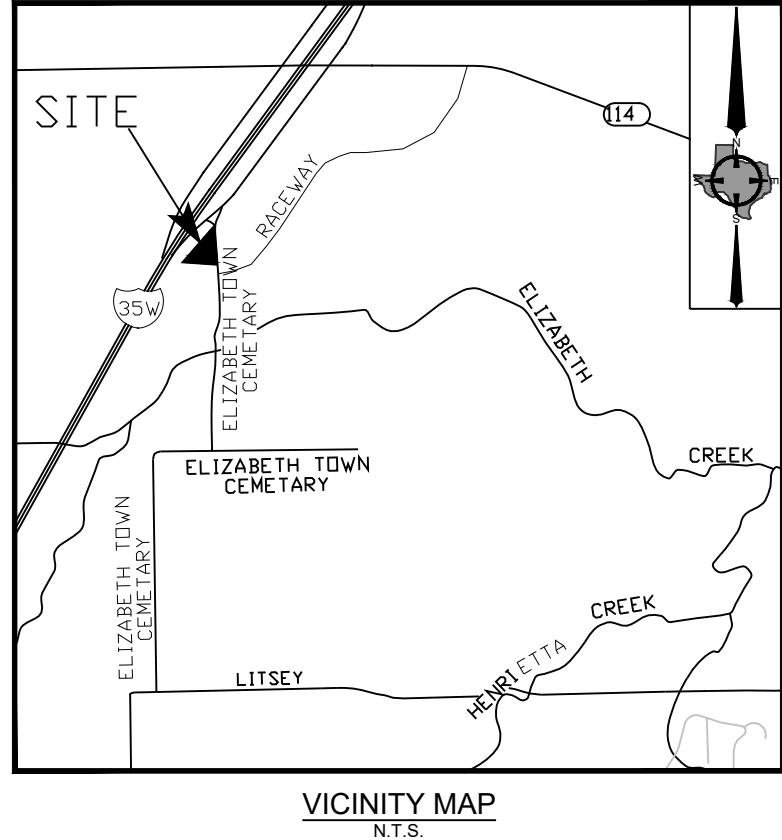
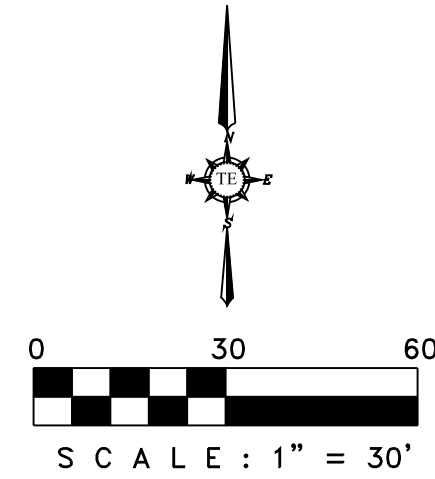
Criteria for Approval: Section 12.15 of the Unified Development Code (UDC) outlines the site plan process and includes the following criteria for Town Council to consider when taking final action on a site plan.

1. The site plan is consistent with the general purpose and intent of the applicable zoning district regulations.
2. The site plan is compatible with adjacent developments and neighborhoods and includes improvements to mitigate development related adverse impacts.
3. The site plan does not generate pedestrian or vehicular traffic which will be hazardous or conflict with the existing traffic patterns in the area.
4. The site plan incorporates features to minimize adverse effects on adjacent properties.
5. Adequate capacity of public or private facilities for water, sewer, electricity and transportation to and through the development are provided to the site.
6. The site plan meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.
7. The proposed use and associated site plan promote the health, safety or general welfare of the Town and the safe, orderly, efficient and healthful development of the Town.

Staff Findings: Staff has reviewed the site plan package and finds it meets the criteria above and all applicable Town requirements.

BEST WESTERN SITE DEVELOPMENT

1.527 ACRES OF LAND SITUATED IN THE G.W. SHAMBLIN SURVEY, ABSTRACT NO. 1191
TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS



LEGEND

EXISTING BOUNDARY	PP
EXISTING CURB	TS
EXISTING POWER POLE	TS
EXISTING SIGNAL POLE	TS
EXISTING FENCE	TS
EXISTING TRAFFIC SIGNS	TS
EXISTING TRAFFIC BOX	TS
EXISTING TELEPHONE RISER	TS
EXISTING ELECTRICAL MANHOLE	TS
EXISTING SEWER CLEAN OUT	TS
EXISTING SEWER MANHOLE	TS
EXISTING SEWER MAIN	TS
EXISTING WATER MAIN	TS
EXISTING WATER METER	TS
EXISTING FIRE HYDRANT	TS
EXISTING STORM SEWER LINE	TS
EXISTING STORM SEWER MANHOLE	TS
BOUNDARY LINE	TS
PROPOSED CURB	TS
PROP. STORM INLET	TS
PROP. SITE LIGHT POLE	TS
PROP. HANDICAP SIGN	TS
PROP. HANDICAP LOGO	TS
PROP. MONUMENT SIGN	TS
PROP. WATER METER	TS
PROP. BACKFLOW PREVENTOR	TS
PROP. 28" FIRE LANE	TS
PROP. SEWER CLEAN OUT	TS
PROPOSED F.D.C.	TS

SITE DATA SUMMARY TABLE

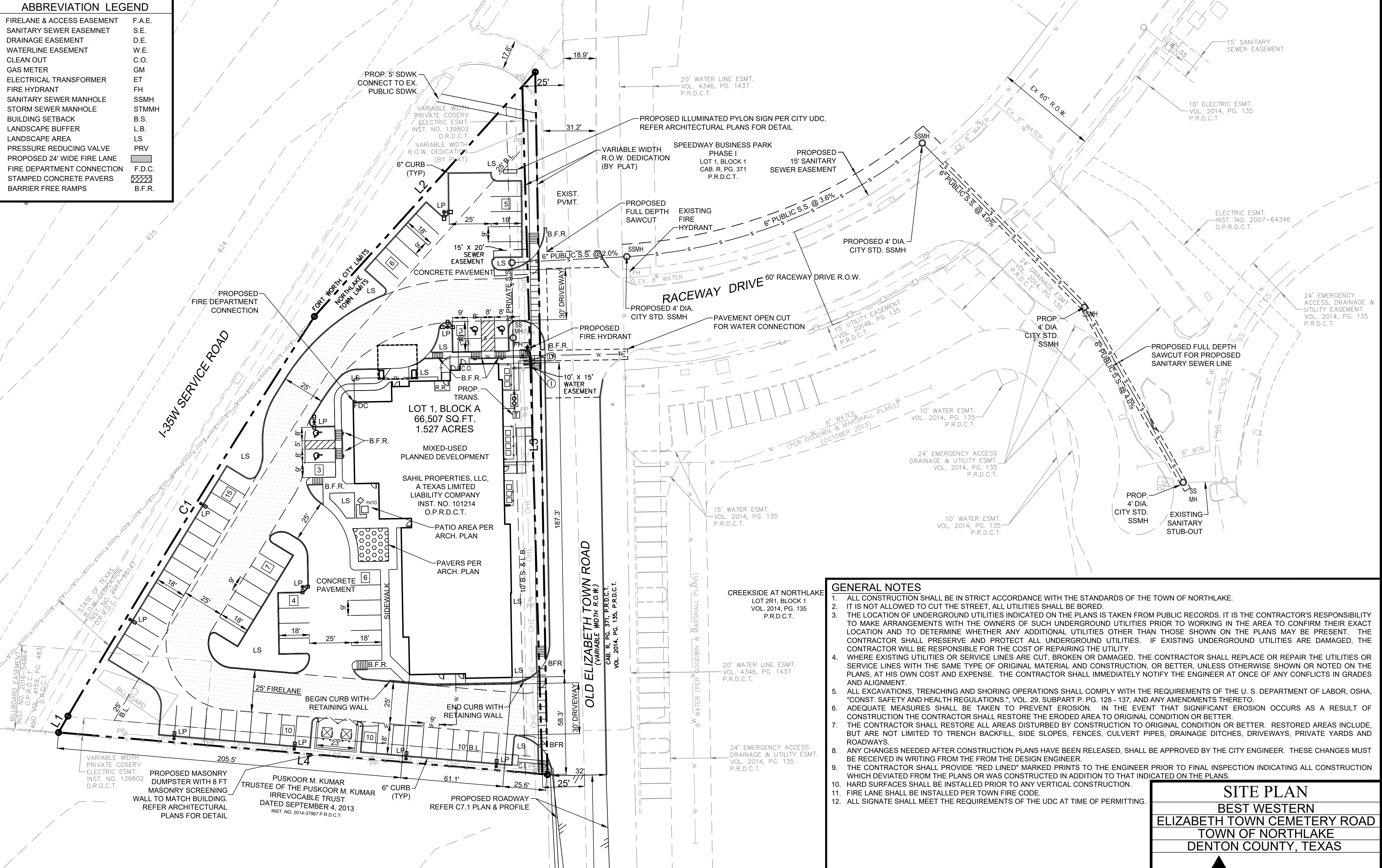
CURRENT ZONING	C-2
PROPOSED ZONING	C-2
PROPOSED BUILDING USE	HOTEL
NUMBER OF STORIES	4 STORY
GROSS ACREAGE	1.527 ACRES (66,507 S.F.)
TOTAL BUILDING GROSS AREA	45,380 S.F.
PROPOSED BUILDING HEIGHT	60'-0"
PROPOSED BUILDING SETBACK (B.S.)	10' FRONT & SIDE, 25' REAR
NUMBER OF GUEST ROOMS	61
REQUIRED PARKING (1 SPACE PER ROOM)	61
TOTAL PARKING PROVIDED	69 (INCLUDING 4 HANDICAP)
IMPERVIOUS AREA	40,707 S.F. OR 82%
LANDSCAPE REQUIRED	7,423 S.F. OR 15% OF SY
LANDSCAPE PROVIDED	8,570 S.F. OR 13%

WATER METER & SANITARY SEWER SCHEDULE

ID	TYPE	SIZE	NO.	SAN. SEW.
D	DOM.	3"	1	6"
I	IRR.	1"	1	N/A

ABBREVIATION LEGEND

FIRELANE & ACCESS EASEMENT	F.A.E.
SANITARY SEWER EASEMENT	S.E.
DRAINAGE EASEMENT	D.E.
WATERLINE EASEMENT	W.E.
CLEAN OUT	C.O.
GAS METER	GM
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	SSMMH
BUILDING SETBACK	B.S.
LANDSCAPE BUFFER	L.B.
LANDSCAPE AREA	LS
PRESSURE REDUCING VALVE	PRV
PROPOSED 24" WIDE FIRE LANE	F.D.C.
FIRE DEPARTMENT CONNECTION	F.D.C.
STAMPED CONCRETE PAVERS	B.F.R.
BARRIER FREE RAMPS	B.F.R.



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE TOWN OF NORTHLAKE.
- IT IS NOT ALLOWED TO CUT THE STREET. ALL UTILITIES SHALL BE BORED.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS," VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERE TO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- HARD SURFACES SHALL BE INSTALLED PRIOR TO ANY VERTICAL CONSTRUCTION.
- FIRE LANE SHALL BE INSTALLED PER TOWN FIRE CODE.
- ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE UDC AT TIME OF PERMITTING.

BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 29°50'14" E	11.24'
L2	N 42°05'42" E	196.41'
L3	S 00°59'31" E	419.00'
L4	N 85°04'43" W	292.51'

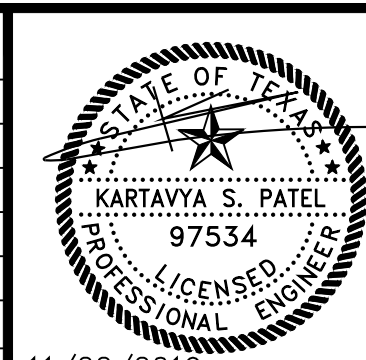
CURVE DATA TABLE

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	280.02'	6463.33'	02°28'56"	N 31°39'01" E	280.00'

PROJECT CONTACT LIST:

APPLICANT/OWNER NORTHLAKE LODGING DEVELOPMENT LLC CONTACT: JAY BHAKTA 820 I-35 EAST # 120 DENTON, TEXAS 76205 EMAIL: JY_BHAKTA@YAHOO.COM	ENGINEER TRIANGLE ENGINEERING LLC 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. EMAIL: KPATEL@TRIANGLE-ENGR.COM TEL: 214-609-9271	PROJECT ARCHITECT BCI ARCHITECTS FRISCO, TX PROJECT MANAGER RK PATEL DESIGN & PLANNING LLC CHETAN PATEL EMAIL: RK PATEL DESIGN@GMAIL.COM TEL: 682-365-0300
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NO.	DATE	DESCRIPTION	BY
1	03/20/19	1st TOWN SUBMITTAL	KP
2	06/13/19	2nd TOWN SUBMITTAL	KP
3	10/23/19	3rd TOWN SUBMITTAL	KP
4	11/04/19	4TH TOWN SUBMITTAL	KP
5	11/22/19	PER ENGINEER COMMENTS	KP



SITE PLAN
BEST WESTERN
ELIZABETH TOWN CEMETERY ROAD
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
T: 469.331.8561 F: 469.213.7145 | E: kpate@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013
Planning | Civil Engineering | Construction Management
DESIGN/DRAWN DATE SCALE PROJECT NO. SHEET NO.
KP MLM 02/26/19 SEE SCALE BAR 007-18
TX PE FIRM #11525

GENERAL PLANTING NOTES

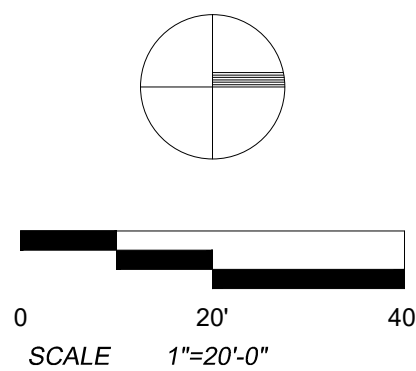
- QUANTITIES NOTED REPRESENT LANDSCAPE ARCHITECT'S ESTIMATE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BEING AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. BED PREPARATIONS SHALL BE COMPLETED PRIOR TO BEING.
- CONTRACTOR SHALL EXAMINE ALL AREAS AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTIFY LANDSCAPE ARCHITECT OF ANY CONDITIONS DETRIMENTAL TO PROPER AND TIMELY COMPLETION OF WORK.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
- INVOICE ALL PLANT MATERIALS ACCORDING TO BEST PRACTICES SO THAT ROOTS AND ROOT BALLS ARE ADEQUATELY PROTECTED FROM MECHANICAL INJURY, SUN, DROPPING BRANCHES, AND ANY OTHER POTENTIAL DAMAGE. PLANTS SHALL NOT BE EXPOSED TO HARSH WINDS OR OTHER DAMAGE IN A MANNER THAT WOULD DAMAGE BARK, BREAK BRANCHES OR DESTROY THEIR NATURAL SHAPE.
- BED PREPARATION FOR ALL BEDS IS AS FOLLOWS:
 - 2-4" B.L. SUBGRADE TO 2-4" DEPTH TO BREAK HORIZONTAL. FLOOD WITH WATER TO INSURE GOOD DRAINAGE. IF GOOD DRAINAGE DOES NOT EXIST, STOP WORK AND NOTIFY LANDSCAPE ARCHITECT.
 - 5-8" 1/2" OF GRANULAR COMPOST AND 1/2" OF GRANULAR SILT-ARRESTER IN BED.
 - 1/2" OF GRANULAR COMPOST AND 1/2" OF GRANULAR SILT-ARRESTER IN BED.
 - FINISHED BED SHALL BE MOULDED IN THE CENTER OR HIGH IN THE REAR OF BED TO INSURE GOOD DRAINAGE. FLOOD WITH WATER TO INSURE GOOD DRAINAGE. PREPARE BEDS TO INSURE GOOD DRAINAGE. DO NOT DAMAGE ROOTS OF EXISTING TREES. MINIMIZE PREPARATION/TILLING UNDER EXISTING TREE CANOPIES. HAND TILL WITH DRIPPING OF EXISTING TREES. NO TILLING WITHIN 1' RADIUS OF EXISTING TREE TRUNK.
- TREE SETS SHALL HAVE ROUGHENED SIDES AND BE MINIMUM TWO TIMES WIDER THAN THE ROOT BALL.
- CONTRACTOR SHALL INSURE THAT PROPER DRAINAGE EXISTS IN ALL TREE SETS. FULL FILL OF WATER PRIOR TO PLANTING. IF AFTER 24 HOUR PERIOD, WATER HAS NOT DRAINED OUT, PUMP WATER OUT, DRILL A 1/2" HOLE IN LOW SIDE OF BOTTOM OF SET. FILL WITH GRANULAR, ADD 2" OF GRAVEL, FILL AND A 4" SLUMP PIPE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DRAINAGE ISSUES.
- PLANT TREES SUCH THAT THE BOTTOM OF THE ROOT FLARE SETS VISIBLE. IF ABOVE FINISHED GRADE BEYOND THE PLANTING RING.
- BACKFILL ALL TREE SETS WITH NATIVE TOPSOIL FREE OF ANY ROCK OR OTHER NON-NATIVE DEBRIS. BURLAP WRITING AND FIRE BARRETS SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PROVIDE A MINIMUM 2" LAYER OF BREACHED HARDWOOD AND FINE STRAIN MAIL OVER LAYER OVER ALL COMPLETED PLANTINGS AND A 3/4" LAYER OVER TREE ROOT BALLS. PULL BACK 1/2" FROM TRUNK OF ALL TREES.
- CONTRACTOR SHALL ADD AN APPROVED FERTILIZER APPROPRIATE TO NEW PLANTING AND LAWN TURF THAT IS APPROPRIATE TO SEASON OF YEAR.
- CONTRACTOR SHALL REMOVE ALL DEBRIS GENERATED BY WORK OPERATIONS. LEAVE ENTIRE PLANTING AREA IN A BARE, CONDITIONAL FREE OF DEBRIS AND ALL PAVED AREAS FOLLOWING THE PLANTING AREAS IN A SMOOTH, CLEAN CONDITION READY FOR FINAL ACCEPTANCE.
- THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE SHALL BE RESPONSIBLE FOR THE MAINTENANCE, INCLUDING PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS.
- CONTRACTOR SHALL GUARANTEE ALL PLANTING FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. OWNER SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE OF PLANTS AFTER FINAL ACCEPTANCE. LOCAL MATERIALS NOT IN VENDOR'S PLANTING CATALOG SHALL BE REPLACED WITHIN 5 DAYS OF NOTIFICATION. SPECIAL PLANTS WHICH HAVE PROBABLY BEEN DAMAGED BY THE ELEMENTS SHALL BE REPLACED WITHIN 5 DAYS OF NOTIFICATION. SPECIAL PLANTS WHICH HAVE PROBABLY BEEN DAMAGED BY THE ELEMENTS SHALL BE REPLACED WITHIN 5 DAYS OF NOTIFICATION. CONTRACTOR SHALL PROVIDE ONE (1) YEAR GUARANTEE ON FIRST REPLACEMENT OF PLANT ONLY.
- ALL LANDSCAPED AREAS NOT COVERED BY BUILDINGS, PARKING, WALKS, OR OTHER NON-PERMEABLE STRUCTURE, SHALL BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM. OVERSPRINK ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE CITY IS REQUIRED FOR EACH IRRIGATION SYSTEM.

NOTES:

- ALL PARKING SPACES ADJACENT TO THE LANDSCAPE WILL HAVE AN 18" WIDE, 3" DEEP, DECOMPOSED GRANITE STRIP WITH FILTER FABRIC CONTAINED BY STEEL EDGING AS SHOWN.
- ALL STEEL EDGING TO BE .25", HEAVY DUTY, BLACK STEEL EDGING IN 12' LENGTHS.
- ALL AREAS WITHIN THE PROPERTY BOUNDARY NOT BUILT, PAVED, LANDSCAPED OR OTHERWISE DEVELOPED TO BE SOLID SODDED WITH COMMON BERMUDA GRASS.
- ALL LANDSCAPE AREAS TO BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM DESIGNED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS.
 - ALL TREES TO HAVE DEEP ROOT TREE BUBBLER AT EACH TREE. BUBBLERS TO BE ON SEPARATE ZONE FROM OTHER ZONES.
 - ALL PLANTING BEDS TO BE DRIP IRRIGATION.
 - ALL GRASS AREAS TO BE MP ROTATOR. NO SPRAY HEADS.

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
THOROUGHFARE LANDSCAPE		
ONE TREE PER 50 LF		
IH 35W SERVICE ROAD - 487 LF	9	9"
* (7) LARGE ORNAMENTAL TREES FOR ONE CANOPY		
ELIZABETHTOWN CEMETARY ROAD - 419 LF	8	8
PARKING SCREENING		
CONTINUOUS EVERGREEN HEDGE		PROVIDED
PARKING LANDSCAPE		
ONE TREE PER ISLAND		PROVIDED
ONE TREE PER 10 SPACES - 70 SPACES	7	9
FOUNDATION LANDSCAPE		PROVIDED



LANDSCAPE PLAN

BEST WESTERN

ELIZABETHTOWN CEMETARY ROAD
TOWN OF NORTH LAKE
DENTON COUNTY, TEXAS



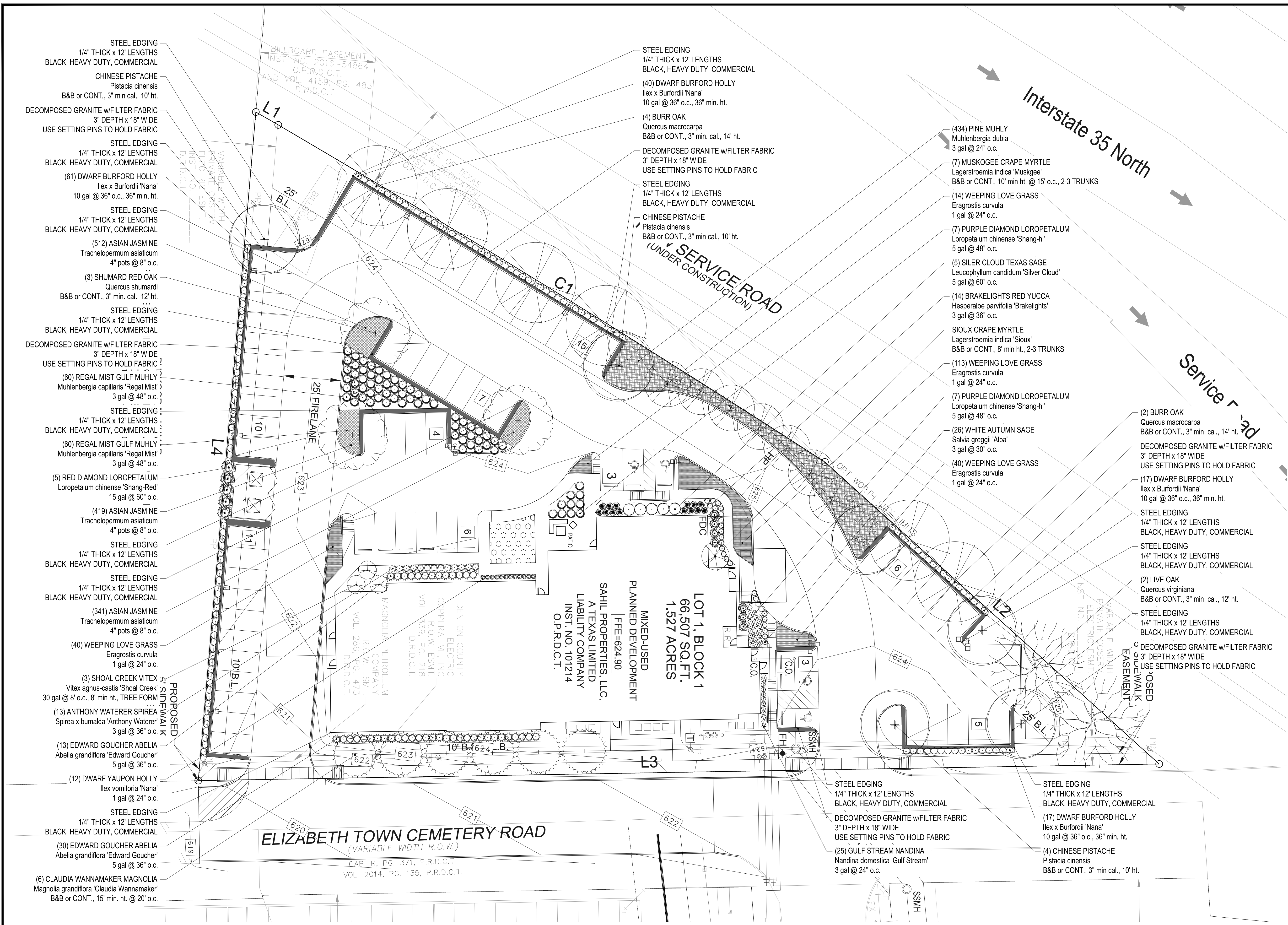
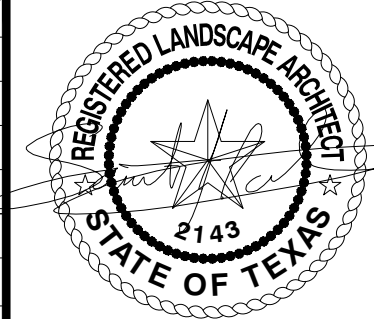
358 ASHLEY DRIVE, COPPELL, TEXAS 75019
www.samitpatelds.com
(214) 995-9530

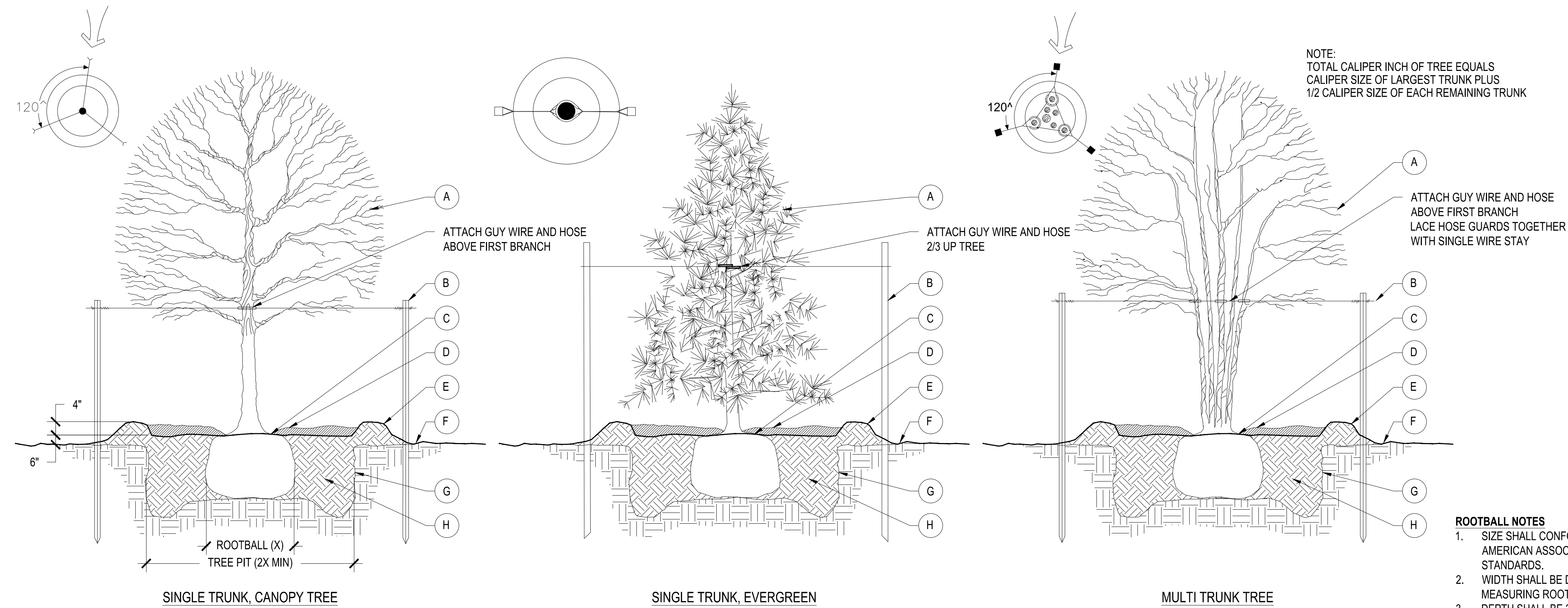
DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
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SP	SP	3/31/19	SCALE BAR	S19-012
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L-1.1

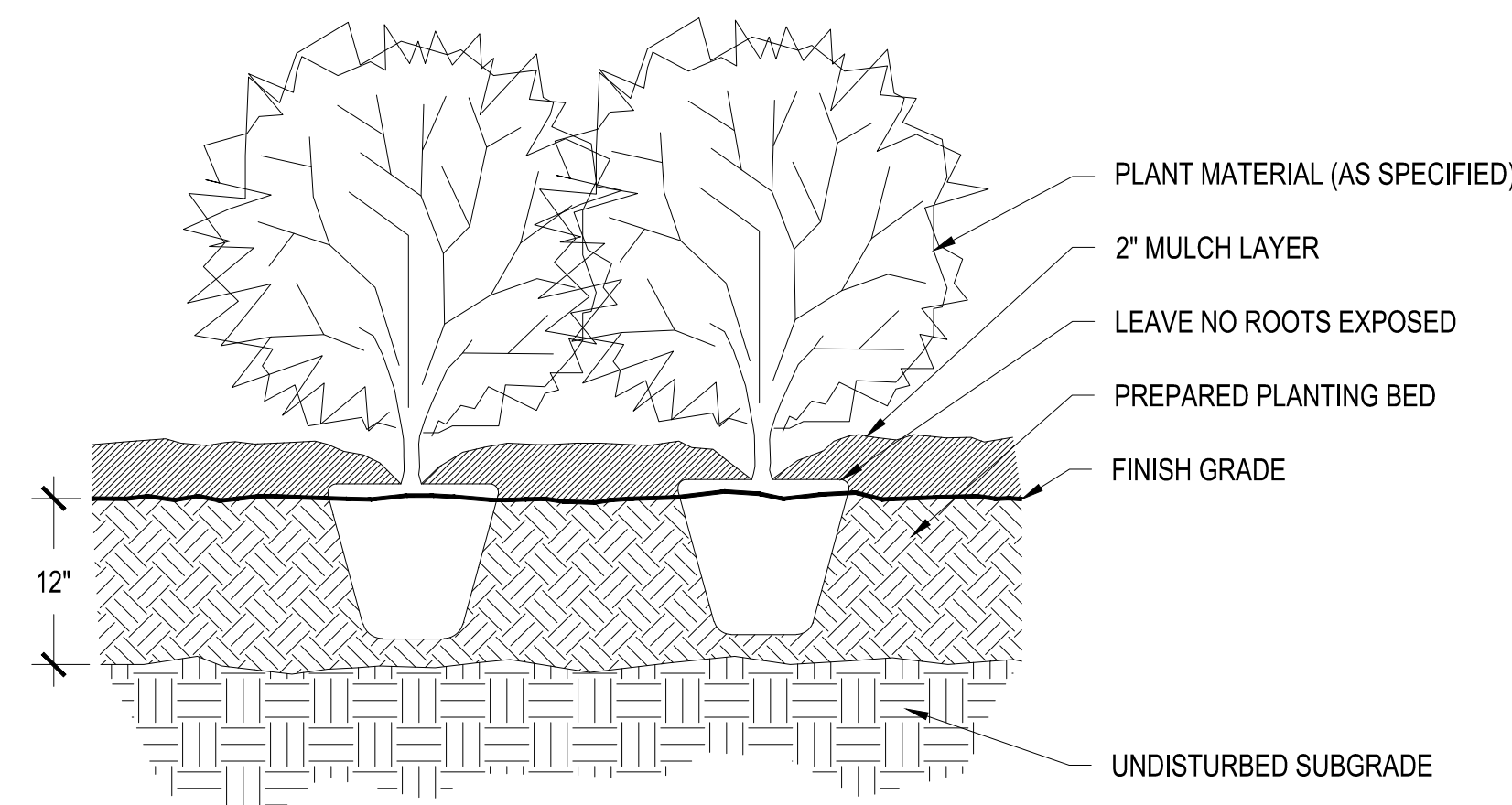
NO.	DATE	DESCRIPTION	BY
1	3/29/19	1ST CITY SUBMITTAL	SP



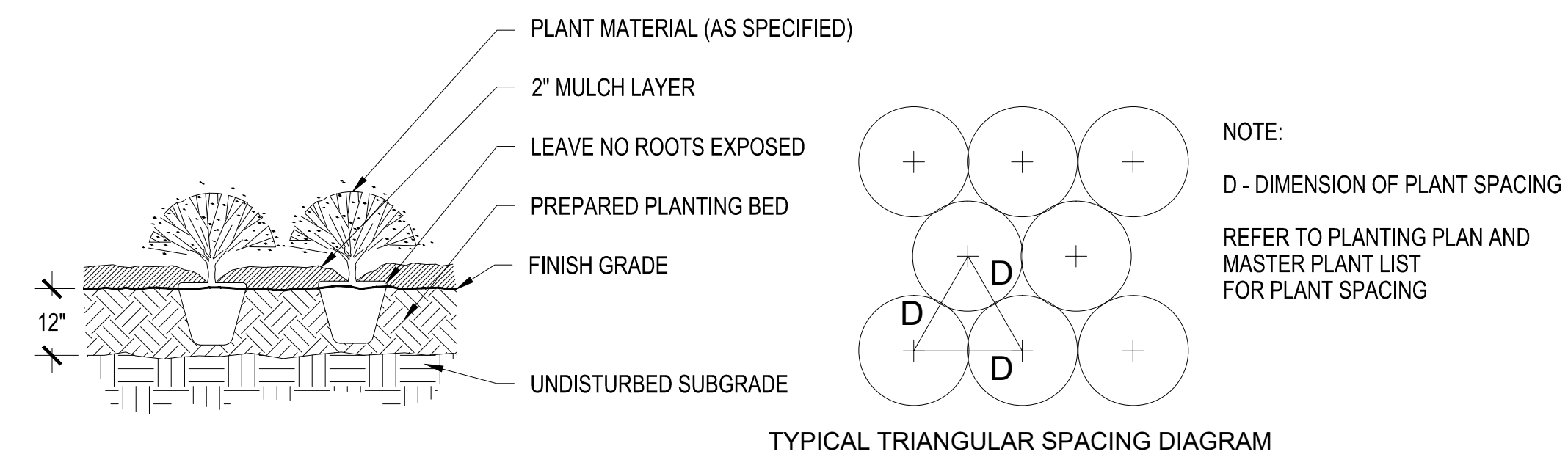


- ROOTBALL NOTES**
1. SIZE SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 2. WIDTH SHALL BE DETERMINED BY MEASURING ROOT BALL SIZE.
 3. DEPTH SHALL BE 2/3 OF DIAMETER.

1 TREE PLANTING – TYPICAL NTS



2 SHRUB PLANTING (TYP.) NTS



3 GROUNDCOVER PLANTING (TYP.) NTS

LANDSCAPE DETAILS
BEST WESTERN
ELIZABETHTOWN CEMETARY ROAD
TOWN OF NORTH LAKE
DENTON COUNTY, TEXAS

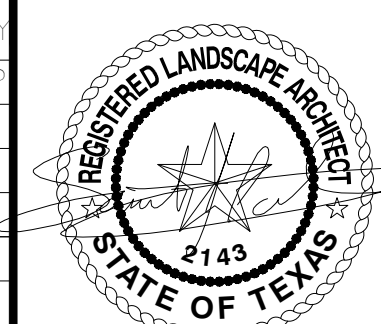
SP DS
SAMIT PATEL
DESIGN STUDIO

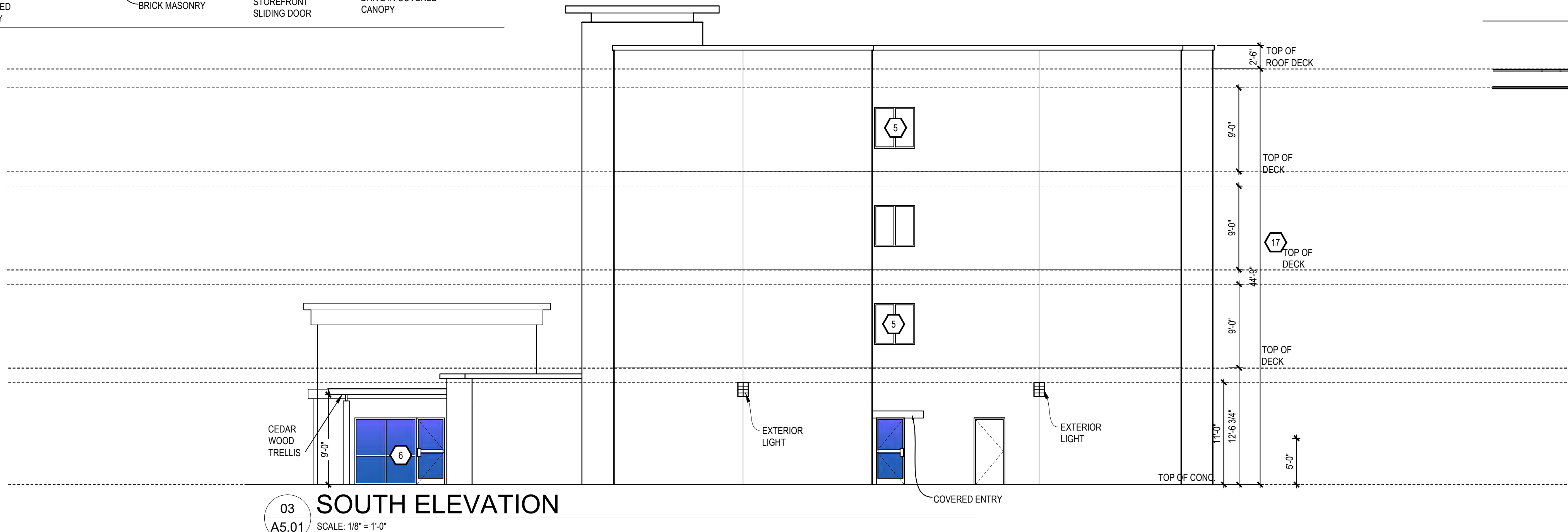
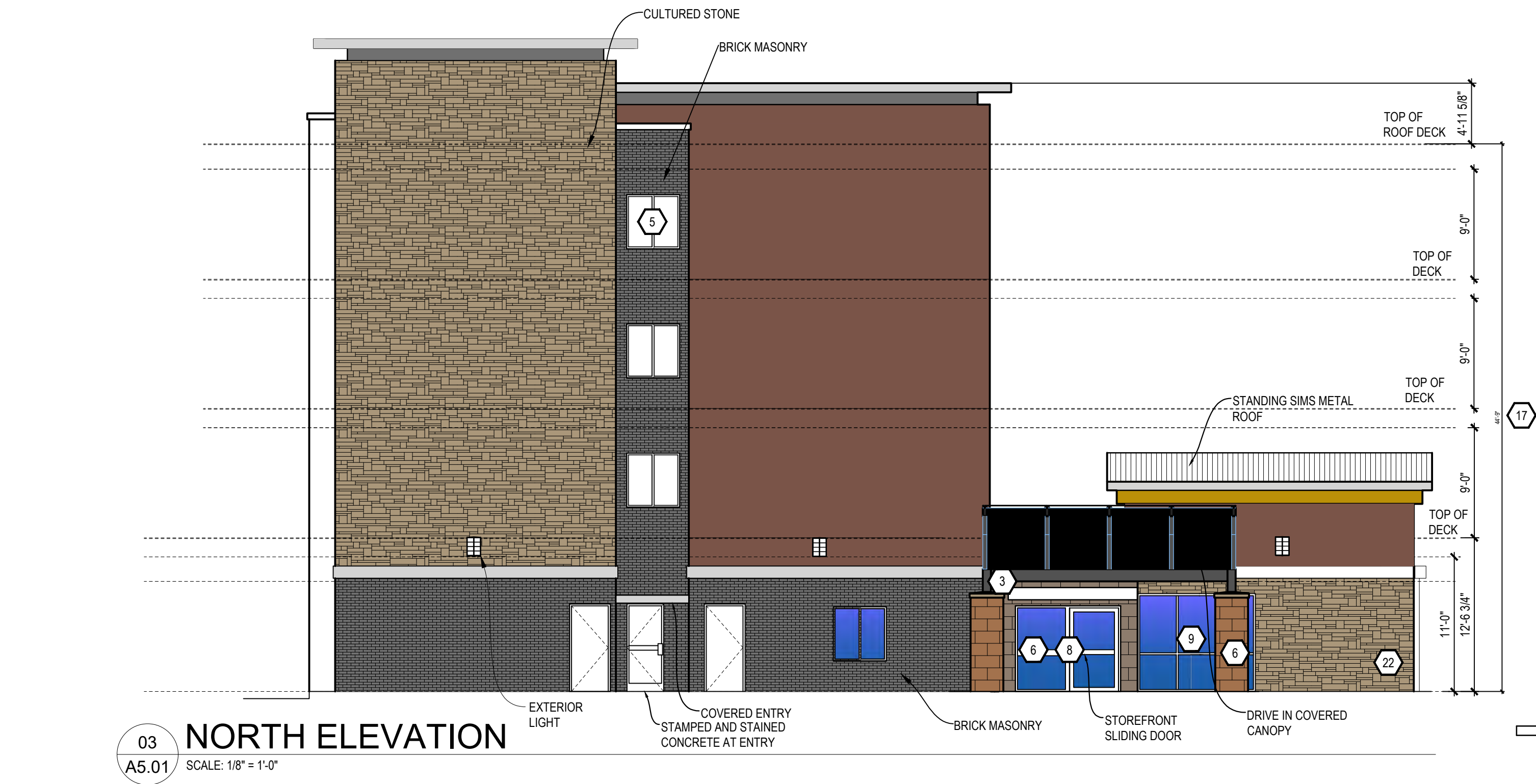
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DESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
SP	SP	3/31/19	SCALE BAR	S19-012	

L-2.1

NO.	DATE	DESCRIPTION	BY
1	3/29/19	1ST CITY SUBMITTAL	SP





- KEY NOTES:**
- 1 APPROXIMATE LINE OF GRADE
 - 2 ABOVE GRADE EXPOSED FOUNDATION WALL
 - 3 MASONRY OR TILE -
 - 4 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FROST DEPTHS
 - 5 VINYL FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS
 - 6 ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
 - 7 EXHAUST, REFER TO MECHANICAL DRAWINGS
 - 8 ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
 - 9 PAINTED TUBE STEEL CANOPY
 - 10 FINISH CONTROL JOINT
 - 11 TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12' A.F.F.
 - 12 SIGNAGE --REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
 - 13 KYNAR FINISH ALUMINUM COPING SYSTEM --COLOR TO MATCH ADJACENT MATERIAL
 - 14 EXHAUST VENT -- COLOR TO MATCH ADJACENT MATERIAL
 - 15 EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
 - 16 ALUMINUM LOUVER -- COLOR TO MATCH ADJACENT MATERIAL. MATCHING ADJACENT WALL
 - 17 BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
 - 18 CONCRETE PAD --REFER TO AREA DEVELOPMENT PLAN
 - 19 ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT
 - 20 MATCH THE DOOR COLOR TO ADJACENT WALL
 - 21 EXTERIOR INSULATED FINISH SYSTEM (EIFS)
 - 22 CULTURE STONE
 - 23 NOT USED

BUILDING SIGNAGE:

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.

MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT

RACEWAYS/ WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/ OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

Best western PLUS
Executive Residency

PROPERTY NO.
TX-890

Project Coordinator
RK PATEL DESIGN

&

Project Architect
BCI Architects

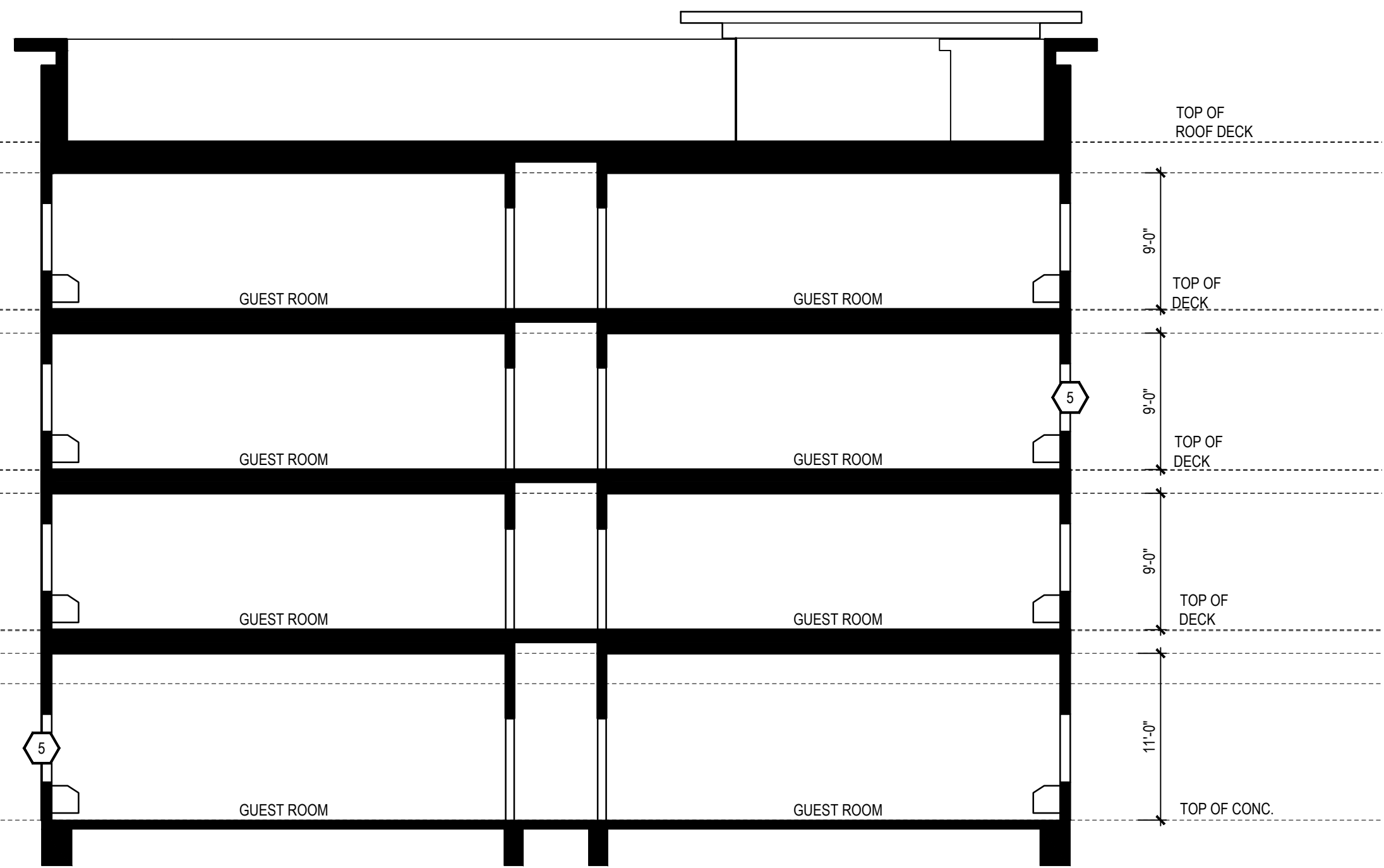
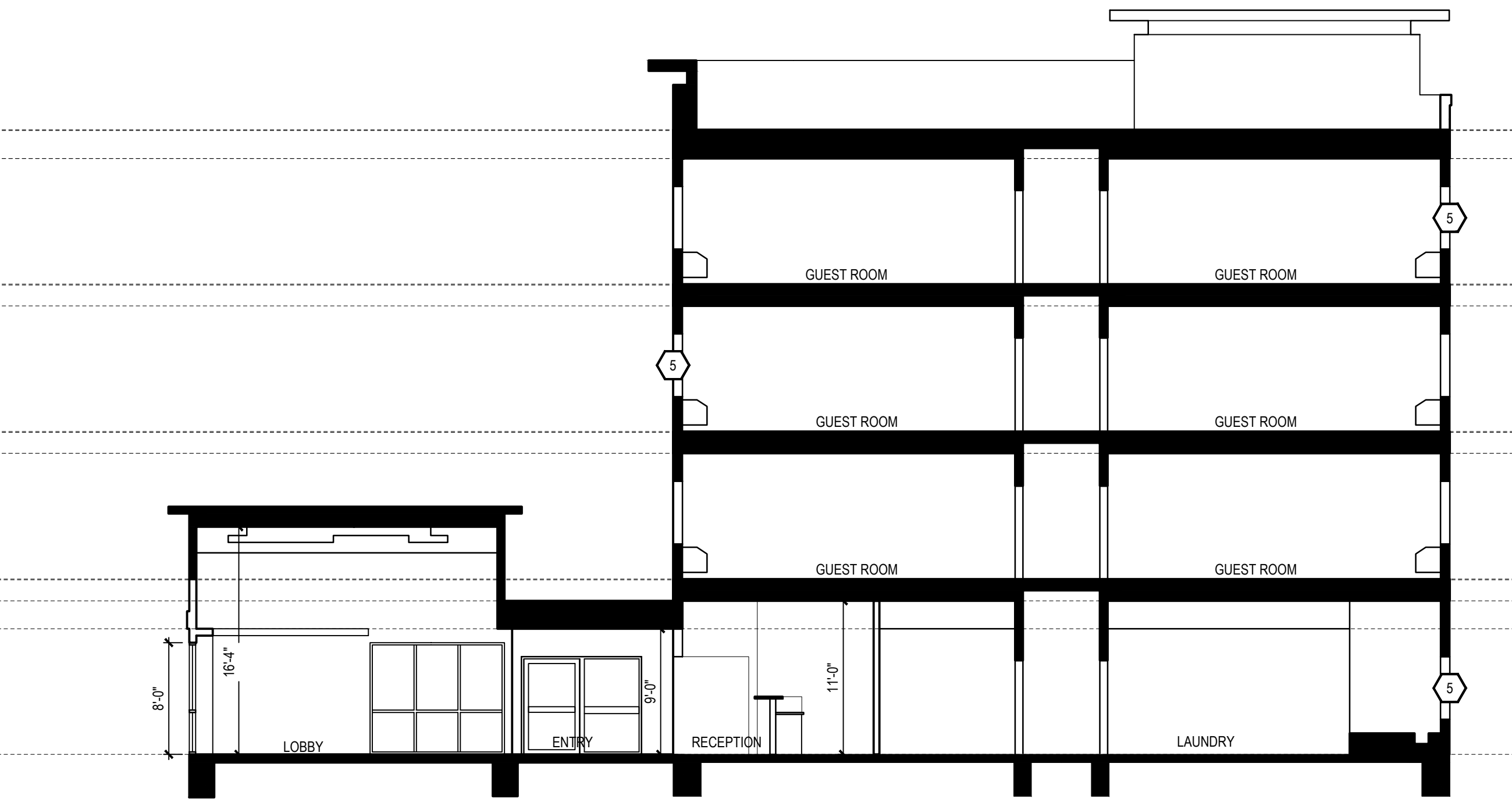
Best Western Plus
Northlake Lodging Development inc
820 South I 35 E 102
Denton, Texas 76205

Best Western Plus
Executive Residency
13860 Elizabethtown Cemetery road
North Lake Texas-76262

Revisions:

Drawn By: CP
Checked By: RM
Issue Date:
Project No:

Sheet Information:
EXTERIOR
ELEVATIONS
Sheet No:
A5.01



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Best western PLUS
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PROPERTY NO.
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Project Coordinator
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Best Western Plus
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820 South I 35 E 102
Denton, Texas 76205

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13860 Elizabethtown Cemetery road
North Lake Texas-76262



Revisions:

Drawn By: CP
Checked By: RM
Issue Date:
Project No:

Sheet Information:

EXTERIOR
ELEVATIONS
Sheet No:

A5.02

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Final Plat of Town Commons Lot 8 (FP-19-013)

Purpose: To consider approval of a Final Plat of Lot 8, Town Commons, a 1.172-acre tract of land out of the Patrick Rock Survey, Abstract No. 1063, generally located on the north side of FM 407 approximately 300 feet west of Harvest Way, and zoned Mixed-Use Planned Development (MPD).

Owner: Northlake Development LTD

Applicant/Developer: Office Equity Solutions

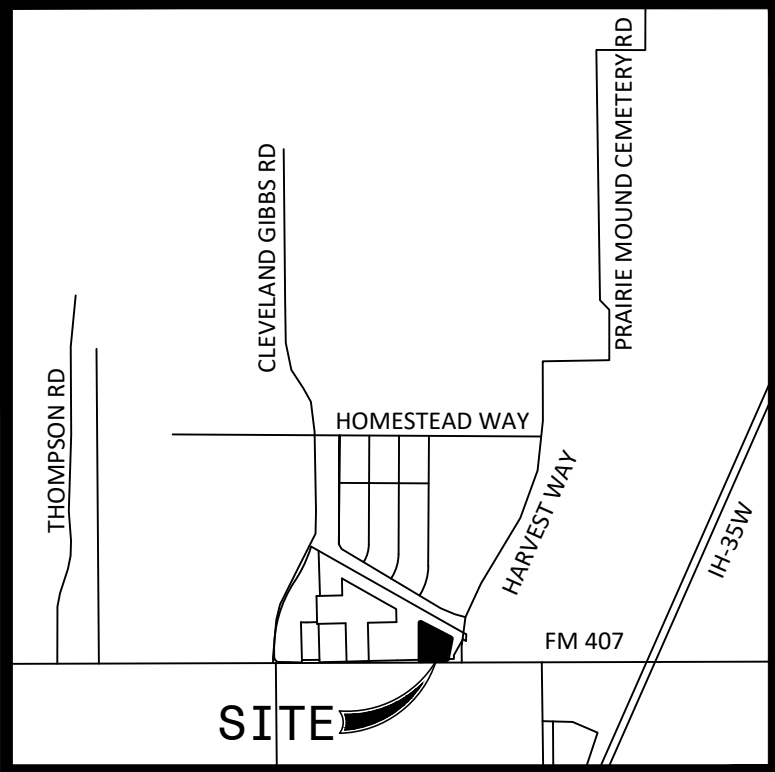
Engineer/Surveyor: Baird, Hampton & Brown Inc.

Background: This is the final plat of the site for the seventh phase of Northlake Commons. Town Hall is within Phase 1. The first 3 phases were site planned together as Town Commons Phase 1 which includes 4 buildings fully contained on Lot 1 which has been final platted. The site plans and final plats for Phases 4, 5 & 6 were approved earlier this year.

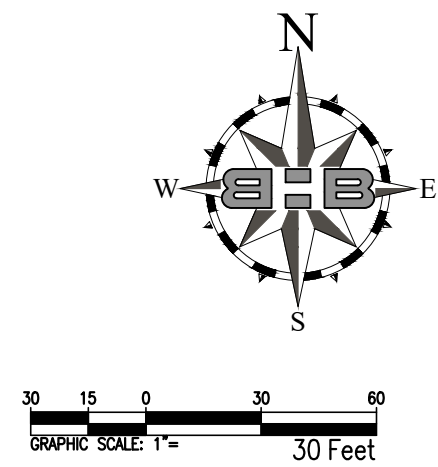
The development was originally referred to as Town Commons. That name was included on the preliminary plat, so it is being carried forward on the final plats as well. The preliminary plat and a zoning amendment for the development were approved by Town Council on December 8, 2016.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The final plat is comprised of 1 lot with access from FM 407 via a shared driveway which is already stubbed out to the site. The final plat is consistent with the approved preliminary plat. Civil construction plans for water, sewer, streets and drainage infrastructure to serve the plat are still under review with only a few minor comments remaining which are expected to be addressed by the Town Council meeting.

Staff Findings: Staff finds the final plat meets all applicable requirements upon addressing all construction plans comments.



VICINITY MAP - NTS
TOWN OF NORTHLAKE, TEXAS



LINE TABLE		
Line #	Direction	Length
L1	S7° 52' 31"W	23.69

LEGEND

AE.....Access Easement
CIRF.....Capped Iron Rod Found
CIRS.....Capped Iron Rod Set
DE.....Drainage Easement
DOC. NO.....County Clerk's Document Number
PAE.....Public Access Easement
PG.....Page
POB.....Point of Beginning
RPRDCT.....Real Property Records,
Denton County, Texas
SSE.....Sanitary Sewer Easement
VOL.....Volume
WE.....Water Easement

SURVEYOR'S NOTES

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the Western Data Systems RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. The use of the word "certification" hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.
3. By scaled location of FEMA FIRM Map No. 48121C0505G, Revised April 18, 2011, the subject property lies within:
-Zone X (unshaded) - Areas determined to be outside the 0.2% annual chance floodplain.
4. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.

OWNER NAME AND ADDRESS

Northlake Team Development, LTD.
365 Miron Drive, Suite A
Southlake, Tx 76092

BHB Baird, Hampton & Brown
Engineering & Surveying
3801 William D. Tate Ave., Ste. 500, Grapevine, TX 76051
raillon@bhinc.com 817-251-8550 www.bhinc.com
BHB Project #2018.400.014 TBPE Firm F-44 TBPLS Firm 10011302

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS **NORTHLAKE TEAM DEVELOPMENT, LTD.**, is the owner of a tract of land situated in the Patrick Rock Survey, Abstract No. 1063, Denton County, Texas, being all of a tract of land known as Tract "B" as described in the deed to Northlake Team Development, Ltd., recorded in Document Number 2018-116124, Real Property Records, Denton County, Texas (RPRDCT) and being more particularly described by metes and bounds as follows (Bearings referenced to the Texas Coordinate System, NAD83 North Central Zone - 4202, as established using GPS Technology in conjunction with the AllTerra RTK Cooperative Network):

COMMENCING at a 5/8-inch capped iron rod marked "BHB INC" found (CIRF) for the northeast corner of Lot 1, Town Commons, an addition to the Town of Northlake as shown on plat thereof recorded in Document Number 2018-277, RPRDCT and being in the southwest line of Lot 10X of the said Town Commons addition;

THENCE South 59°07'28" East, with the southwest line of said Lot 10X, a distance of 232.51 feet to a 5/8-inch capped iron rod marked "BHB INC" set (CIRS) for the **POINT OF BEGINNING**;

THENCE South 59°07'28" East, with the southwest line of said Lot 10X, a distance of 325.76 feet to a CIRF for an interior angle corner of said Lot 10X;

THENCE southwesterly with the west line of said Lot 10X, the following courses and distances:

South 07°52'31" West, a distance of 23.69 feet to a CIRS;
South 55°31'56" West, a distance of 99.22 feet to a cotton spindle found;
South 89°34'22" West, a distance of 70.55 feet to a CIRF;
South 00°51'31" East, passing at 43.01 feet, a CIRS for the southwest corner of said Lot 10X and continuing, in all for a total distance of 63.01 feet to a point for corner, said point being in the north right-of-way line of Farm to Market Highway No. 407 (a variable width public highway);

THENCE South 89°55'40" West, with the north right of way line of said Farm to Market Highway No. 407, a distance of 124.95 feet to a point for the southeast corner of a tract of land known as Tract "A" as described by deed to Northlake Team Development, Ltd., recorded in Document Number 2018-116124, RPRDCT;

THENCE North 00°00'03" East, with the east line of said Tract "A", passing at a distance of 20.00 feet, a CIRS and continuing, in all for a total distance of 310.49 feet to the **POINT OF BEGINNING** and containing 51,052 square feet or 1.172 acres of land more or less.

OWNER'S CERTIFICATION

STATE OF TEXAS §
COUNTY OF §

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, **NORTHLAKE TEAM DEVELOPMENT, LTD.**, acting by and through the undersigned, their duly authorized agents, do hereby adopt this Final Plat designating the herein above described real property as **LOT 2, TOWN COMMONS**, an addition to the Town of Northlake, Texas, and do hereby dedicate to the public use forever, the streets and easements shown thereon.

Northlake Team Development, LTD.
A Texas Limited Partnership

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF §

BEFORE ME, the undersigned authority, on this day personally appeared, _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the ____ day of _____, 2018.

Notary Public in and for the State of Texas

My commission expires

KNOW ALL MEN BY THESE PRESENTS:

That I, Robert P. Allen, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

**PRELIMINARY, THIS DOCUMENT SHALL NOT
BE RECORDED FOR ANY PURPOSE AND SHALL
NOT BE USED OR VIEWED OR RELIED UPON AS
A FINAL SURVEY DOCUMENT.**

Released for Review By:
Surveyor: Robert P. Allen
Registered Professional Land Surveyor No. 6495
Release Date: 11-22-2019

Robert P. Allen 11/22/2019
Registered Professional Land Surveyor No. 6495

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Robert P. Allen, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the ____ day of _____, 2019.

Notary Public in and for the State of Texas

My commission expires

REVIEWED AND APPROVED BY
BELMONT FRESH WATER SUPPLY DISTRICT NO. 1:

Date _____

DISTRICT ENGINEER
BELMONT FRESH WATER SUPPLY DISTRICT NO. 1

APPROVAL BY THE TOWN COUNCIL

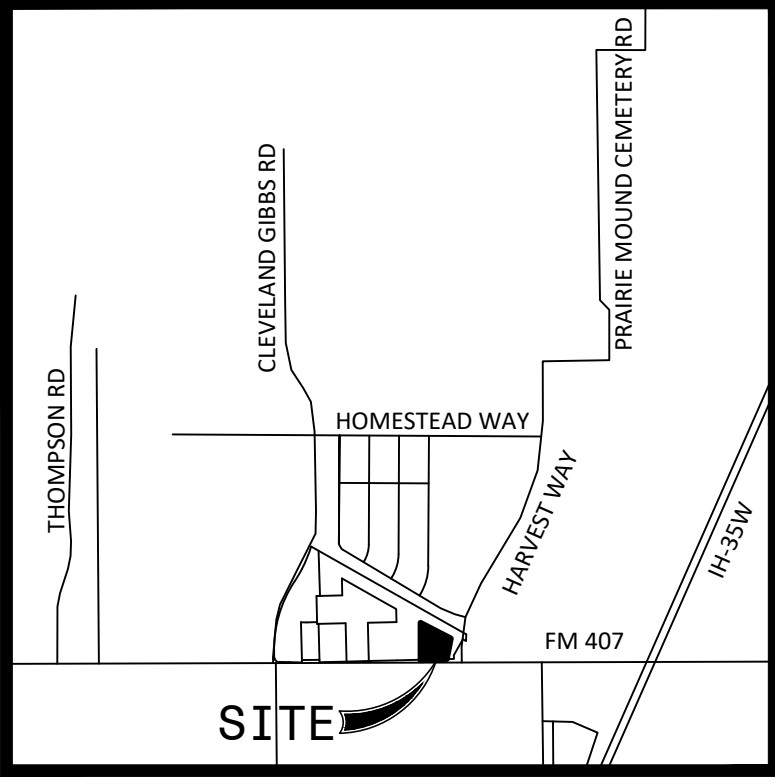
Date _____

Mayor, Town of Northlake

Town Secretary, Town of Northlake

FINAL PLAT
TOWN COMMONS
LOT 8

BEING 1.172 ACRES IN THE PATRICK ROCK SURVEY, ABSTRACT NO. 1063
IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
1 NON-RESIDENTIAL LOT
CURRENT ZONING M-PD (MIXED-USE/PLANNED DEVELOPMENT) & ET.J
DECEMBER 2019



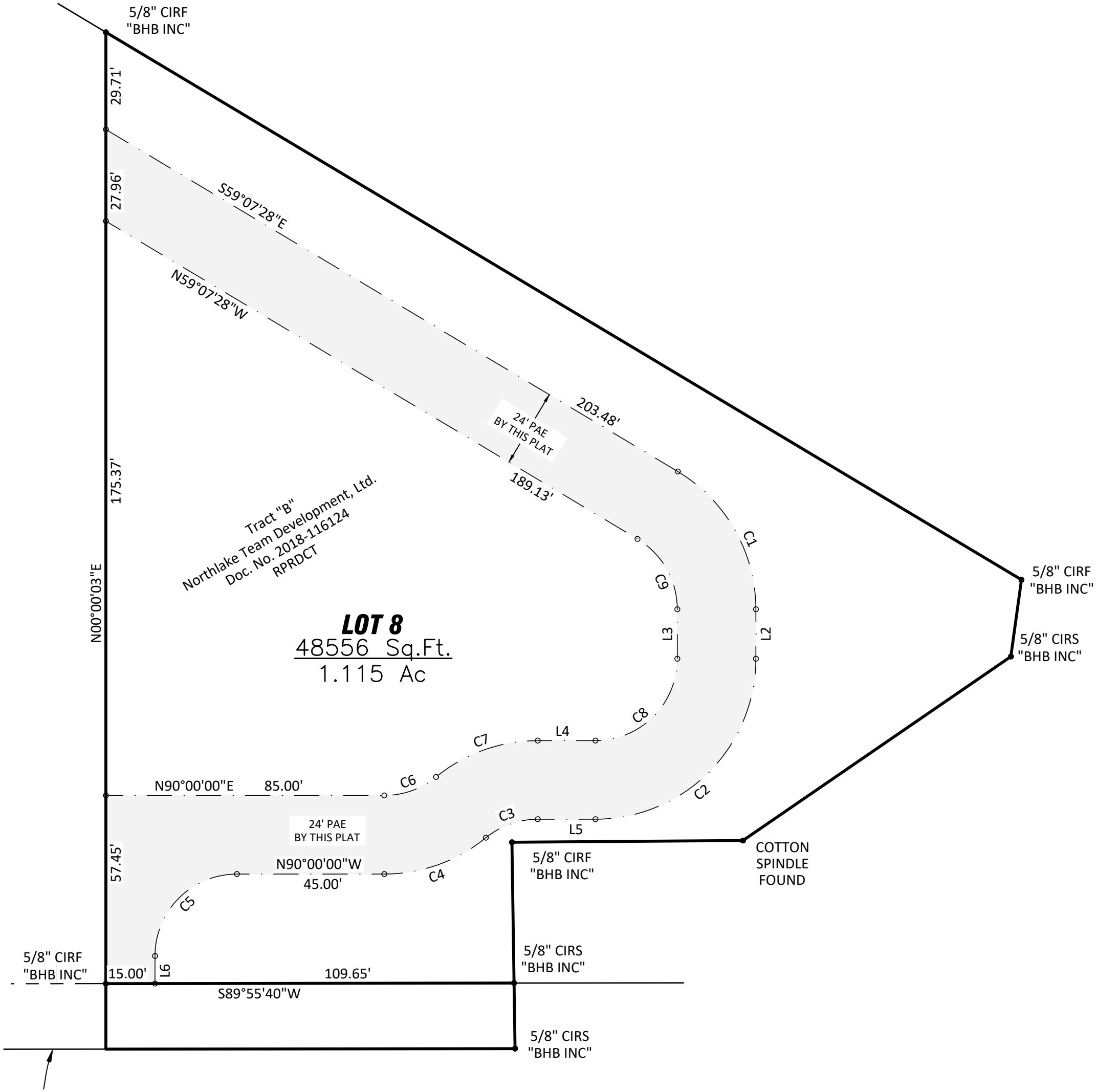
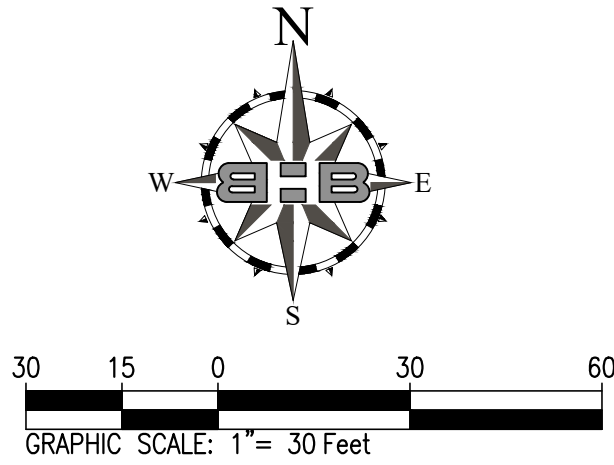
VICINITY MAP - NTS
TOWN OF NORTHLAKE, TEXAS

LEGEND

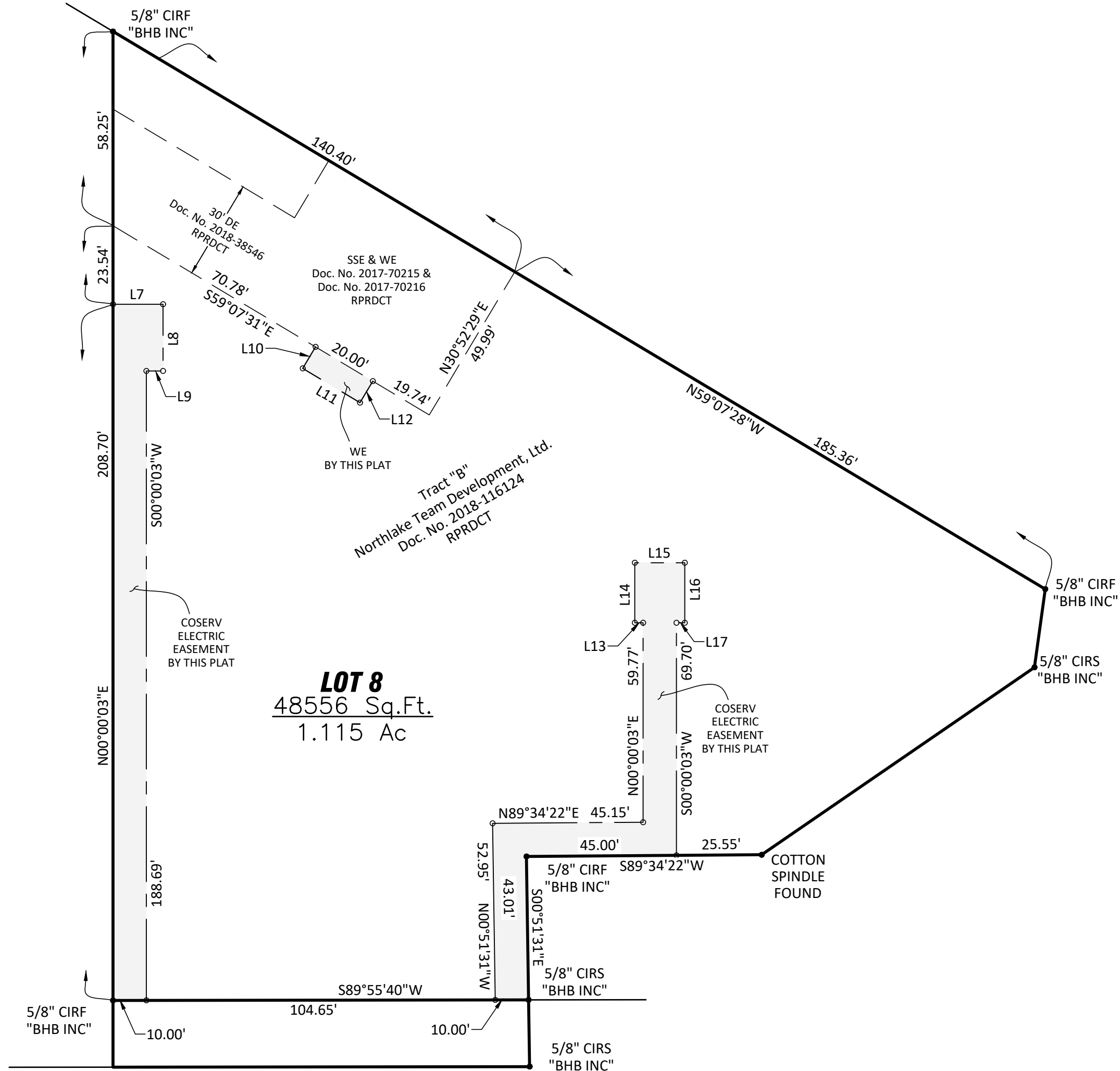
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SURVEYOR'S NOTES

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the Western Data Systems RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. The use of the word "certification" hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.
3. By scaled location of FEMA FIRM Map No. 48121C0505G, Revised April 18, 2011, the subject property lies within:
-Zone X (unshaded) - Areas determined to be outside the 0.2% annual chance floodplain.
4. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.



CURVE TABLE					
Curve #	Delta	Radius	Arc Length	Chord Bearing	Ch. Length
C1	59°07'31"	49.00'	50.56'	S29°33'42"E	48.35'
C2	90°00'00"	49.00'	76.97'	S45°00'03"W	69.30'
C3	39°18'21"	25.00'	17.15'	S70°20'52"W	16.82'
C4	39°18'18"	49.00'	33.61'	S70°20'51"W	32.96'
C5	89°59'57"	25.00'	39.27'	S45°00'01"W	35.36'
C6	39°18'18"	25.00'	17.15'	N70°20'51"E	16.82'
C7	39°18'21"	49.00'	33.61'	N70°20'52"E	32.96'
C8	90°00'00"	25.00'	39.27'	N45°00'03"E	35.36'
C9	59°07'31"	25.00'	25.80'	N29°33'42"W	24.67'



LINE TABLE		
Line #	Direction	Length
L2	S0° 00' 03"W	15.11
L3	N0° 00' 03"E	15.11
L4	S89° 59' 57"E	17.62
L5	N89° 59' 57"W	17.62
L6	S0° 00' 03"W	8.43
L7	N90° 00' 00"E	15.00
L8	S0° 00' 03"W	20.00
L9	N90° 00' 00"W	5.00

LINE TABLE		
Line #	Direction	Length
L10	S30° 52' 32"W	7.51
L11	S59° 07' 28"E	20.00
L12	N30° 52' 32"E	7.51
L13	N90° 00' 00"W	2.50
L14	N0° 00' 03"E	18.00
L15	N90° 00' 00"E	15.00
L16	S0° 00' 03"W	18.00
L17	N90° 00' 00"W	2.50

FINAL PLAT
TOWN COMMONS
LOT 8

BEING 1.172 ACRES IN THE PATRICK ROCK SURVEY, ABSTRACT NO. 1063
IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
1 NON-RESIDENTIAL LOT
CURRENT ZONING M-PD (MIXED-USE/PLANNED DEVELOPMENT) & ETJ
DECEMBER 2019

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Site Plan of Northlake Commons Phase 7 (SP-19-007)

Purpose: Consider approval of a Site Plan of Northlake Commons Phase 7, a proposed one-building, 10,212 square-foot commercial development on 1.115 acres situated in the Patrick Rock Survey, Abstract No. 1063, to be platted as Lot 8, Town Commons, generally located on the north side of FM 407 approximately 300 feet west of Harvest Way, and zoned Mixed-Use Planned Development (MPD).

Owner: Northlake Development LTD

Applicant/Developer: Office Equity Solutions

Engineer/Surveyor: Baird, Hampton & Brown Inc.

Existing Condition of the Property: The subject property is currently vacant, and the final plat for this site is on this same agenda.

Staff Analysis:

Access: Shared driveways and access easements will provide access to the site from multiple driveways on FM 407 as well as Cleveland-Gibbs Road.

Parking: The development is planned for a mix of commercial uses including retail and office uses, both of which require 1 parking space per 250 square feet, requiring a minimum of 41 parking spaces in the phase. 50 parking spaces are provided on the site plan of which 2 of the spaces will meet ADA requirements.

Fencing, Lighting, and Signage: A dumpster location is shown on the site plan with screening. Dumpster enclosure screening details shall be provided with building permit application and meet all UDC requirements. Any other details on fencing, lighting and signage not provided with the site plan package must meet the requirements of the UDC at time of permitting.

Landscaping: Detailed landscape plans have been provided showing landscaping meeting the requirements of the UDC. Landscape materials were chosen for compatibility with the UDC as well as to match those already being used in the neighboring Harvest

development with preference for low maintenance, low water use plants being native or well adapted for this region.

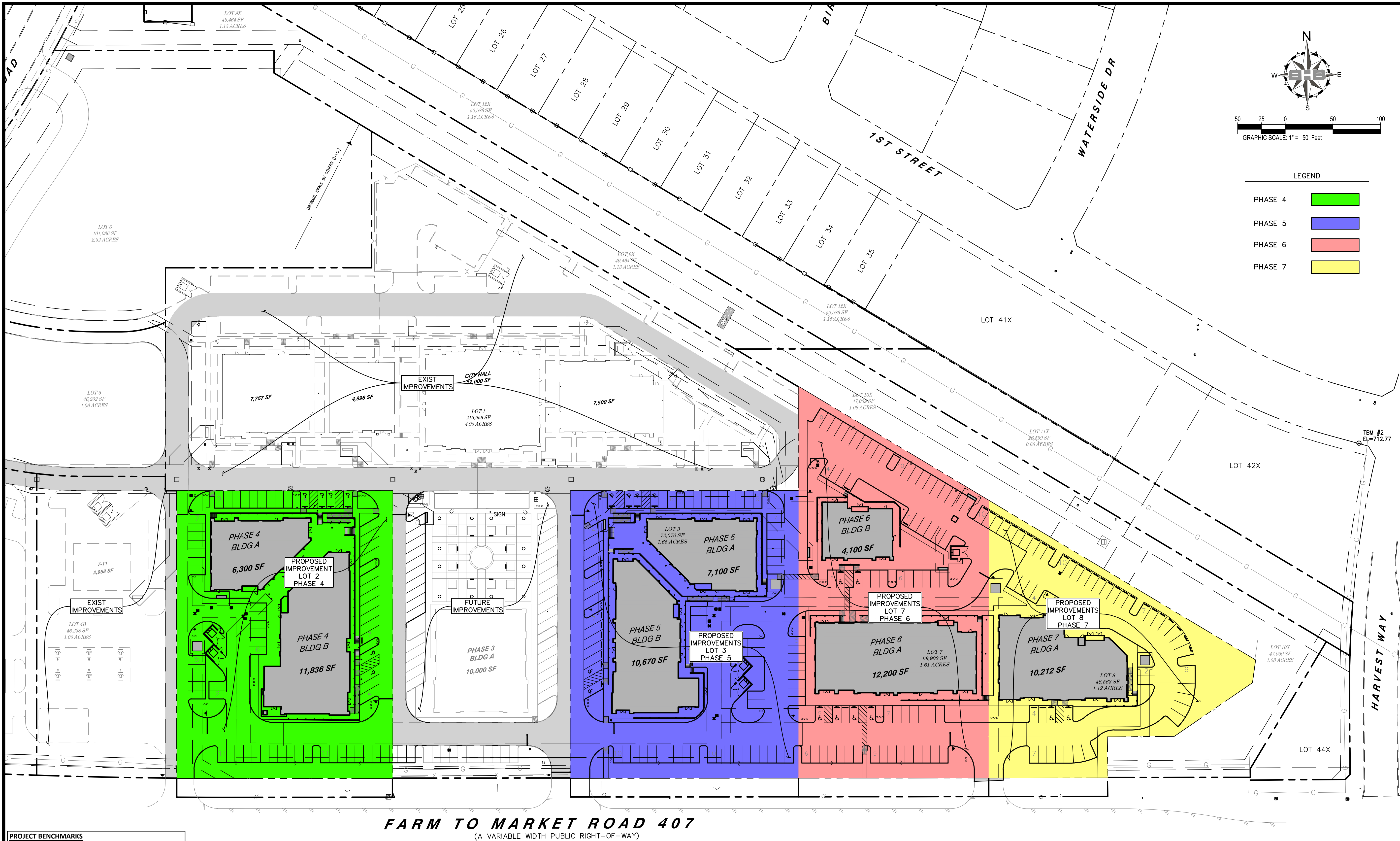
Building Elevations: Architectural elevations of the building are provided showing all four sides of each building of the proposed building which exceed the design elements required by the UDC. The exterior materials include a mix of stucco, stone, Nichiha and corrugated metal panels to match the materials used in Phases 4, 5 & 6. As a reminder, new state law allows the use of any exterior material approved by the most recent building codes. Our building inspectors will confirm that all materials are code approved at time of inspection.

Criteria for Approval: Section 12.15 of the Unified Development Code (UDC) outlines the site plan process and includes the following criteria for Town Council to consider when taking final action on a site plan.

1. The site plan is consistent with the general purpose and intent of the applicable zoning district regulations.
2. The site plan is compatible with adjacent developments and neighborhoods and includes improvements to mitigate development related adverse impacts.
3. The site plan does not generate pedestrian or vehicular traffic which will be hazardous or conflict with the existing traffic patterns in the area.
4. The site plan incorporates features to minimize adverse effects on adjacent properties.
5. Adequate capacity of public or private facilities for water, sewer, electricity and transportation to and through the development are provided to the site.
6. The site plan meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.
7. The proposed use and associated site plan promote the health, safety or general welfare of the Town and the safe, orderly, efficient and healthful development of the Town.

Staff Findings: Staff has reviewed the site plan package and finds it meets the criteria above and all applicable requirements of the Town.

11/25/2019 7:51 AM E:\2018\000\2018.761\000 Town Commons Lot 8, Phase 7 - Northlake01 CADD\04 Civil\Overall Site Plans.dwg OVERALL SITE PLAN



PROJECT BENCHMARKS

TBM #1 - "X-Cut" set in northeast corner of concrete curb inlet on the east side of Cleveland-Gibbs Road, approximately 640' north-northeast of the centerline of asphalt paving of Farm-to-Market Road 407.
N: 7086304.40
E: 2355860.66
Elevation: 726.48'

TBM #2 - "X-Cut" set in southeast corner of concrete pedestrian ramp at the southwest intersection of 1st Street and Harvest Way, approximately 44' south of a fire hydrant.
N: 7086066.85
E: 2357347.59
Elevation: 712.77'

TBM #3 - Sanitary sewer manhole set in northern drainage channel. North of property.
N: 7086488.89
E: 2356235.87
Elevation: 722.05'

OVERALL SITE PLAN

NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF SKYLAR LYLE WIERZBICKI, PE TX 130824.
IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

11-25-2019

PROJECT NUMBER: 2018.761.000
DATE: 11/25/2019 DRAWN BY: DS
DESIGN BY: SLW CHECKED BY: SLW

SHEET

3

3 of 20

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A,
Southlake, TX 76092

OFFICE EQUITY SOLUTIONS

NORTHLAKE COMMONS LOT 8 PHASE 7

CLEVELAND-GIBBS RD & FM 407

NORTHLAKE, TX 76002

Office Equity Solutions

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A,
Southlake, TX 76092

OFFICE EQUITY SOLUTIONS

NORTHLAKE COMMONS LOT 8 PHASE 7

CLEVELAND-GIBBS RD & FM 407

NORTHLAKE, TX 76002

B=B
BAIRD, HAMPTON & BROWN
engineering and surveying

3801 William D. Tate Ave. Ste. 600 Grapevine, TX 76051
mail@bhb.com 817.251.8550 • bhbs.com
TBE Firm #44 • TBPLS Firm #10011302

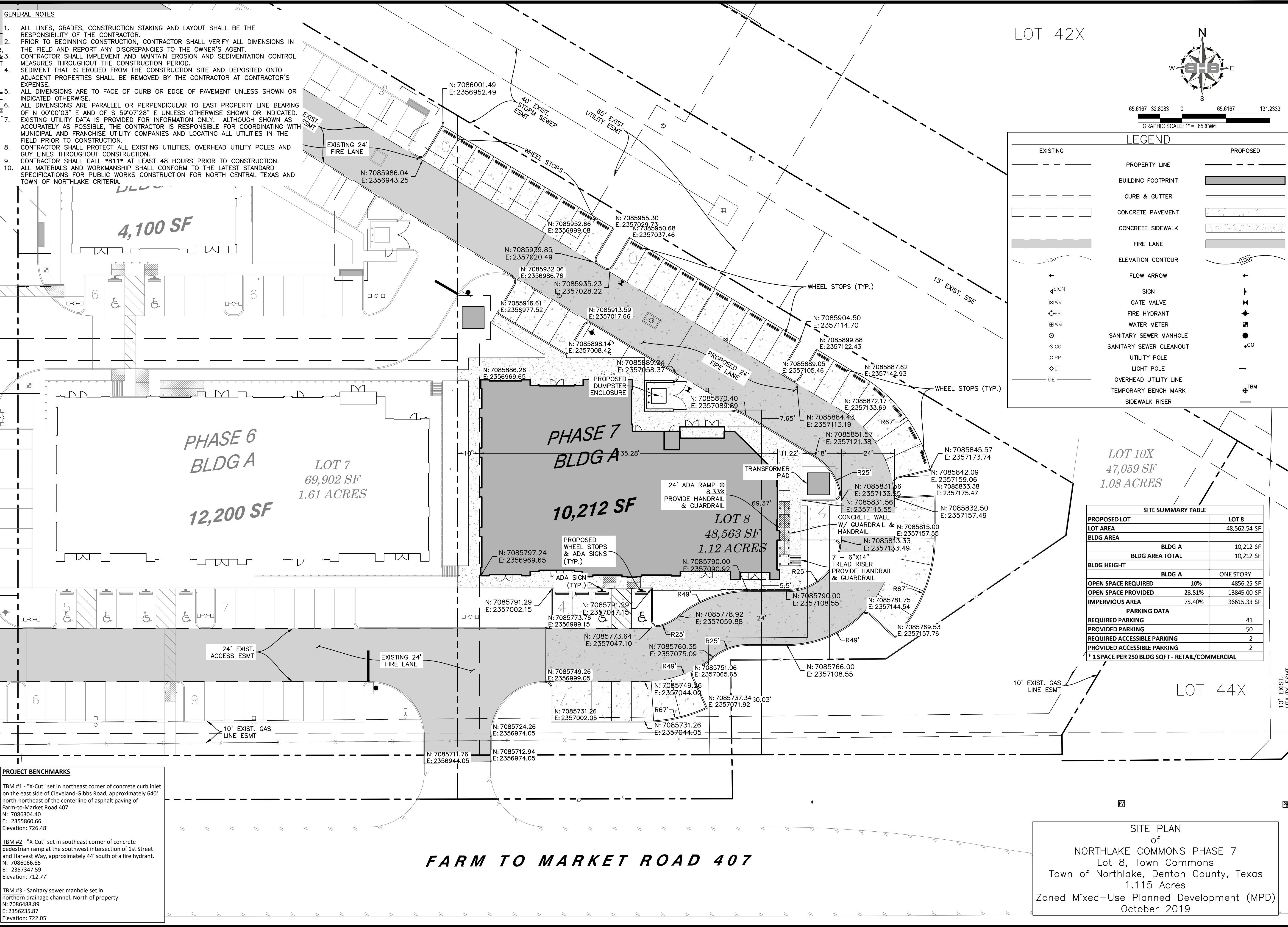


LEGEND

- PHASE 4
- PHASE 5
- PHASE 6
- PHASE 7

GENERAL NOTES

1. ALL LINES, GRADES, CONSTRUCTION STAKING AND LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S AGENT.
3. CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
4. SEDIMENT THAT IS ERODED FROM THE CONSTRUCTION SITE AND DEPOSITED ONTO ADJACENT PROPERTIES SHALL BE REMOVED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
5. ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS SHOWN OR INDICATED OTHERWISE.
6. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO EAST PROPERTY LINE BEARING OF N 00°00'03" E AND OF S 59°07'28" E UNLESS OTHERWISE SHOWN OR INDICATED.
7. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH MUNICIPAL AND FRANCHISE UTILITY COMPANIES AND LOCATING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, OVERHEAD UTILITY POLES AND GUY LINES THROUGHOUT CONSTRUCTION.
9. CONTRACTOR SHALL CALL *811* AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
10. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR NORTH CENTRAL TEXAS AND TOWN OF NORTHLAKE CRITERIA.



PROJECT BENCHMARKS

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TBM #3 - Sanitary sewer manhole set in northern drainage channel. North of property.
N: 7086488.89
E: 2356235.87
Elevation: 722.05'

SITE SUMMARY TABLE	
PROPOSED LOT	LOT 8
LOT AREA	48,562.54 SF
BLDG AREA	
BLDG A	10,212 SF
BLDG AREA TOTAL	10,212 SF
BLDG HEIGHT	
BLDG A	ONE STORY
OPEN SPACE REQUIRED	10%
OPEN SPACE PROVIDED	28.51%
IMPERVIOUS AREA	75.40%
PARKING DATA	
REQUIRED PARKING	41
PROVIDED PARKING	50
REQUIRED ACCESSIBLE PARKING	2
PROVIDED ACCESSIBLE PARKING	2
* 1 SPACE PER 250 BLDG SQFT - RETAIL/COMMERCIAL	

SITE PLAN
of
NORTHLAKE COMMONS PHASE 7
Lot 8, Town Commons
Town of Northlake, Denton County, Texas
1.115 Acres
Zoned Mixed-Use Planned Development (MPD)
October 2019

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A,
Southlake, TX 76092

SITE PLAN

NO.	DESCRIPTION	DATE

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
SKYLAR LYLE WIERZBICKI, PE
TX 130824.
IT IS NOT INTENDED FOR
CONSTRUCTION, BIDDING, OR
PERMIT PURPOSES.

11-25-2019

PROJECT NUMBER: 2018.761.000
DATE: 11/25/2019 DRAWN BY: DS
DESIGN BY: SLW CHECKED BY: SLW

SHEET

4

4 of 20

OFFICE EQUITY SOLUTIONS

OFFICE EQUITY SOLUTIONS

NORTHLAKE COMMONS LOT 8 PHASE 7

CLEVELAND-GIBBS RD & FM 407

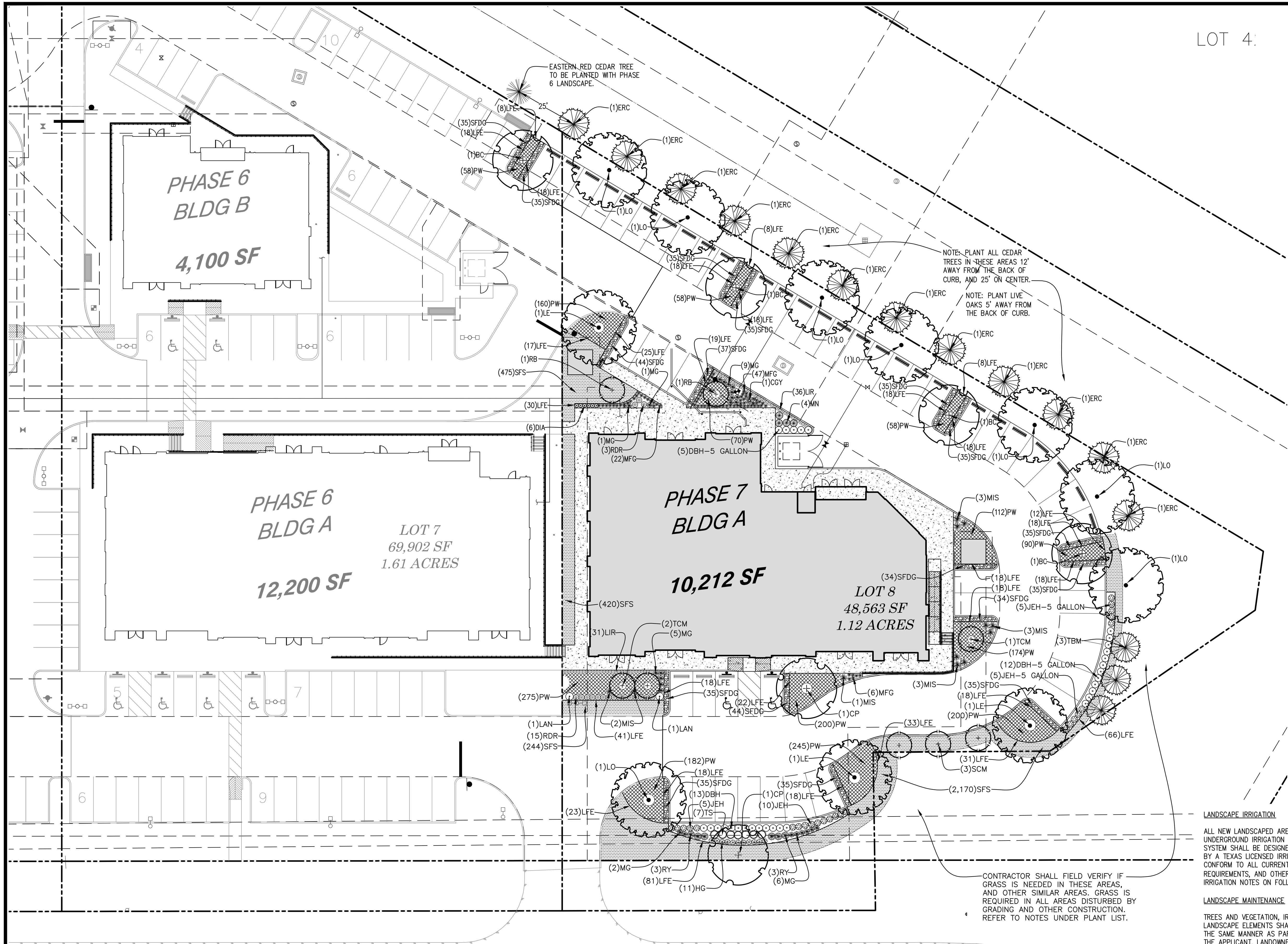
NORTHLAKE, TX 76002

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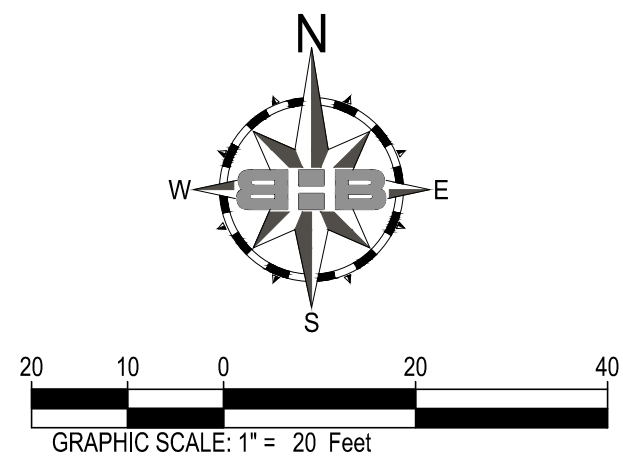
BAIRD, HAMPTON & BROWN
engineering and surveying

3801 William D. Tate Ave. Ste. 600 Grapevine, TX 76051
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TBE Firm #44 - TBEPLS Firm #1001302

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LOT 4:



PLANT ABBREVIATION KEY

BC	Bald Cypress
CP	Chinese Pistachio
LE	Lacebark Elm
LO	Live Oak
ERC	Eastern Red Cedar
RB	Oklahoma Redbud
SCM	Sioux Grape Myrtle
TCM	Tuskegee Grape Myrtle
TBM	Teddy Bear Magnolia
COY	Color Guard Yucca
JEH	Jack Evans Indian Hawthorn
HG	Hameln Grass
DBH	Dwarf Burford Holly
DYH	Dwarf Yaupon Holly
LAN	New Gold Lantana
LIR	Liriope (Monkey Grass)
MFG	Mexican Feather Grass
RY	Brakeleights Red Yucca
MG	Pink Muhly Grass
MIS	Miscanthus (Maiden Grass)
MN	Moonbay Nandina
PW	Purple Leaf Wintercreeper
RDR	Red Drift Rose
TS	Thunder Cloud Texas Sage
DIA	Dianthus
LFE	Linear Feet Steel Edging
SFDG	Sq. Ft. Decomposed Granite
SFS	Square Feet Sod

	AREAS TO BE SODDED
	AREAS OF PURPLELEAF WINTERCREEPER GROUNDCOVER

LANDSCAPE IRRIGATION

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, AND OTHER APPLICABLE CODES. REFER TO DESIGN/BUILD IRRIGATION NOTES ON FOLLOWING SHEET.

LANDSCAPE MAINTENANCE

TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPE ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION. ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE REPLACED WITHIN 3 MONTHS.

FARM TO MARKET ROAD 407

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A,
Southlake, TX 76092

OFFICE EQUITY SOLUTIONS

NORTHLAKE COMMONS LOT 8 PHASE 7

CLEVELAND-GIBBS RD & FM 407
NORTHLAKE, TX 76002

LANDSCAPE PLAN

NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF THOMAS KELLOGG, RLA TX No. 1225. NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

11-25-2019

PROJECT NUMBER: 2018.761.000
DATE: 11/25/2019 DRAWN BY: BHB
DESIGN BY: BHB CHECKED BY: BHB

SHEET

18

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BHB
BAIRD, HAMPTON & BROWN
engineering and surveying

3801 William D. Tate Ave. Ste. 600 Grapevine, TX 76051
mail@bhb.com 817.251.8500 • bhb.com
TBPE Firm #44 - TBPLS FRM #10011302

PLANT and MATERIALS LIST
Trees

KEY	PLANT NAME	QUANTITY	MIN. SIZE	MIN. HT/SPR	NOTES
BC	Bald Cypress Taxodium distichum	4	3" Caliper	12'/5'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
CP	Chinese Pistachio Pistacia chinensis	2	3" Caliper	10'/5'	NURSERY GROWN; FULL; 6'-6" MIN. BRANCHING HEIGHT
LE	Allee Lacebark Elm Ulmus parvifolia 'Emer 11'	3	3" Caliper	12'/5'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
LO	Live Oak Quercus virginiana	8	3" Caliper	12'/5'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
MAG	Teddy Bear Magnolia Magnolia grandiflora 'Southern Charm'	3		8'/4'	NURSERY GROWN; FULL; BRANCHES TO GROUND. DO NOT TRIM LOWER BRANCHES.
RB	Oklahoma Redbud Cercis reniformis 'Oklahoma'	2	2" Caliper	6'/4'	NURSERY GROWN; FULL
SCM	Sioux Crape Myrtle Lagerstroemia 'Sioux'	3		6'/4'	NURSERY GROWN; FULL; MULTI-TRUNK MIN. 3 CANES
TCM	Tuskegee Crape Myrtle Lagerstroemia 'Tuskegee'	3		6'/4'	NURSERY GROWN; FULL; MULTI-TRUNK MIN. 3 CANES
ERC	Eastern Red Cedar Juniperus virginiana	12		8'/5'	NURSERY CROWN; FULL; SYMMETRICAL; BRANCHED TO THE GROUND

MAGNOLIA TREES WITH LOWER BRANCHES REMOVED ARE UNACCEPTABLE. DO NOT REMOVE LOWER BRANCHES BEFORE OR AFTER PLANTING. THIS RUINS THE NATURAL FORM OF ANY MAGNOLIA GRANDIFLORA VARIETY.

EASTERN RED CEDAR TREES WITH LOWER BRANCHES REMOVED ARE UNACCEPTABLE. DO NOT REMOVE LOWER BRANCHES BEFORE OR AFTER PLANTING.

Shrubs and Groundcover

KEY	PLANT NAME	QUANTITY	CONTAINER	MIN. HT/SPR.	NOTES
PW	Purpleleaf Wintercreeper Euonymus fortunei 'Coloratus'	1,882	4" POT		FULL; SPACE 12" ON CENTER; MIN. 3 RUNNERS; EACH RUNNER MIN. 6" LONG
CY	Color Guard Yucca Yucca filamentosa 'Color Guard'	1	5 GALLON		FULL
DIA	Dianthus Dianthus 'Firewitch'	6	1 GALLON		FULL
DBH	Dwarf Burford Holly Ilex cornuta 'Burfordii nana'	13	10 GALLON	30"/20"	FULL
DBH 5 GALLON	Dwarf Burford Holly Ilex cornuta 'Burfordii nana'	17	5 GALLON	18"/14"	FULL
HG	Hameln Grass Pennisetum apercuroides 'Hameln'	11	1 GALLON		FULL
LAN	New Gold Lantana Lantana 'New Gold'	2	1 GALLON		FULL
LIR	Liriope Liriope muscari 'Big Blue' or 'Royal Purple'	67	4" POT		FULL; SPACE AS SHOWN - APPROX. 15" ON CENTER. 'MAJESTIC' IS ALSO ACCEPTABLE.
RY	Brakelights Red Yucca Hesperaloe parviflora 'Perpa' Brakelights	6	3 GALLON		FULL
MFG	Mexican Feather Grass Nassella tenuissima	75	1 GALLON		FULL
MG	Pink Muhly Grass Muhlenbergia capillaris	24	1 GALLON		FULL
JEH	Jack Evans Indian Hawthorn Rhapiolepis indica 'Jack Evans'	15	10 GALLON	24"/18"	FULL
JEH 5 GALLON	Jack Evans Indian Hawthorn Rhapiolepis indica 'Jack Evans'	10	5 GALLON	16"/16"	FULL
MIS	Maiden Grass Miscanthus sinensis 'Adagio'	12	1 GALLON		FULL
MN	Moonbay Nandina Nandina domestica 'Moonbay'	4	5 GALLON	16"/14"	FULL
RDR	Red Drift Rose Rosa 'Meipalgio'	18	5 GALLON	12"/12"	FULL
TS	Thunder Cloud Texas Sage Leucophyllum frutescens 'Thunder Cloud'	7	3 GALLON	12"/14"	FULL; 'COMPACTA' VARIETY MAY BE SUBSTITUTED. NO OTHER VARIETIES.

Grass

SFS	SOLID SOD	Cynodon dactylon Bermudagrass	5,939 Sq. Ft.	Tifway 419, Tex Turf 10, or other improved variety. Do not use common bermuda sod.
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Miscellaneous

LFE	676 Linear feet steel edging; COMMERCIAL GRADE 3/16" thick; black (preferred) or green; securely stoked. Refer to detail.
SFDG	613 square feet decomposed granite. Refer to detail.

NOTES

THE QUANTITIES OF PLANTS AND MATERIALS SHOWN IN THE ABOVE LISTS MUST BE COMPARED TO THE LANDSCAPE PLAN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

ACTUAL QUANTITY OF SOD (AND/OR HYDROMULCH) NEEDED MAY DIFFER FROM SQUARE FOOTAGES LABELED. CONTRACTOR SHALL BID QUANTITY SHOWN IN PLANT LIST, AND PROVIDE PER SQUARE FOOT UNIT COSTS FOR ADDING AND SUBTRACTING SOD (AND/OR HYDROMULCH). THE CONTRACTOR IS REQUIRED TO TAKE APPROPRIATE MEASURES TO ENSURE THAT A FULL STAND OF HEALTHY GRASS IS ESTABLISHED IN ALL GRASS AREAS. GRASS SHALL BE PLANTED IN AREAS DISTURBED BY GRADING AND OTHER CONSTRUCTION ACTIVITIES. FIELD VERIFICATION OF GRASS LIMITS IS OFTEN REQUIRED.

PRIOR TO INSTALLATION OF PLANTS, THE LANDSCAPE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE TO VERIFY ALL AREAS TO BE PLANTED, PLANT SIZES, AND COORDINATION OF PLANTING ACTIVITIES WITH IRRIGATION INSTALLATION.

IF HYDROMULCH IS NOT SHOWN ON THE LANDSCAPE PLANS, THE LANDSCAPE CONTRACTOR SHALL DISCUSS WITH THE OWNER'S REPRESENTATIVE IF IT IS POSSIBLE TO INSTALL HYDROMULCH RATHER THAN SOD IN SOME GRASS AREAS. IF HYDROMULCH IS INSTALLED, IT SHALL BE SULTAN, BLACK JACK, OR SAHARA BERMUDA WITH A TACKIFIER ADDITIVE ON 4:1 OR GREATER SLOPES. BERMUDA HYDROMULCH SHALL ONLY BE APPLIED BETWEEN THE DATES OF MAY 1st AND SEPTEMBER 15th. BETWEEN SEPTEMBER 15th AND MAY 1st, HYDROMULCH WITH ANNUAL RYE GRASS, AND RETURN AFTER MAY 1st TO REMOVE OR TILL IN RYE GRASS AND HYDROMULCH (OR SOD IF OWNER REQUESTS) WITH BERMUDA. PRIOR TO HYDROMULCHING, VERIFY WITH OWNER'S REPRESENTATIVE AREAS, DATES, AND TYPE OF GRASS. DISCUSS WITH THE OWNER THE SCHEDULE AND OTHER DETAILS REGARDING RETURNING AFTER MAY 1ST TO ESTABLISH PERMANENT BERMUDA GRASS.

ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014."

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, AND OTHER APPLICABLE CODES.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO COORDINATE THE TIMING OF INSTALLATION OF PLANTS AND INSTALLATION OF THE IRRIGATION SYSTEM. COORDINATE WITH THE GENERAL CONTRACTOR IF NECESSARY. THE GENERAL CONTRACTOR OR PAVING CONTRACTOR SHALL CONSULT WITH THE IRRIGATION CONTRACTOR REGARDING THE POSSIBILITY OF IRRIGATION SLEEVES WITHIN AREAS TO BE PAVED.

LANDSCAPE SPECIFICATIONS

SCOPE OF WORK

- A. Furnish all supervision, labor, materials, services, and equipment required to complete the work covered in these specifications and plans, including the following: planting of trees, shrubs, and groundcover, submittals, maintenance, guarantee, cleanup, and acceptance.

REFERENCES

- A. American Standard for Nursery Stock - ANSI Z60.1 - published by American Nursery & Landscape Association; latest edition.
- B. Horis Third, 1976 - Cornell University

SUBMITTALS

- A. Samples: Provide representative quantities of mulch and stone. Samples shall be approved by Owner's Representative before use on project.
- B. If the Owner's Representative does not inspect plants at the nursery, the Landscape Contractor shall provide at the site three (3) representative samples of each variety of trees, shrubs, and groundcover plants for Owner's Representative's approval. Photographs of representative plants are acceptable. Photos must show plant clearly from at least two sides. For each plant type, photos must be taken of at least three (3) different plants.
- C. Plant substitutions must be approved by the Owner's Representative in writing.

JOB CONDITIONS

- A. General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All construction debris shall be removed prior to Landscape Contractor beginning work.
- B. Underground utilities must be located prior to planting. Landscape Contractor shall arrange for utility location service. Contact Texas811.com at least two working days prior to excavation. Landscape Contractor shall be responsible for protecting utility lines. Repairs due to damage shall be at the Landscape Contractors expense.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner will not be responsible for theft or damage.

MAINTENANCE and GUARANTEE

- A. The Landscape Contractor is responsible for maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, or groundcover will be accepted unless they show a healthy growth and satisfactory foliage conditions.
- B. Maintenance shall include watering, cultivation, weeding, edging, pruning of trees, cleaning up, and all other necessary maintenance tasks.
- C. A written notice requesting final inspection and acceptance should be submitted to the Owner's Representative at least seven (7) days prior to completion. An on-site inspection by Owner's Representative and Landscape Contractor will be completed prior to written acceptance.
- D. After final acceptance, the Owner assumes responsibility for maintenance.
- E. Trees, shrubs, and groundcover shall be guaranteed for a twelve (12) month period after acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner's Representative. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be subject to replacement.
- F. First initial plant replacement shall be at the Landscape Contractor's expense. Additional replacement plants beyond the first are not guaranteed.
- G. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified.
- H. The Owner agrees that for the guarantee to be effective, he/she will water plants at least twice a week during dry periods. The Landscape Contractor shall visit the site at regular intervals during the guarantee period to observe the condition of the plants, and report any problems and possible remedies to the Owner.

QUALITY ASSURANCE

- A. Owner's Representative has the right to inspect all plant materials at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- B. Owner's Representative retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- C. Owner's Representative may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately.

PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Balled and burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
- B. Container grown plants. Deliver plants in rigid container to hold ball shape and protect root mass.
- C. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- D. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- E. Do not lift, move, adjust to plumb, or otherwise manipulate plants by trunks or stems.

PLANTS

- A. Plants shall be well-formed nursery grown stock, with tags showing species and variety. Tags must remain until after final acceptance. Plants will be individually approved by the Owner's Representative and his decision as to their acceptability shall be final.
- B. The Plant and Materials List shown on the plans is an aid to the Landscape Contractor. Confirm all quantities, and report any discrepancies to the Owner's Representative.
- C. Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. Plants shall be free from insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, and insect eggs and larvae.

DESIGN/BUILD IRRIGATION NOTES

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, CITY REQUIREMENTS, AND OTHER APPLICABLE CODES.

THE CONTRACTOR SHALL PROVIDE A DESIGN-BUILD LANDSCAPE IRRIGATION SYSTEM FOR THE PROPOSED PLANTS WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL DETERMINE IF AN EXISTING FUNCTIONING SYSTEM IS ALREADY IN PLACE, AND WHETHER OR NOT IT CAN BE EXPANDED. BEFORE CONSTRUCTION BEGINS THE IRRIGATION CONTRACTOR SHALL PREPARE AN IRRIGATION DRAWING FOR APPROVAL BY THE OWNER, INCLUDING THE FOLLOWING DESIGN GUIDELINES:

- A. TURF, SHRUBS, AND TREES SHALL ALL BE ZONED SEPARATELY.
- B. PIPE SHALL BE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF FIVE FEET PER SECOND.
- C. OPERATING PRESSURE AT ALL ROTARY HEAD NOZZLES SHALL BE MINIMUM 30 PSI.
- D. OPERATING PRESSURE AT ALL SPRAY NOZZLES SHALL BE MINIMUM 25 PSI.
- E. OPERATING PRESSURE AT ALL DRIP ZONES SHALL BE MINIMUM 25 PSI.
- F. OPERATING PRESSURE AT ALL TREE BUBBLER ZONES SHALL BE MINIMUM 25 PSI.
- G. MANUFACTURE'S INSTALLATION GUIDELINES SHALL BE FOLLOWED.
- H. STATE AND LOCAL IRRIGATION CODES SHALL BE FOLLOWED.

UPON APPROVAL, THE CONTRACTOR'S IRRIGATION PLAN FOR DESIGN-BUILD AREAS SHALL BE USED TO OBTAIN AN IRRIGATION INSTALLATION PERMIT BY THE IRRIGATION CONTRACTOR. UPON COMPLETION, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE OWNER. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PAYING ANY PERMIT FEES THAT MAY BE REQUIRED.

- D. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Unless specified as multi-trunk, trees shall have a single dominant leader.

- E. Substitutions: Plant substitutions may be requested. Substitutions must be pre-approved by the Owner's Representative. In order for a substitution to be considered, the contractor must provide proof that the specified plant is not readily available, either by species, quantity, or size. The contractor shall provide in writing the names, phone numbers, and contact persons from three wholesale nurseries that were contacted. The contractor may suggest an alternative, but the Owner's Representative shall reserve the right as to which substitution, if any, is allowed.

INSTALLATION

- A. Prior to installation, Landscape Contractor shall inspect all existing conditions and report any deficiencies to the Owner's Representative.
- B. Areas to receive rock groundcover: Remove existing grass, weeds, rocks, or other obstructions. Lay polypropylene fabric, using pins as necessary to hold securely in place. Place stone groundcover to depths indicated on plans. Surfaces shall be smooth, without visible depressions or ridges.
- C. Position the trees and shrubs in their intended location as per plan. Notify the Owner's Representative for inspection and approval of all positioning of plant materials. Plants in the vicinity of fire hydrants, meters, or utility boxes must be placed so that, at plant maturity, a five (5) foot clearance is provided.
- D. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed. Root flare of trees must be exposed.
- E. Prior to planting trees, conduct drainage test as follows: dig tree pit entirely and fill nearly full with water. Wait 24 hours. If water is not fully drained from pit, the Landscape Contractor shall notify the Owner's Representative or Landscape Architect so that an alternate planting location might be selected. Drainage test need not be conducted on every tree pit. If trees are in the same relative vicinity and similar expected drainage conditions (similar slopes and/or similar soils) one or several tests may be conducted. It is in the Landscape Contractor's best interest to conduct an adequate number of tests to ensure root balls will not be saturated.
- F. Backfill trees only with existing material excavated from the pit. Carefully settle by watering to prevent air pockets. Backfill shrubs and groundcover beds with planting soil mix as specified in the planting details.
- G. All plant beds and trees shall be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.
- H. In the event that rock, or underground construction work or obstructions are encountered, the Landscape Contractor shall notify the Owner's Representative or Landscape Architect immediately in order to determine if alternate locations can be selected. Where locations cannot be changed, if possible, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6) inches below the bottom of the root ball when plant is properly set at the required grade. For trees, the planting pit shall be at least three times the width of the root ball. Prior to excavating the obstruction(s), the Landscape Contractor shall negotiate with the Owner's Representative to determine if a change order is required.
- I. The Landscape contractor shall return after a period of one year to remove all tree staking materials. If any trees appear to need additional time to stabilize, staking will remain for no longer than an additional 6 months. During the period of time when trees are staked, the contractor is responsible for straightening trees that are not plumb, and adjusting stakes and guy wires as necessary. Guy wires must fit loosely as called for in the planting details.
- J. Lay sod within 24 hours of harvesting. Do not lay sod if ground is frozen or muddy. Sod shall form a solid mass with tightly fitted joints. Butt ends and sides of sod, do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass. Lay sod across angle of slopes exceeding 1:3. Anchor sod on slopes exceeding 1:6 with biodegradable staples spaced as recommended by sod grower but not less than 2 anchors per sod strip to prevent slippage. Saturate sod with fine water spray within two hours of planting. After planting, water daily or more frequently until sod is established.

CLEANUP

- A. During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work. Site shall be clean and neat at time of final inspection.

B=B
BAIRD, HAMPTON & BROWN
engineering and surveying

3801 William D. Tate Ave. Ste. 600, Grapevine, TX 76051
mail@bhb.com 817.251.9594 • bhb.com
TBPE Firm #44 • TBPLS FRM #10011302

DES
OFFICE EQUITY SOLUTIONS

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A,

Southlake, TX 76092

NORTHLAKE COMMONS LOT 8 PHASE 7

CLEVELAND-GIBBS RD & FM 407

NORTHLAKE, TX 76002

PLANT LIST, IRRIGATION
NOTES, SPECIFICATIONS

NO.	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF
INTERIM REVIEW UNDER THE
AUTHORITY OF
THOMAS KELLOGG, RLA
TX No. 1225.
NOT FOR REGULATORY
APPROVAL, PERMITTING, OR
CONSTRUCTION.

11-25-2019

PROJECT NUMBER: 2018.761.000
DATE: 11/25/2019 DRAWN BY: BHB
DESIGN BY: BHB CHECKED BY: BHB

SHEET

19

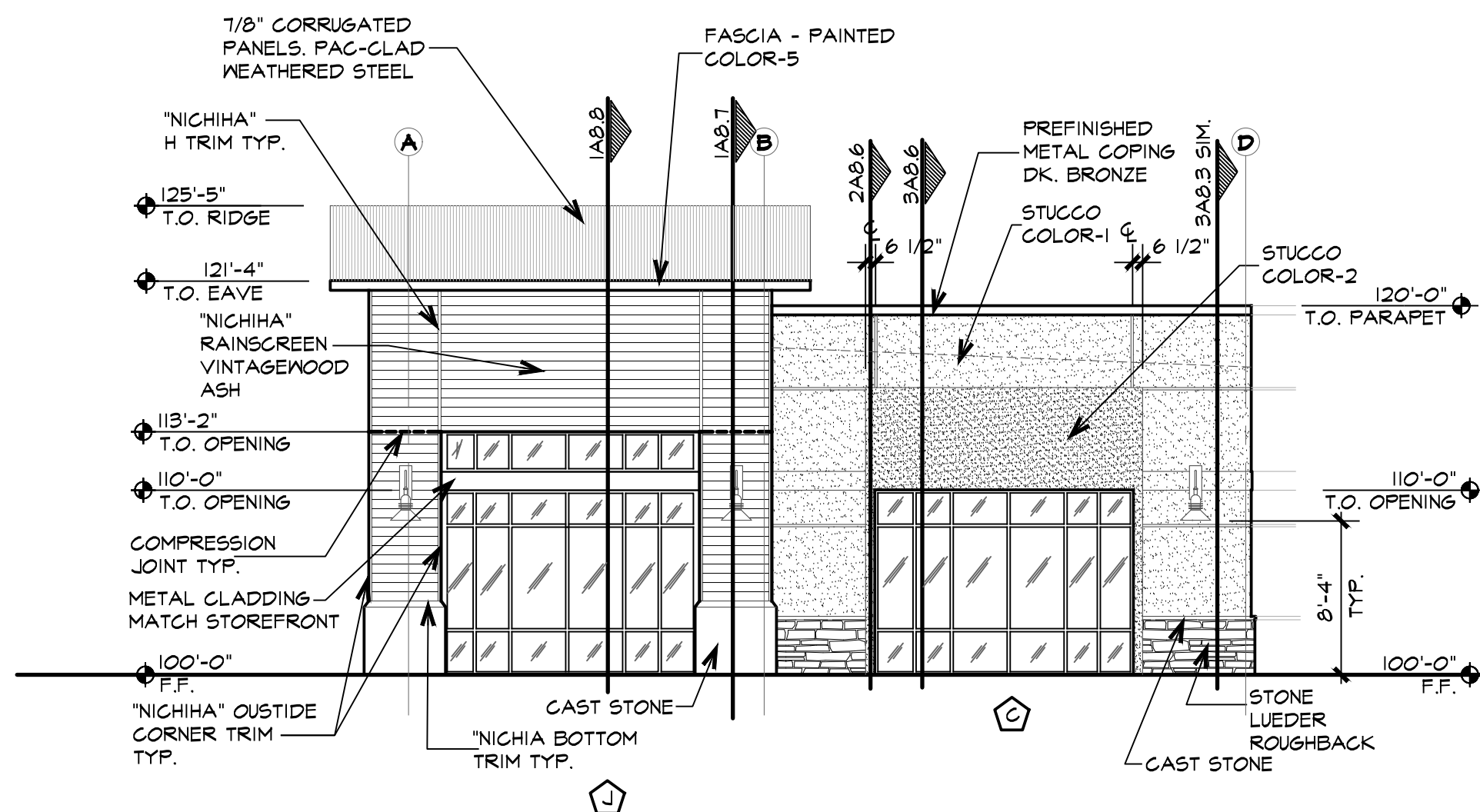
19 of 22



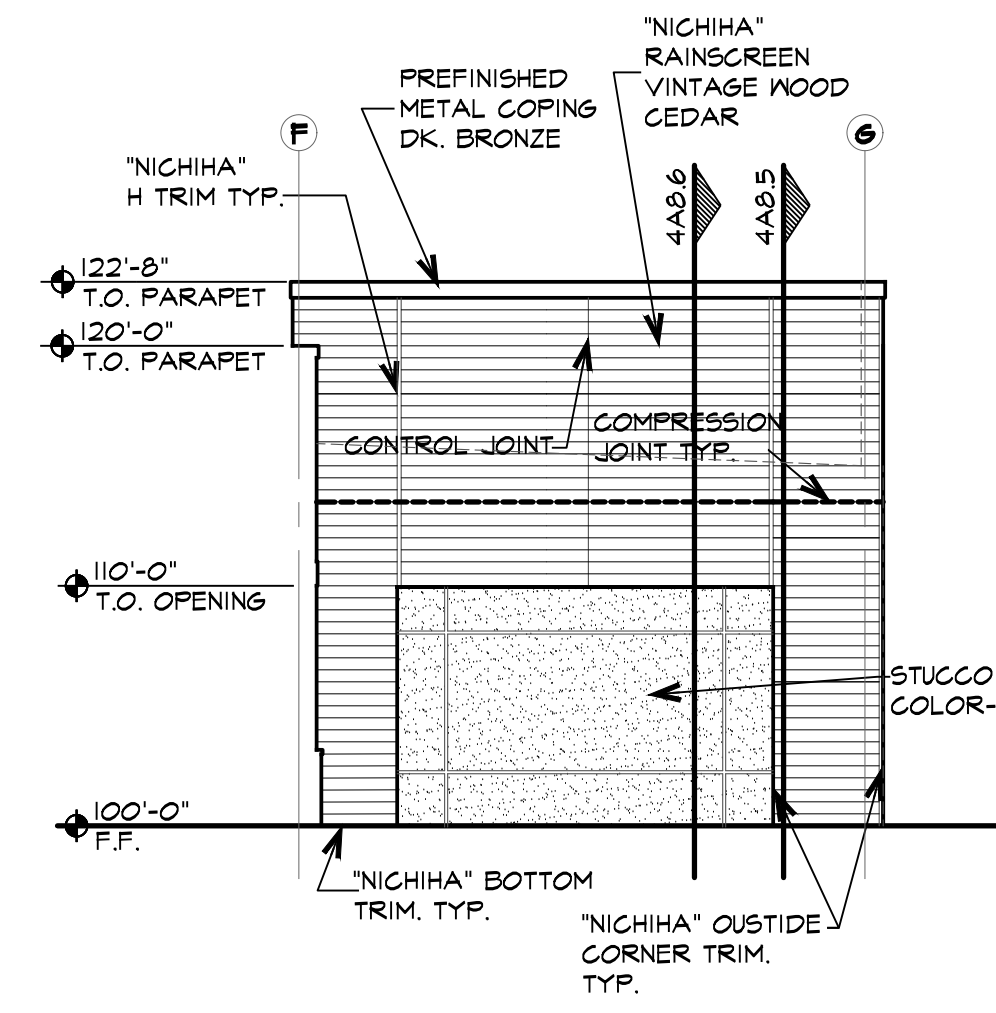
Jacobs & Associates
Architecture, Planning, Interiors
701 Canyon Drive, Suite 110
Coppell, Texas 75019
972 331-5699



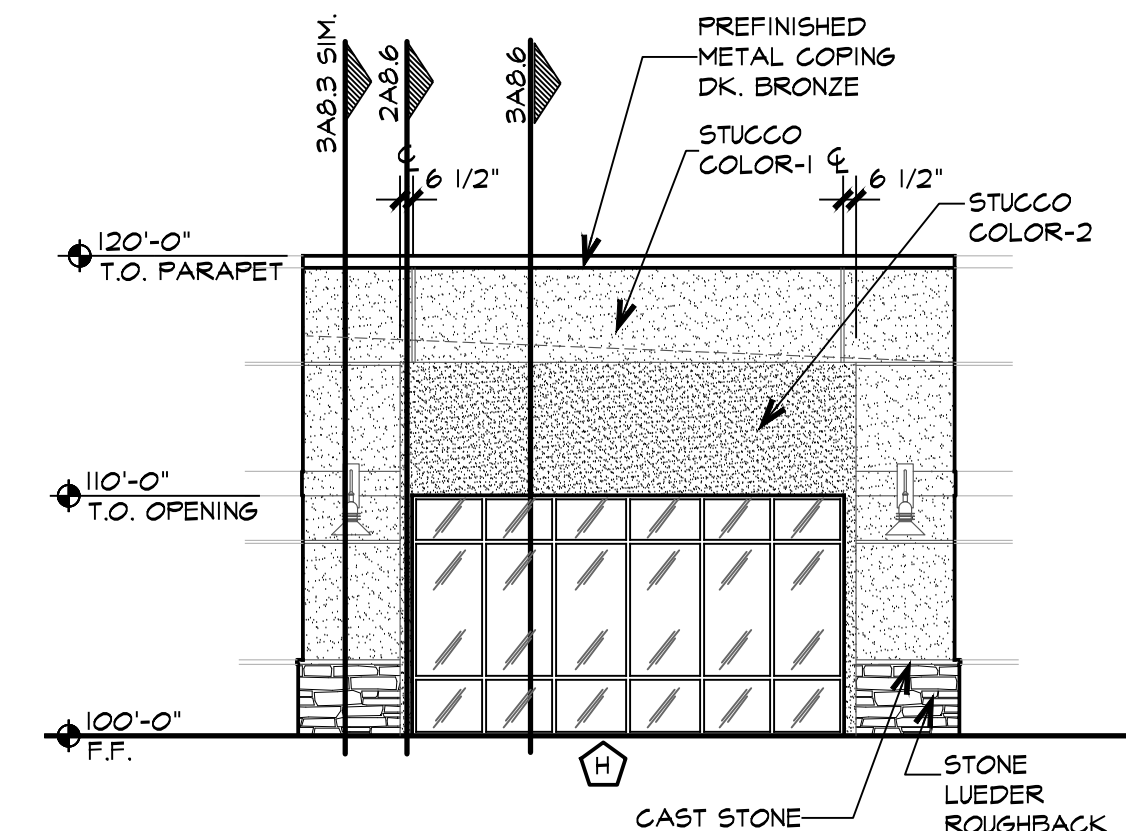
Brant E. Kline
10/11/2019



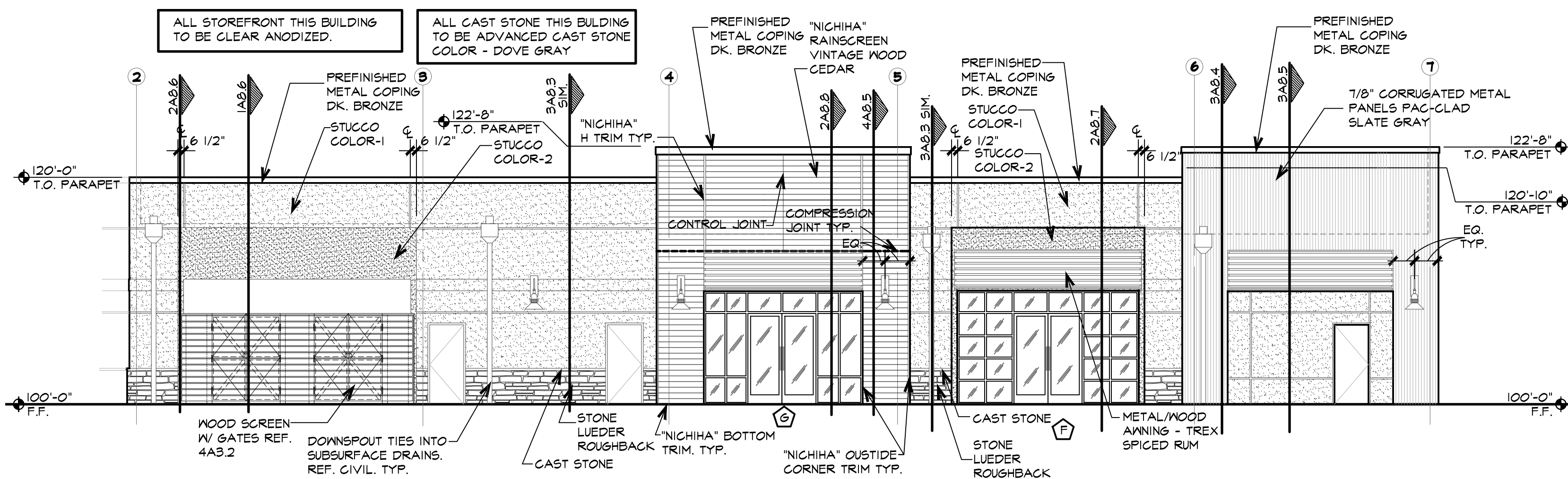
6 PARTIAL EAST ELEVATION (7)
SCALE 1/8"=1'-0"



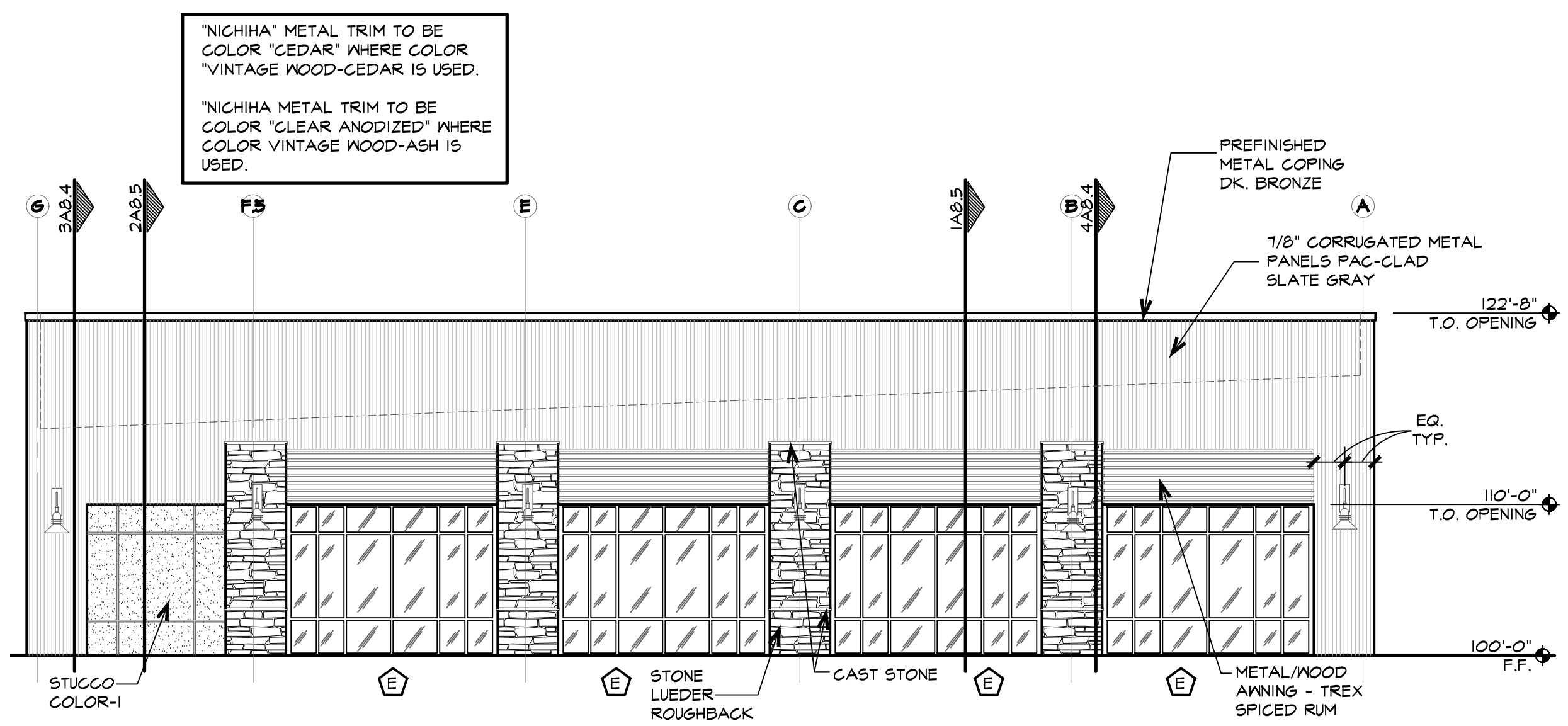
5 PARTIAL EAST ELEVATION (7)
SCALE 1/8"=1'-0"



4 NORTHEAST ELEVATION (7)
SCALE 1/8"=1'-0"

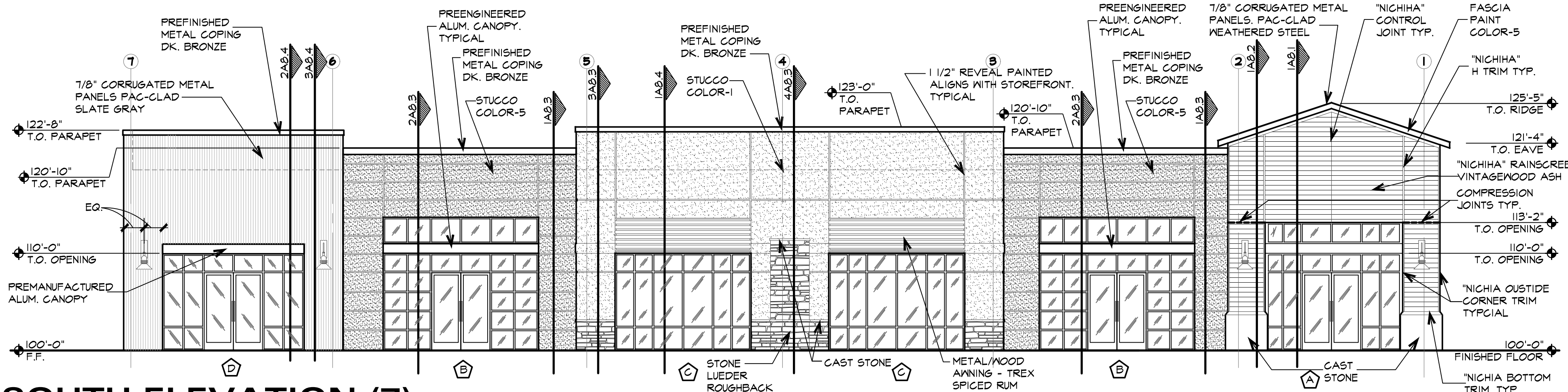


3 NORTH ELEVATION (7)
SCALE 1/8"=1'-0"



2 WEST ELEVATION (7)
SCALE 1/8"=1'-0"

- GENERAL NOTES FOR NICHIA PRODUCT:
- NICHIA VERTICAL BUTT JOINTS ARE NEEDED WHEN NICHIA BUTTS INTO NON - NICHIA PANELS (USE "J" MOULD)
 - USE NICHIA "CORNER PANEL" WHERE HORIZONTAL RUN IS LESS THAN 4'.
 - USE SPACERS FOR PANEL ATTACHMENT WHERE PANELS ARE BELOW NICHIA STARTER TRACK.
 - MINIMUM 1/4" IS REQUIRED BETWEEN NICHIA PANELS AND FLASHINGS FOR DRAINAGE.
 - NON FACTORY EDGES OF NICHIA PANELS TO BE SEALED.
 - SEALANT USED FOR NICHIA EXPANSION / CONTROL JOINTS TO MATCH PANEL COLOR.
 - BOTTOM EDGE OF NICHIA PANEL MUST BE 2" ABOVE HARD SURFACE OR 6" ABOVE FINISHED GRADE.



1 SOUTH ELEVATION (7)
SCALE 1/8"=1'-0"

OES

OFFICE EQUITY SOLUTIONS

365 Miron, Suite A
Southlake, Texas 76092
817-416-3981
817-416-8372 Fax

NORTHLAKE COMMONS

BUILDING 7

PROJECT
NORTHLAKE COMMONS
ADDRESS
1234 FM 407
CITY STATE
NORTHLAKE TX
ZIP
76226

EXTERIOR ELEVATIONS

JOB NO. **18041-7**

DATE 10-11-19 ISSUE FOR CONSTRUCTION DRAWN BY MS/BEK/AP

SHEET NO.
A4.0
OF



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



Jacobs & Associates
Architecture, Planning, Interiors
701 Canyon Drive, Suite 110
Coppell, Texas 75019
972 331-5699



10/11/2019



OFFICE EQUITY SOLUTIONS
365 Miron, Suite A
Southlake, Texas 76092
817-416-3981
817-416-8372 Fax

**NORTHLAKE
COMMONS**

BUILDING 7

PROJECT

NORTHLAKE COMMONS

ADDRESS

1234 FM 407

CITY

NORTHLAKE

STATE

TX

ZIP

76226

JOB NO.

18041-7

DATE

10-11-19

ISSUE FOR

CONSTRUCTION

DRAWN BY

MS/BEK/AP

Memo

To: Honorable Mayor and Town Council
From: Nathan Reddin, Development Director
CC: Shirley Rogers, Town Secretary
Drew Corn, Town Administrator
Date: December 12, 2019
Re: Fellowship of the Parks Developer Participation Agreement

In order to develop the Fellowship of the Parks, a water main is required to be extended from a location on the south side of FM 407 at Florance Road across the property and north across FM 407 to an existing line in North Ridge Estates to provide a loop. The portion of the water line on the south side of FM 407 is on the Town's Water Master Plan, and staff mentioned at the time of plat approval that a developer participation agreement would be brought forward to oversize the water line to the master plan. This water line as identified on the Town's Water Master Plan calls for a 16-inch line size to serve ultimate development of the area. The Town worked with the developer to oversize the line according to the master plan, but it is necessary for the Town to participate through reimbursement for the water line construction requirement to be roughly proportional to the impact of the development.

Although the water line is on the Town's master plan, it was not included in the 10-year Capital Improvements Plan (CIP) from which the water impact fees were derived so impact fee funds and/or credits/reimbursements cannot be utilized to fund the oversizing. The Town proposes to reimburse the developer for this water line oversizing through available funds from the Series 2018 Certificates of Obligation which were issued for water infrastructure improvements.

The engineer for the Fellowship of the Parks project submitted the cost estimates for oversizing from an 8-inch to 16-inch line on the following page. These estimates were reviewed by the Town Engineer who found the 8-inch estimate acceptable but the 16-inch estimates a little high compared to recent bids for the same size line. The Town recently received bids of \$69/LF and \$6,900/valve for a 16-inch line. Staff proposes participation based on these costs which would make the Town's oversizing participation cost \$46,558. The attached resolution authorizes the Town Administrator to enter an agreement with Fellowship of the Parks to reimburse for oversizing in an amount not to exceed \$46,558.

Please contact me at 940.242.5703 if you have any questions or comments.

Cost Estimate from Project Engineer

Fellowship of the Parks - Northlake Campus				
Water Main Construction Comparison				
Water Main Oversize Participation Request				
Infrastructure Item	Quantity	Unit	Unit Cost (\$)	Cost (\$)
8" Water Main	944	LF	\$ 37.00	\$ (34,928.00)
16" Water Main	944	LF	\$ 84.00	\$ 79,296.00
8" Gate Valves	3	EA	\$ 1,450.00	\$ (4,350.00)
16" Gate Valves	3	EA	\$ 7,750.00	\$ 23,250.00
Cost of Oversized Water Main Construction:				\$ 63,268.00

Additional Attachments

- Waster Master Plan
- 16-inch Water Line Plans for Fellowship of the Parks

**TOWN OF NORTHLAKE, TEXAS
RESOLUTION NO. 19-38**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS,
APPROVING AND AUTHORIZING THE TOWN ADMINISTRATOR TO ENTER INTO A
DEVELOPER PARTICIPATION AGREEMENT WITH FELLOWSHIP OF THE PARKS BAPTIST
CHURCH, FOR THE CONSTRUCTION OF AN OVERSIZED WATER MAIN AND RELATED
INFRASTRUCTURE IMPROVEMENTS, BEING EXTENDED TO SERVE LOT 1, BLOCK A,
FELLOWSHIP OF THE PARKS**

WHEREAS, the Town has discussed entering into a developer participation agreement with Fellowship of the Parks Baptist Church ("Developer") for the installation of an oversized master planned water main, in order to serve the Developer's property and future development in the area; and

WHEREAS, Developer is developing approximately 10 acres of land, known as Lot 1, Block A, Fellowship of the Parks ("Development"), generally located on the south side of FM 407 at Canyon Ridge Drive; and

WHEREAS, the Town's Water Master Plan requires the extension of a water main larger than the Town's minimum standard 8-inch (8") diameter water main, and which is also larger than the water main required to serve the Development; and

WHEREAS, Developer has agreed to extend the oversized main and all necessary appurtenances related to the oversized main to the property in exchange for reimbursement of the difference in cost to construct the oversized main as compared to the cost to construct the Town's minimum standard eight-inch (8") diameter line; and

WHEREAS, the construction of the oversized main by Developer will benefit Northlake by significantly increasing the water capacity associated with such public improvements project in anticipation of other future development in the area; and

WHEREAS, Texas Local Government Code, Section 212.071, *et seq.*, authorizes the Town to contract with a developer and participate in the cost of oversizing public improvements so long as the limit of participation does not exceed 100 percent of the total cost for any oversizing of improvements required by the municipality, including but not limited to increased capacity of improvements to anticipate other future development in the area; and

WHEREAS, the Town Council of the Town of Northlake concurs that the agreement is beneficial to both the Town and the development.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS:

SECTION 1. All of the above premises are true and correct legislative and factual findings of the Town Council, and they are hereby approved, ratified and incorporated into the body of this resolution as if copied in their entirety.

SECTION 2. The Town Council hereby authorizes the Town Administrator to enter into a developer participation agreement with Fellowship of the Parks Baptist Church with Town funding not to exceed \$46,558.

SECTION 3. Town Council hereby authorizes using Series 2018 bond funds to fulfill the obligations of this agreement.

SECTION 4. This Resolution shall take effect immediately from and after the date of passage and is so resolved.

PASSED AND APPROVED THIS THE 12TH DAY OF DECEMBER 2019

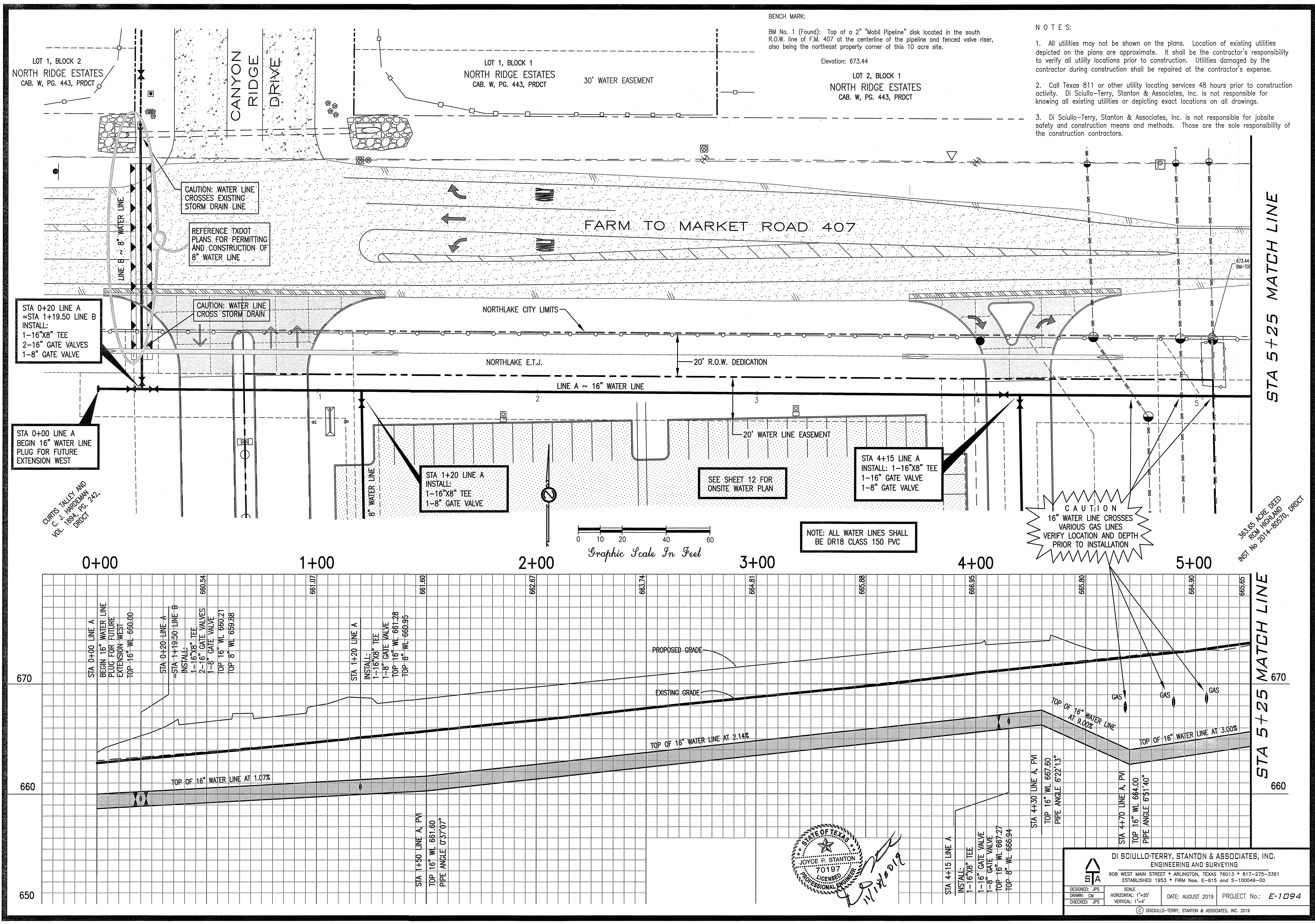
TOWN OF NORTHLAKE, TEXAS

David Retting, Mayor

ATTEST:

Shirley Rogers, Town Secretary

P:\GHIA-FOTP-NORTHLAKE CAMPUS\CONSTRUCTION DRAWINGS\DWG\FOTP N Lake-16 WATER LINE PP.dwg, 11/19/2019 8:35:39 AM, 1:1



BENCH MARK:
BM No. 1 (Found): Top of a 2" "Mobil Pipeline" disk located in the south R.O.W. line of F.M. 407 at the centerline of the pipeline and fenced valve riser, also being the northeast property corner of this 10 acre site.
Elevation: 673.44

- NOTES:
- All utilities may not be shown on the plans. Location of existing utilities depicted on the plans are approximate. It shall be the contractor's responsibility to verify all utility locations prior to construction. Utilities damaged by the contractor during construction shall be repaired at the contractor's expense.
 - Call Texas 811 or other utility locating services 48 hours prior to construction activity. Di Sciuillo-Terry, Stanton & Associates, Inc. is not responsible for knowing all existing utilities or depicting exact locations on all drawings.
 - Di Sciuillo-Terry, Stanton & Associates, Inc. is not responsible for jobsite safety and construction means and methods. Those are the sole responsibility of the construction contractors.

ARCHITECTURE
PLANNING
INTERIOR DESIGN

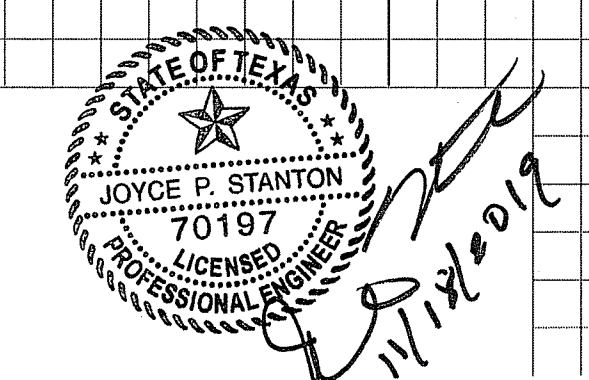
GHILA

FELLOWSHIP OF THE PARKS
JUSTIN-NORTHLAKE CAMPUS

FM 407
DENTON COUNTY, TEXAS

DATE: 10-30-19
ISSUE:

SHEET TITLE:
16" WATER LINE
PLAN AND
PROFILE
(0+00 TO 5+25)



DI SCIULLO-TERRY, STANTON & ASSOCIATES, INC.
ENGINEERING AND SURVEYING
908 WEST MAIN STREET • ARLINGTON, TEXAS 76013 • 817-275-3361
ESTABLISHED 1953 • FIRM Nos. E-615 and S-100049-00

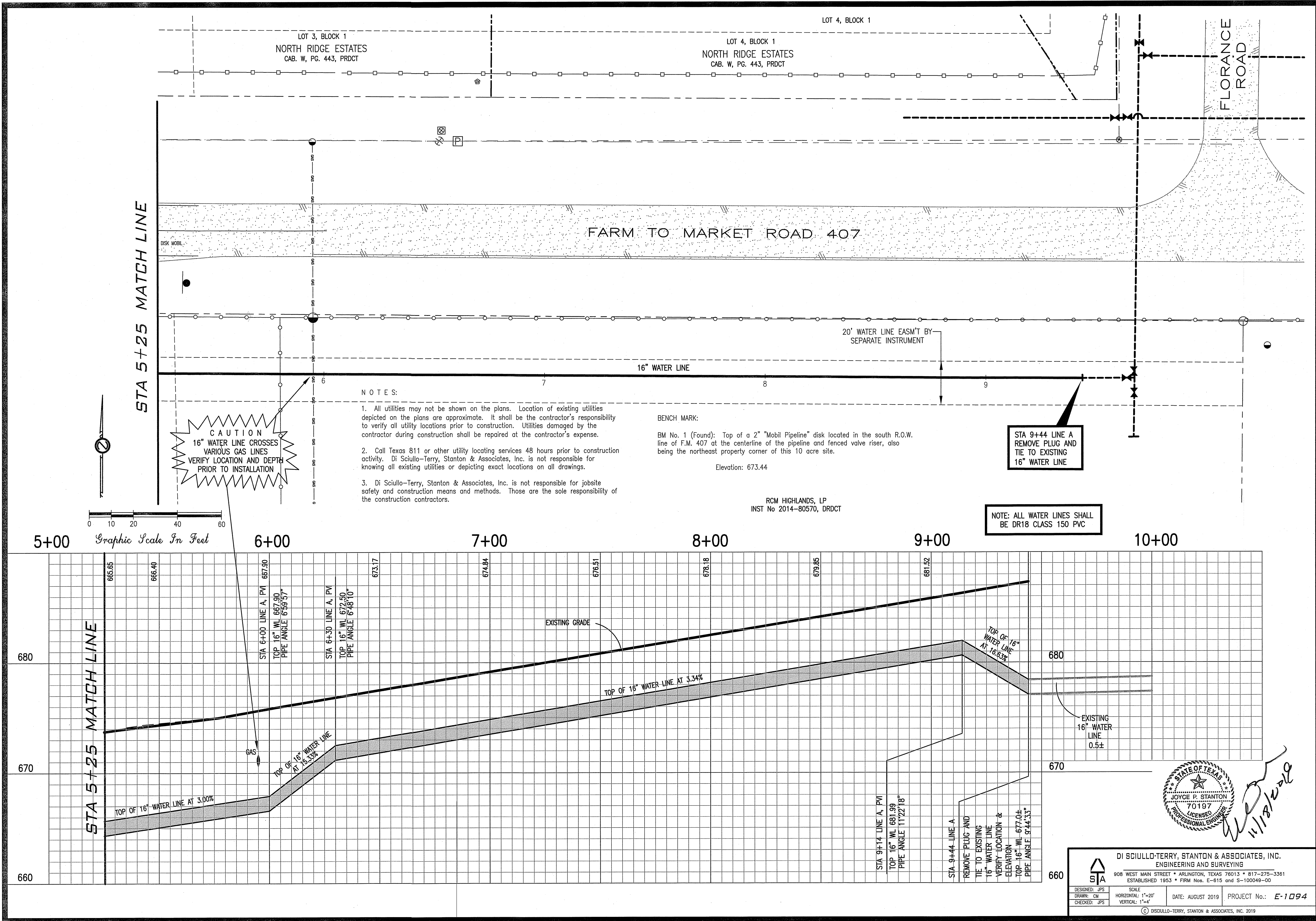
DESIGNED: JPS
DRAWN: CM
CHECKED: JPS

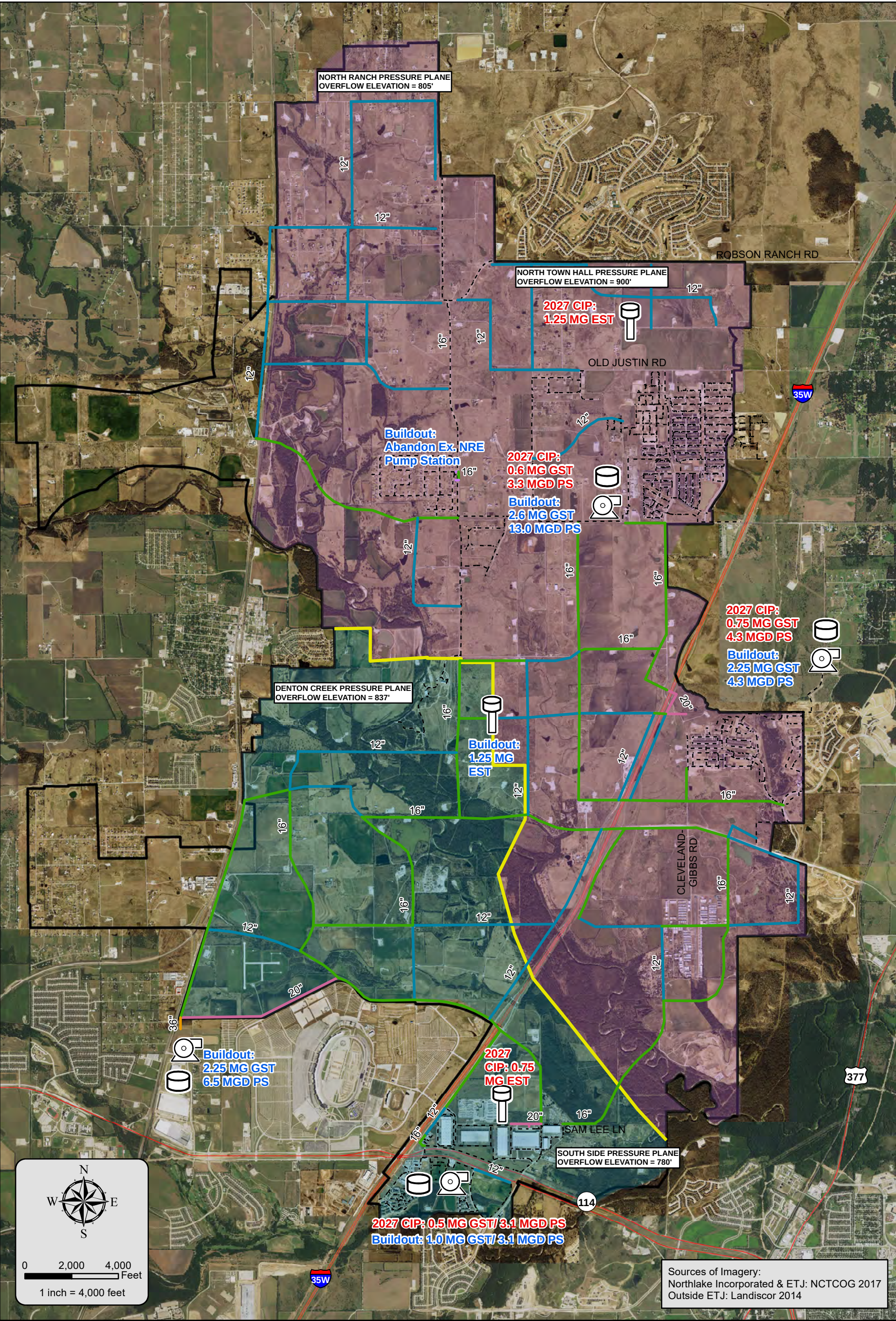
SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=4'

DATE: AUGUST 2019
PROJECT No.: E-1094

© DISCIULLO-TERRY, STANTON & ASSOCIATES, INC. 2019

P:\GHIA-FOTP-NORTH LAKE CAMPUS\CONSTRUCTION DRAWINGS\DWG\FOTP N Lake--16 WATER LINE PP.dwg, 11/19/2019 8:36:41 AM, 1:1





Legend

- Proposed Line
- Existing Line
- Pressure Plane Divide
- North Service Area
- South Service Area
- Northlake Incorporated Area and ETJ

PS = Pump Station
GST = Ground Storage Tank
EST = Elevated Storage Tank



Memo

To: Honorable Mayor and Town Council

From: Drew Corn, Town Administrator

CC: Robert Crawford, Police Chief
Shirley Rogers, Town Secretary

Date: December 12, 2019

Re: Security System Equipment Purchase and Installation for Police Building, Town Hall and Parking Lot

In 2015, the Town performed a facility needs assessment. After an iterative project scope reduction process, cost estimates ranged from \$10,000,000 and \$12,500,000 for the construction of a new facility. Town staff continued discussions with developers to potentially lease space in nearby commercial development. In late 2016, the Town leased approximately 6,000 sf from Office Equity Solutions, the developer and building owner. The Town occupied the building in December 2018.

In May 2018, the Town leased 5,000 sf in an adjacent building to Town Hall and began coordinating with Office Equity Solutions for the interior design and finish-out. In the FY 2019 Revised Budget, \$600,000 was transferred to the Building Fund for the finish-out, furniture, parking lot improvements and security system. The security system budget is \$150,000. The remaining budget was \$350,000 for Town portion of the finish-out, and \$50,000 for architectural services.

The security system improvements are for both the Police Building and Town Hall. Due to budget constraints in FY 2018, the Town was unable to fund planned security features in Town Hall. For FY 2020, the Town is able to install a security system for both buildings and the gated parking lot. which include closed-circuit television cameras, monitors and storage, and controlled access to entries to sensitive areas mostly in the Police Building and selected entries at Town Hall. The camera system will monitor Police Building entries, suspect holding areas, property room and the armory, as well as the fenced parking lot which will hold police vehicles and officers' personal vehicles during their shift. The controlled access will be through Town issued fobs which can be programmed by entry, time of day and can be remotely deactivated. These features will enhance officer safety, and deterrence against theft and vandalism of police property.

The Town has selected AAA Data Communications, Inc. for purchase and installation of the equipment and system through coordination with Jacobs and Associates, the architect for both buildings, and Ellis Tech Management, the security system designer contracted through Jacobs.

Please contact me at 940.242.5701 if you have any questions or comments.

**TOWN OF NORTHLAKE, TEXAS
RESOLUTION NO. 19-34**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS,
APPROVING AND AUTHORIZING THE TOWN ADMINISTRATOR TO ENTER INTO A
CONTRACT WITH AAA DATA COMMUNICATIONS, INC. FOR THE INSTALLATION OF A
CAMERA MONITORED SECURITY AND CONTROLLED ACCESS SYSTEM**

WHEREAS, the Town Council of the Town of Northlake, Texas, has determined that a public need and necessity exists for the Town to acquire a security system for Town buildings and parking lots; and

WHEREAS, the Town Council approved and budgeted for the expenditure of \$150,000 in the 2019-2020 budget year from the Building Fund for the purchase of a security system including camera monitoring and controlled access; and

WHEREAS, the Town Council has determined that it is advisable and in the best interests of the Town to authorize the Town Administrator to enter into a contract to purchase equipment and installation services in an amount deemed reasonable and appropriate, but not to exceed \$150,000; and

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS:

SECTION 1. All of the above premises are true and correct legislative and factual findings of the Town Council, and they are hereby approved, ratified and incorporated into the body of this resolution as if copied in their entirety.

SECTION 2. That the Town Council hereby authorizes the Town Administrator to enter into a contract with AAA Data Communications, Inc., for the purchase and installation of security equipment not to exceed the sum of \$150,000.

PASSED AND APPROVED THIS THE 12TH DAY OF DECEMBER 2019

TOWN OF NORTHLAKE, TEXAS

David Retting, Mayor

ATTEST:

Shirley Rogers, Town Secretary



November 4, 2019

Ellis Tech Management
Northlake PD
1600 Commons Circle Northlake, Texas 76247
Attention: Ellis Taylor/Brent Kline

Quotation: DL00190429P
RFP#:
License/Cert B10716A

Reference: Northlake PD and City Hall Rev 5 24 19

On behalf of our thousands of global colleagues, I want to personally thank you for considering AAA Data Communications, Inc. for this project and for providing us with the opportunity to present this proposal addressing your electronic security needs. We are confident that this proven solution is both comprehensive and customized to meet your needs today and in the years ahead.

AAA has developed a strong reputation for service excellence and is the only company recognized twice as the Systems Integrator of the Year. Most recently, AAA was ranked the 4th largest global systems integrator. This recognition is, in part, a reflection of the strong relationships AAA has developed with the industry's top technology manufacturers. AAA Data Communications, Inc. has a strong history of success with similar solutions provided to other clients and would be happy to provide these references upon request.

Our guiding principal has always been to be a customer-focused and service-based company, supported by dedicated and certified professionals who strive to make a daily difference. Our vision of becoming our customers' best service provider is what drives everything we do. After achieving a successful on- time and on-budget project installation, AAA will provide you with the industry's best on-going service. This service includes our 24/7 customer portal (iCare), designed to track service work orders, project progress, and provide you with detailed metric reporting for continuous improvement.

The following security proposal is specifically designed to meet your needs. As your single point of contact, please feel free to contact me with any additional questions you may have. Thank you again for considering AAA Data Communications, Inc. as your partner for your electronic security needs.

Scope of Work Install Avigilon Access Control and CCTV System as shown on plans attached.

Police Department and Parking Lot

- CCTV System server, software and license have been included
 - o Install 7 Interior Domes
 - o Install 2 Interior Multi-Sensor 360 cameras
 - o Install 4 Exterior Multi-Sensor 360 cameras, these cameras will be pendant mounted on each corner
 - o Install 1 Exterior Dome at back door
- Investigators Office a Fish Eye Panoramic camera will be installed which has with an integrated microphone for audio recording.

Parking Lot

- Parking lot Cameras
 - o Install 6 Exterior Multi-Sensor 360 cameras, these cameras will be pole mounted
 - o Lift has been included
- Gate Entry
 - o Intercom with color camera installed on 48" pedestal, 1 desk handset included
 - o Card reader installed on same pedestal included

Avigilon Blue Connect Devices have been included allowing 32 camera feeds of video to be stored in the cloud

Cameras will record approximately 30 days at 10 fps at 50% motion.

- Access Control System Software and server has been included
 - o Install 9 card readers on 7 doors, back door and corridor hall will be a read in/outdoors
 - o Install a request to exit device and door contact at each door
 - o 100 Prox Cards have been included
 - o Permit fees have been included

Locking hardware has been excluded and shall be provided by others

City Hall

- CCTV Camera System will go back to Police Department Server
 - o Install 3 Interior Domes
 - o Install 1 Interior Multi-Sensor 360 Camera
 - o Install 1 Exterior Multi-Sensor 360 camera, this camera will be pendant mounted on the corner
- Access Control System
 - o Install 3 card readers with request to exit devices and door contacts
 - o 50 Prox Cards have been included

Labor and mounts have been included for 2, 60" TV's

Materials

Line	Qty	Part	Description	Unit Price	Extended Price
1			Avigilon Equipment		
2			PD Station		
3			Access Control		
4			Access Control Software		
5	1.00	AC-APP-16R-PRO	Access Control Manager Professional – Web-Based PACS Appliance for 16 Readers - includes: physical appliance embedded Linux OS		
6	13.00	AC-SW-MER-RDR	This Part Number is REQUIRED for all systems using Mercury Field hardware controllers, and must specify the total amount of Reader/Door		
7	1.00	AC-SW-LIC-SQL	Microsoft SQL Server Connectivity Software License (from Microsoft SQL 2000 forward)		
8			Door Controller's and Panels		
9	1.00	CON-08RDR	Panel consists of the following: 1 -30 X 36 X 6 Panel 1-12VDC Power Supply 1-24VDC Power Supply 1-Power Relay Module 1-Power Dist. Module 1-7AH Battery 6'-2" W X 2" T Panduit 8"-Snap Track 1-Panel Door Switch		
10	1.00	AC-MER-CONT-LP1502	Intelligent Controller, Linux Based with 2 doors, 8 inputs and 4 outputs, expandable up to 64 doors. (Mercury Part #: LP1502)		
11	6.00	AC-MER-CON-MR52	Series 3 Two-Reader Interface Module: mag or wiegand, 8 inputs, 6 relays (Mercury Part Number: MR52-S3)		
12	2.00	AC-LSP-8DR-MER-LCK	Eight Door Mercury Dual Voltage Integrated Power System supporting one AC-MER-CONT-2DR with three AC-MER-CON-MR52 (Mercury ha		
13			Card Readers		
14	9.00	6133CKD070000	RDR. RPK40, MULTICLASS, KYD, DFM II, CLOCK & DATA BLK, 32 BIT INDALA PROX, NO SAMX, BUFFER ONE KEY, NO PARITY, 4 BIT, LEAD FREE		
15	7.00	1076W-M	1" RECESSED STEEL DOOR CONTACT		
16	7.00	DS150I	PIR REQUEST TO EXIT SENSOR GRAY		
17			Access Control Cards		
18	100.00	AC-HID-CARD-ICLASS-SE-3000-AVG	iCLASS SE Contactless Smart Card, 2k bit with 2 application areas, Avigilon Format, Avigilon logo on back, Minimum Order 100, packaged in		
19			Access Control Cable		
20	3.00	446100	4 Element Composite Cable Plenum White-Jacket		

Line	Qty	Part	Description	Unit Price	Extended Price
21	CCTV System				
22	Interior Cameras				
23	7.00	2.0C-H4SL-D1-IR	2.0 MP, WDR, Light Catcher, Day/Night, Indoor Dome, 3-9mm f/1.4, Integrated IR		
24	Interior Multi-Sensor Cameras				
25	2.00	12C-H4A-4MH-360	4x 3 MP, WDR, Light Catcher, 2.8mm, Camera Only		
26	2.00	H4AMH-DC-COVR1-SMOKE	Dome bubble and cover, for in-ceiling mount, smoked. Not recommended for lowlight applications.		
27	2.00	POE-INJ2-60W-NA	Indoor single port Gigabit PoE++ 60W, North American power cord included. May also be used in European Union, Japan, Australia, New Z		
28	Investigator's Room				
29	1.00	6.0L-H4F-DO1-IR	6.0 MP, Fisheye Camera, Light Catcher, Day/Night, 1.45mm f/2.2, Integrated IR		
30	Exterior Cams				
31	Exterior Building Cameras				
32	1.00	3.0C-H4A-DO1-IR-B	3.0 Megapixel WDR, Light Catcher, Day/Night, Outdoor Dome, 3-9mm f/1.3 P-iris lens, Integrated IR, Self-Learning Video Analytics		
33	1.00	H4M-MT-NPTA1	Pendant mount for H4M dome cameras		
34	1.00	H4A-MT-WALL1	Wall mount bracket for use with H4A-DP pendant dome cameras		
35	Exterior Multi-Sensor Cameras				
36	4.00	12C-H4A-4MH-360	4x 3 MP, WDR, Light Catcher, 2.8mm, Camera Only		
37	4.00	H4AMH-DO-COVR1	Dome bubble and cover, for outdoor surface mount or pendant mount, clear.		
38	4.00	IRPTZ-MNT-WALL1	Pedant wall mount adapter. For use with H4 IR PTZ or H4A-MH-AD-PEND1 on H4 Multisensor.		
39	4.00	H4AMH-AD-PEND1	Outdoor pendant mount adapter, must order one of IRPTZ-MNT-WALL1 or IRPTZ-MNT-NPTA1 and one of H4AMH-DO-COVR1 or H4AMH-DO		
40	4.00	H4-MT-CRNR1	Corner mount adapter for use with H4A-MT-WALL1, H4-BO-JBOX1, H4SL, H4F, H4 PTZ, H4 IR PTZ and H4 Multisensor cameras.		
41	4.00	POE-INJ2-60W-NA	Indoor single port Gigabit PoE++ 60W, North American power cord included. May also be used in European Union, Japan, Australia, New Z		
42	Parking Lot Multi-Sensor Cameras				
43	4.00	12C-H4A-4MH-360	4x 3 MP, WDR, Light Catcher, 2.8mm, Camera Only		
44	4.00	H4AMH-DO-COVR1	Dome bubble and cover, for outdoor surface mount or pendant mount, clear.		
45	4.00	IRPTZ-MNT-WALL1	Pedant wall mount adapter. For use with H4 IR PTZ or H4A-MH-AD-PEND1 on H4 Multisensor.		

Line	Qty	Part	Description	Unit Price	Extended Price
46	4.00	H4AMH-AD-PEND1	Outdoor pendant mount adapter, must order one of IRPTZ-MNT-WALL1 or IRPTZ-MNT-NPTA1 and one of H4AMH-DO-COVR1 or H4AMH-DO		
47	4.00	H4-MT-POLE1	Pole mount adapter for use with H4A-MT-WALL1, H4-BO-JBOX1, H4SL, H4F, H4 PTZ, H4 IR PTZ and H4 Multisensor cameras.		
48	6.00	POE-INJ2-60W-NA	Indoor single port Gigabit PoE++ 60W, North American power cord included. May also be used in European Union, Japan, Australia, New Z		
49	Entry Gate Intercom w/ Color Camera & Card Reader				
50	1.00	48-4-12	STAINLESS STEEL 48" 4 INCH SQUARE ON GROUND PEDESTAL (CUSTOM)		
51	1.00	PM-MCCS14E	HOUSNG,SQ,14X14X6,BLK		
52	1.00	6133CKD070000	RDR. RPK40, MULTICLASS, KYD, DFM II, CLOCK & DATA BLK, 32 BIT INDALA PROX, NO SAMX, BUFFER ONE KEY, NO PARITY, 4 BIT, LEAD FREE		
53	1.00	3.0C-H4VI-RO1-IR	3.0 MP, H4 Video Intercom, WDR, Light Catcher, Day/Night, 1.83mm f/2.4, Integrated IR, Recessed Mount		
54	1.00	H4VI-MT-SURF1	Surface mount adapter for H4 Video Intercom		
55	1.00	H4VI-AC-RELY1	Safety Relay for H4 Video Intercom		
56	1.00	AJ-DA1MD	AUDIO HANDSET		
57	Underground Burial Cable				
58	1,000.00	Q3-15001806	18/6 DIRECT BURIAL CABLE 1FT		
59	1.00	22/4 Burial Cable	22/4 Burial Cable, 1,000'		
60	City Hall				
61	Access Control				
62	Door Controller's and Panels				
63	1.00	CON-08RDR	Panel consists of the following: 1-30 X 36 X 6 Panel 1-12VDC Power Supply 1-24VDC Power Supply 1-Power Relay Module 1-Power Dist. Module 1-7AH Battery 6'-2" W X 2" T Panduit 8"-Snap Track 1-Panel Door Switch		
64	1.00	AC-MER-CONT-LP1502	Intelligent Controller, Linux Based with 2 doors, 8 inputs and 4 outputs, expandable up to 64 doors. (Mercury Part #: LP1502)		
65	1.00	AC-MER-CON-MR52	Series 3 Two-Reader Interface Module: mag or wiegand, 8 inputs, 6 relays (Mercury Part Number: MR52-S3)		
66	1.00	AC-LSP-8DR-MER-LCK	Eight Door Mercury Dual Voltage Integrated Power System supporting one AC-MER-CONT-2DR with three AC-MER-CON-MR52 (Mercury ha		
67	Card Readers				

Line	Qty	Part	Description	Unit Price	Extended Price
68	3.00	6133CKD070000	RDR. RPK40, MULTICLASS, KYD, DFM II, CLOCK & DATA BLK, 32 BIT INDALA PROX, NO SAMX, BUFFER ONE KEY, NO PARITY, 4 BIT, LEAD FREE		
69	3.00	DS150I	PIR REQUEST TO EXIT SENSOR GRAY		
70	3.00	1076W-M	1" RECESSED STEEL DOOR CONTACT		
71	Access Control Cards				
72	50.00	AC-HID-CARD-ICLASS-SE-3000-AVG	iCLASS SE Contactless Smart Card, 2k bit with 2 application areas, Avigilon Format, Avigilon logo on back, Minimum Order 100, packaged in		
73	Access Control Cable				
74	.50	446100	4 Element Composite Cable Plenum White-Jacket		
75	City Hall Cameras				
76	Interior Cameras				
77	3.00	2.0C-H4SL-D1-IR	2.0 MP, WDR, Light Catcher, Day/Night, Indoor Dome, 3-9mm f/1.4, Integrated IR		
78	Interior Multi-Sensor Cams				
79	1.00	12C-H4A-4MH-360	4x 3 MP, WDR, Light Catcher, 2.8mm, Camera Only		
80	1.00	H4AMH-DC-COVR1-SMOKE	Dome bubble and cover, for in-ceiling mount, smoked. Not recommended for lowlight applications.		
81	1.00	POE-INJ2-60W-NA	Indoor single port Gigabit PoE++ 60W, North American power cord included. May also be used in European Union, Japan, Australia, New Z		
82	Exterior Multi-Sensor Cameras				
83	1.00	12C-H4A-4MH-360	4x 3 MP, WDR, Light Catcher, 2.8mm, Camera Only		
84	1.00	H4AMH-DO-COVR1	Dome bubble and cover, for outdoor surface mount or pendant mount, clear.		
85	1.00	IRPTZ-MNT-WALL1	Pedant wall mount adapter. For use with H4 IR PTZ or H4A-MH-AD-PEND1 on H4 Multisensor.		
86	1.00	H4AMH-AD-PEND1	Outdoor pendant mount adapter, must order one of IRPTZ-MNT-WALL1 or IRPTZ-MNT-NPTA1 and one of H4AMH-DO-COVR1 or H4AMH-DO		
87	1.00	H4-MT-CRNR1	Corner mount adapter for use with H4A-MT-WALL1, H4-BO-JBOX1, H4SL, H4F, H4 PTZ, H4 IR PTZ and H4 Multisensor cameras.		
88	1.00	POE-INJ2-60W-NA	Indoor single port Gigabit PoE++ 60W, North American power cord included. May also be used in European Union, Japan, Australia, New Z		
89	Camera VMS Server and Software				
90	1.00	HD-NVR3-VAL-12TB-NA	HD NVR3 VAL 12TB 1U Rack Mnt, Windows 10 Lot LTSB		
91	1.00	TC-SU15LCD2U	1500VA 1350W UPS SMART ONLINE		

Line	Qty	Part	Description	Unit Price	Extended Price
92	4.00	VMA-BLU-8P8-NA	The Avigilon Blue Connect device is a key part of the Avigilon Blue video surveillance management service offering 8 POE+ ports and storing approximately 30 days of video.		
93	1.00	24C-ACC6-ENT	ACC 6 Enterprise license for up to 24 camera channels		
94	2.00	1C-ACC6-ENT	ACC 6 Enterprise license for up to 1 camera channels		
95	PoE Switches				
96	3.00	AX-NETWAY16G	16PORT MANAGE POE+ MIDSPN 480W		

Equipment Total	\$ 74,280.76
Total Labor/Other Costs	\$ 67,521.90
Freight/Warranty	\$ 4,897.34
Tax if Applicable	\$ 0.00
Total Project Price	\$146,700.00

Scope of Work: AAA shall perform the following Security Camera Cabling installation, at the above mentioned facility per the Drawings (A1.0 & SP1.00) Dated 5.9.17 and per the scope of work below.

A1.0

Police Department:

Category 6 Cable W/Biscuit Jack 13

City Hall

Category 6 Cable W/Biscuit Jack 5

SP1.00

Parking Lot Poles-Indoor/Outdoor Cable 4

Install One 24 Port Category 6 Patch Panel

Install One Chatsworth Floor Mounted Relay Rack

Scope of Work: AAA Data Communications shall Provide Labor and Materials to install 1-12-Strand Multi-Mode Indoor/Outdoor OSP Cable at the above mentioned facility for Gate and Police to City Hall.

Install 1-12 Strand Multi-Mode Indoor/Outdoor Fiber Optic Cable 1000’.

Terminate, Label and Test 2-12 Strand Multi-Mode Fiber Optic Cable

Install Two 12-Port Rack Mount Fiber Enclosures with LC Bulkheads

Provide Four 1 Meter Fiber Patch Cables LC/LC

Install One 8-Port POE Switch with FX Module for gate system

Install One Multi-Media Surface Mount Box with Duplex LC Modules

Terminate, Label and Test each cable according to The City of Northlake wiring specifications and requirements.

AAA (Triple A) Data Communications Inc. workmanship shall be performed by certified technician in accordance with manufactures specifications and industry standards. The price below is based on the above-mentioned scope of work.

Clarifications and Exclusion

1. All work proposed herein, shall be performed during normal business hours Monday through Friday 8:00 am - 5:00 pm.
2. Low voltage wiring shall be installed via open air code approved methods.
3. Provision or installation of conduit, wire, boxes, fittings or other electrical installation materials unless specifically listed under Inclusions or Bill of Materials.
4. Permits or associated fees are not included.
5. Customer to provide static IP addresses and network connections at panel locations.
6. Customer to provide a secured staging & storage area for project related materials.
7. Pricing assumes that electronic Auto CAD files are available from customer for our use in creating submittal drawings.
8. Twenty-Five percent (25%) of the proposed sell price shall be payable to Convergent Technologies for project mobilization. Mobilization shall be invoiced and due upon customer acceptance of this proposal.
9. Proposal does not include sales tax unless otherwise noted.
10. Anything in the Contract Documents notwithstanding, in no event shall either Contractor or Subcontractor be liable for special, indirect, incidental or consequential damages, including commercial loss, loss of use, or lost profits, even if either party has been advised of the possibility of such damages.
11. Convergent Technologies reserves the right to negotiate mutually acceptable contract terms and conditions with customer by making mutually agreeable changes to the formal contract included in the Bid Documents.

Fiber Cabling Bill of Materials

Description		Quantity
Material, 12 Port Rack Mount Fiber Enclosure		2
Labor, Install 12 Port Rack Mount Fiber Enclosure		2
6 Por Duplex Fiber Adapter Panel LC Type		2
Multi-Media Surface Mount Box/Loaded W/LC Modules		1
Fiber Patch Cable LC/LC (Multi-Mode) 1 Meter		4
8 Port POE Switch W/FX Module		1
Material, 12-Strand Multi-Mode OSP Indoor/Outdoor Cable		500
Labor, 12-Strand Multi-Mode OSP Indoor/Outdoor Cable		500
Fiber Strand Test and Terminate		12
MISC consumables		1

Performance Items

Items Included	
Engineering and Drawings	Freight (prepaid)
Installation of CCTV Cameras	Installation of Intercom Systems
Installation of Network Cabling to Card Readers	Installation of Network Cabling to IP Cameras
Installation of Network Cabling to IP Intercoms	Installation of Wire and Cable
Lifts	Loading Software on Customer Provided Computer
Low Voltage Permits	Material (listed in the BOM)
Mounting/Termination of Proposed Devices	One-Year Warranty on Labor
One-Year Warranty on Parts	Owner to Provide Static IP Addresses
Project Management	System Meets Plans/Drawings
System Programming	Testing of all Proposed Devices
Items Excluded	
120 VAC Power and Fused Disconnect Switch	120 VAC Power Receptacles
Additional Lighting Requirements for Cameras	Applicable Taxes
Attend General Contractor Project Meetings	Attend Owner Project Meetings
Authority having Jurisdiction permit drawing (requires customer CAD)	Cable
Ceiling Tiles and Ceiling Grid Repairs	Connection to Building Fire Alarm Panel
Correction of Wiring Faults Caused by Others	Door wiring typical connections
Electrical Installation Permit	Electrified Door Locking Hardware
Equipment rack layout drawing	FA Permit and Plan Review Fees
Fire Stopping (Excludes Existing Penetrations)	Fire Watch
Floor Coverings for Lifts	Floor plan with device placement and numbering (requires customer CAD)
Horizontal Core Drilling	Installation of Bridle Rings
Installation of Conduit, Boxes and Fittings	Installation of Control Equipment Enclosures
Installation of Control Panels	Installation of Intrusion Panels
Installation of Low Voltage Wire	Installation of Specialty Backboxes
Installation of Terminal Cabinets	Installation of Video Recorders (DVR/NVR)
Installation of Wire Hangars	On-Site Lockable Storage Facility
Operations & Maintenance Manuals	Owner to Provide DHCP Lease Reservations for Network Connected Devices
Owner Training	Panel Wall Elevation drawing (may require customer CAD)
Panel wiring point with to point connections	Patch and Paint
Payment & Performance Bonds	Record Documentation (As-Built)
Riser drawing with home run wiring	Servers by Convergent
Servers by Others	Specialty Backboxes
Submittal Drawings	System Engineering
System is Design-Build	Terminal Cabinets
Termination of Control Equipment Enclosures	Vertical Core Drilling
Wire	Workstations by Convergent
Workstations by Others	

Security Camera Cabling Bill of Materials

Description		Quantity
Category 6 Plenum Cable/Blue		6000
7' X 19" Chatsworth Floor Mounted Relay Rack		1
Leviton 24 Port Category 6 Patch Panel		2
RJ-45 2-Port Biscuit Jack		18
MISC Consumables/RJ 45 MOD Plugs		1
Caddy CAT-32 Jooks		160

Total Project Investment:

\$ 146,700.00

Thank you for considering AAA Data Communications, Inc. for your Security needs. If you have any questions or would like additional information, please don't hesitate to contact me immediately. If you would like to proceed with the scope of work as outlined in this proposal, please sign below and return to my attention.

Sincerely,

Jacob Johnson

AAA Data Communication, Inc.

By signing below, I accept this proposal and agree to the Terms and Conditions contained herein

Customer Name (Printed)

Date

Authorized Signature

Title

Memo

To: Honorable Mayor and Town Council
From: John Zagurski, Finance Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Selection of Firm for Delinquent Court Collection Services

In November, the Town of Northlake requested proposals from firms for delinquent court collection services. Three firms submitted proposals.

Proposers

Linebarger Attorneys at Law
Perdue Brandon Fielder Collins & Mott LLP Attorneys at Law
McCreary Veselka Bragg & Allen PC Attorneys at Law (MVBA)

All firms are experienced attorneys who serve and specialize in delinquent court collections services. MVBA is the Town's current delinquent court collections service, they have served the town since 2001.

After a review of all three proposals, a panel of four staff members recommend the selection of Linebarger Attorneys at Law. Each firm was evaluated on their qualifications, collection procedures, collection staffing, collections system, and monthly activity report.

If Town Council selects Linebarger for delinquent court collection services, staff will move forward with contract negotiations with the firm. The contract would be for a term of five years with two five-year optional renewals. Negotiations do not include the price of the service as the costs is set by state statute. The firm only receives money when delinquent fines are collected, this is at no cost to the Town of Northlake.

Please contact the Town at 940.242.5706 if you have any questions or comments.

**TOWN OF NORTHLAKE, TEXAS
RESOLUTION NO. 19- 35**

WHEREAS, the Town issued Requests for Proposal seeking interested firms to submit qualifications with respect to Delinquent Court Collection Service; and

WHEREAS, the Town received Proposals from three interested parties on or before the deadline for submission on November 22, 2019; and

WHEREAS, the Town's Review Committee, consisting of the Town Administrator, Town Secretary, Finance Director, and Municipal Court Clerk reviewed and evaluated the submissions; and made its recommendations of the most highly qualified provider of the requested professional services; and

WHEREAS, the Town Council, having received the recommendation of the Delinquent Court Collection Services Selection Committee.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS:

SECTION 1.

- A. The following professional service providers are hereby determined by the Town Council to be the most highly qualified provider of delinquent court collection services, based upon the responses received by the Town:
 - 1. Linebarger Attorneys at Law
- B. Linebarger Attorneys at Law is hereby selected to provide delinquent court collections services to the Town.
- C. The Town Administrator is hereby authorized and directed to commence negotiations with Linebarger Attorneys at Law to reach an agreement on a contract for a term of five years with two optional five-year renewal periods.
- D. If a contract cannot be successfully negotiated, as provided herein, with either of the firms named herein, the Town Manager shall notify the Town Council and the Town Council shall thereafter, with the advice and counsel of the Town's Attorney, determine how the Town is to proceed with respect to Delinquent Court Collection services.

PASSED AND APPROVED on the 12th day of December 2019

TOWN OF NORTHLAKE, TEXAS

David Retting, Mayor

ATTEST:

Shirley Rogers, Town Secretary

Memo

To: Honorable Mayor and Town Council
From: John Zagurski, Finance Director
CC: Drew Corn, Town Administrator
Shirley Rogers, Town Secretary
Date: December 12, 2019
Re: Selection of Firm for Delinquent Property Tax Collection Services

In November, the Town of Northlake requested proposals from firms for delinquent property tax collection services. Three firms submitted proposals.

Proposers

Linebarger Attorneys at Law
Perdue Brandon Fielder Collins & Mott LLP Attorneys at Law
Sawko & Burroughs Attorneys at Law

All firms are experienced attorneys who serve and specialize in delinquent property tax collection services. Sawko & Burroughs Attorneys at Law is the Town's current delinquent property tax collection service, they have provided this service to the town since 2001.

After a review of all three proposals a panel of four staff members recommend the selection of Linebarger Attorneys at Law. Each firm was evaluated on their local tax collection experience, collection process, demonstrated ability, clarity and quality of the proposal.

If Town Council selects Linebarger for delinquent Ad Valorem tax collection services, staff will move forward with contract negotiations with the firm. The contract would be for a term of five years with two five-year optional renewals. Negotiations do not include the price of the service as the costs is set by state statute. The firm only receives money when delinquent taxes are collected, this is at no cost to the Town of Northlake.

Please contact the Town at 940.242.5706 if you have any questions or comments.

TOWN OF NORTHLAKE, TEXAS
RESOLUTION NO. 19-36

WHEREAS, the Town issued Requests for Proposal seeking interested firms to submit qualifications with respect to Delinquent Property Tax Collection Service; and

WHEREAS, the Town received Proposals from three interested parties on or before the deadline for submission on November 22, 2019; and

WHEREAS, the Town's Review Committee, consisting of the Town Administrator, Town Secretary, Finance Director, and Accountant reviewed and evaluated the submissions; and made its recommendations of the most highly qualified provider of the requested professional services; and

WHEREAS, the Town Council, having received the recommendation of the Delinquent Property Tax Collection Services Selection Committee.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF NORTHLAKE, TEXAS:

SECTION 1.

- A. The following professional service providers are hereby determined by the Town Council to be the most highly qualified provider of delinquent property tax collection services, based upon the responses received by the Town:
 - 1. Linebarger Attorneys at Law
- B. Linebarger Attorneys at Law is hereby selected to provide delinquent property tax collections services to the Town.
- C. The Town Administrator is hereby authorized and directed to commence negotiations with Linebarger Attorneys at Law to reach an agreement on a contract for a term of five years with two optional five-year renewal periods.
- D. If a contract cannot be successfully negotiated, as provided herein, with either of the firms named herein, the Town Manager shall notify the Town Council and the Town Council shall thereafter, with the advice and counsel of the Town's Attorney, determine how the Town is to proceed with respect to Delinquent Property Tax Collection services.

PASSED AND APPROVED on the 12th day of December 2019

TOWN OF NORTHLAKE, TEXAS

David Retting, Mayor

ATTEST:

Shirley Rogers, Town Secretary

JOINT RESOLUTION

FARM-TO-MARKET 407 IMPROVEMENT PROJECT JOINT SUPPORT FOR ALIGNMENT AND SCOPE

WHEREAS, the City of Justin is a general law city lying and being situated within the County of Denton, State of Texas; and,

WHEREAS, the Town of Northlake is a general law city lying and being situated within the County of Denton, State of Texas; and,

WHEREAS, the Texas Department of Transportation (TXDOT) is a Texas state agency responsible for the construction, maintenance and improvement of the State's major thoroughfares including Farm-to-Market roads; and,

WHEREAS, the City of Justin and the Town of Northlake desire the improvement of Farm-to-Market Road 407 running east-west through both municipalities; and,

WHEREAS, FM 407 is a major thoroughfare providing mobility and access to both municipalities which are each experienced unprecedented growth; and,

WHEREAS, on December ??, 2018, TXDOT held a public input meeting to seek input for various potential alignments of FM 407; and,

NOW, THEREFORE, BE IT HEREBY RESOLVED THAT:

Section 1.

The City of Justin and the Town of Northlake support the improvement and realignment of Farm-to-Market 407 from Interstate 35W west to FM 156 with new alignment to terminate at Twelfth Street in Justin.

Section 2.

The City of Justin and the Town of Northlake agree that the public input supports the alignment of FM 407 to terminate at Twelfth Street.

Section 3.

The City of Justin and the Town of Northlake encourage TXDOT and other state and local leaders to support the improvement and expansion of FM 407 as much needed relief for mobility and access in the region.

Section 4.

This Resolution shall become effective from and after its date of passage.

DULY RESOLVED by the City Council of the City of Justin, Texas, on this the **Xth** day of **December 2019**.

City of Justin, Texas

Alan Woodall, Mayor

ATTEST:

Brittany Andrews, City Secretary

DULY RESOLVED by the Town Council of the Town of Northlake, Texas, on this the **12th** day of **December 2019**.

Town of Northlake, Texas

David A. Rettig, Mayor

ATTEST:

Shirley Rogers, Town Secretary



David A. Rettig, Mayor
Rena Hardeman, Council Place 1
Jimmy Lambert, Council Place 2

Brian Montini, Mayor Pro Tem, Council Place 3
Roger Sessions, Council Place 4
Danny Simpson, Council Place 5

**Town Council
Meeting Minutes
Thursday, November 14, 2019
Chamber Room -1500 Commons Circle, Suite 300–Northlake, Texas 76226**

1. Mayor David Rettig called the work session to order at 6:30 pm. Quorum present

Council Members present: David Rettig, Rena Hardeman, Jimmy Lambert, Brian Montini, Roger Sessions, Danny Simpson

Staff present: Drew Corn, Town Administrator; Nathan Reddin, Development Director; John Zagurski, Finance Director; Robert Crawford, Chief of Police; Eric Tamayo, Public Works Director; Brandon Doughty, Superintendent; Megan Doughty, Utility Clerk; Parwaiz Broker, Accountant; Kyle Garcia, Planner; and Shirley Rogers, Town Secretary

Consultants present: Bradley Anderle, Legal Counsel; Ben McGahey, PE

Invocation by Pastor Robert Balduc, St. Peter Church and Preschool
Pledge of Allegiance led by Mayor Rettig

2. Special Recognition

A. Honoring Our Veterans - Proclamation 19-6 was read by Mayor Rettig

3. Briefing Items

B. Dave Salisbury representing Venado Ridge Investors gave a brief overview of a proposed concept plan for Dailey Tracts. Will consist of 37 residential lots located north of FM 407 and east side of Faught Road located in the extra-territorial jurisdiction of Northlake for a total acreage of 34.10. Lot sizes range from a majority at $\frac{3}{4}$ of an acre, connect to town water and each home on septic system

C. Mayor Rettig led the discussion on Residential Homestead Ad Valorem (Property) Tax Exemption. Currently have 5% property tax exemption on homesteads that went in to effect during 2019 tax year. State Legislature allows a municipality to provide a general homestead exemption that exempts up to twenty percent or a minimum of \$5,000 of the property value from municipal property tax. Council asked Mayor to bring this item back by April 2020 for discussion, consideration and adoption for the 2020 year

D. Chief of Police Robert Crawford gave the FY 19 Annual Police Report
Report included calls for service, incidents/supplements/ traffic contracts, arrests, open records request, pursuit analysis, accident & injury analysis, training, and programs

- E. John Zagurski, Finance Director gave the FY 19 Quarterly Budget Report
4. Mayor Rettig called the regular meeting to order at 7:48 pm, all members present
5. Public Input
- Laura McGregor, Northlake resident, ask the council to consider adopting an ordinance to become a sanctuary city for the unborn
 - Joel McGregor, Northlake resident, in favor of the residential homestead ad valorem tax exemption and made comments on the lot sizes of the proposed development Ridgeview Estates
6. Regular Items
- F. Councilmember Simpson made the motion to approve the request from Waste Connections of Texas for a 2019 CPI-U DFW rate adjustment of 4.8% for residential and commercial customers effective December 1, 2019. 2nd by Mayor Pro Tem Montini
- Vote: motion passed unanimous
- G. Mayor Pro Tem Montini made the motion to approve the Preliminary Plat of Pecan Square Phase 2A, a phase of the Pecan Square development consisting of 192 single-family residential lots and 6 HOA/open space lots on a 48.7-acre tract of land out of the F.W. Thornton Survey, Abstract No. 1244, and the A. McDonald Survey, Abstract No. 785, generally located on the south side of FM 407 approximately 1,200 feet east of Faught Road, and zoned Mixed-Use Planned Development (MPD). HP Gibbs, LP and Pecan Square 1, LLC are the owners. Hillwood Communities is the applicant/developer. Kimley-Horn & Associates is the engineer/surveyor. Case # PP-19-002. 2nd by Councilmember Simpson
- Vote: motion passed
For: Montini, Simpson, Sessions
Against: Lambert, Hardeman
- H. Councilmember Sessions made the motion to approve the Final Plat of Lot 1, Block A, Fellowship of the Parks, a 10.0-acre tract of land out of the A. McDonald Survey, Abstract No. 785, generally located on the south side of FM 407 at Canyon Ridge Drive in the extraterritorial jurisdiction (ETJ) of the Town of Northlake. Fellowship of the Parks Baptist Church is the owner/applicant. Di Sciullo-Terry, Stanton & Associates, Inc. is the engineer/surveyor. Case # FP-19-011. 2nd by Councilmember Simpson
- Vote: motion passed
For: Sessions, Simpson, Montini, Lambert
Against: Hardeman
- I. Councilmember Sessions made the motion to approve the Final Plat of Lot 5, Block 5, Northport Addition, a 2.36-acre tract of land out of the L. Medlin Survey, Abstract No. 830, generally located on the east side of IH 35W approximately 1,400 feet north of SH 114, and zoned Commercial (C). SCSD-Finnell, Ltd. is the owner. Claymoore Engineering is the applicant/engineer. Arthur Land Surveying is the surveyor. Case # FP-19-010 2nd by Mayor Pro Tem Montini
- Vote: motion passed unanimous
- J. Councilmember Sessions made a motion to approve the Site Plan of Texas Roadhouse, a proposed 7,402 square-foot restaurant on 2.36 acres situated in the L. Medlin Survey, Abstract No. 830, to be platted as Lot

5, Block 5, Northport Addition, generally located on the east side of IH 35W approximately 1,400 feet north of SH 114, and zoned Commercial (C). SCSD-Finnell, Ltd. is the owner. Claymoore Engineering is the applicant/engineer. Case # SP-19-005. 2nd by Mayor Pro Tem Montini

Vote: motion passed unanimous

- K. Councilmember Simpson made the motion to approve the Town Council meeting minutes of October 10, 2019. 2nd by Mayor pro Tem Montini

Vote: motion passed unanimous

- L. Councilmember Hardeman made the motion to approve Resolution No. 19-28 approving and authorizing the Town Administrator to enter into an agreement for the purchase of two Police vehicles and equipment not exceed \$135,000.00. 2nd by Mayor Pro Tem Montini

Vote: motion passed unanimous

- M. Councilmember Simpson made the motion to approve Resolution No. 19-29 approving and authorizing the Town Administrator to enter into an agreement for the purchase of an emergency generator automatic transfer switch not to exceed \$17,000. 2nd by Councilmember Hardeman

Vote: motion passed unanimous

- N. Councilmember Simpson made the motion to approve Resolution No. 19-30 authorizing the Town Administrator to contract with Landmark Structure I, L.P. for a 1.25 MG elevated storage tank not to exceed \$3,069,000.00. 2nd by Councilmember Sessions

Vote: motion passed unanimous

- O. Mayor Pro Tem Montini made the motion to approve Resolution No. 19-31 authorizing the Town Administrator to contract for Professional Services with NewGen for a Water and Wastewater Rate Study in an amount not to exceed \$45,000. 2nd by Councilmember Lambert

Vote: motion passed unanimous

- P. Councilmember Lambert made the motion to approve Resolution No. 19-32 resolution approving updates to the 2019 Investment Policy. 2nd by Councilmember Hardeman

Vote: motion passed unanimous

- Q. Councilmember Simpson made the motion to approve Resolution No. 19-33, casting Northlake's five votes for Brain Montini to the Denton Central Appraisal District Board of Directors. 2nd by Councilmember Sessions

Vote: motion passed

For: Simpson, Sessions, Lambert, Hardeman

Abstained: Montini

By general consent, Mayor Retting extended the meeting time until 10 pm

7. By general consent, the council convened in to Executive Session to discuss the items listed below:
Pursuant to Texas Government Code, annotated, Chapter 551 Subchapter D:

- a. Section 551.071 authorizes a governmental body to consult with its attorney in an executive session to seek his or her advice on a legal matter. It provides as follows: A governmental body may not conduct a private consultation with its attorney except: Section 551.071 authorizes a governmental body to consult with its attorney in an executive session to seek his or her advice on a legal matter. It provides as follows: A governmental body may not conduct a private consultation with its attorney except:
 - 1) When the governmental body seeks the advice of its attorney about:
 - (a) Pending or contemplated litigation; or
 - (b) Supreme Court of Texas - Town of Northlake vs City of Justin. No. 18-0651; or
 - (c) Case # FP 18-020 considered by the Town at the January 24, 2019 Town Council meeting; or
 - (d) Potential litigation related to Eagleton and Applewood road failures; or
 - (e) Potential litigation related to Dale Earnhardt Way road failures; or
 - (f) Interlocal agreement between Town and City of Fort Worth executed on August 6, 1997.
- b. Section 551.072 Deliberations about Real Property – deliberations regarding the purchase, exchange, lease, or value of real property to be acquired as right-of-way out of a certain 3.05-acre tract of land located in the Patrick Rock Survey, Abstract No. 1063 in Northlake, Denton County, Texas for the construction and maintenance of roadway and utility improvements and other public purposes permitted by law
- c. Section 551.087 Economic development negotiations for potential business relocation and expansion for Project Orange

8. By general consent, Mayor Retting reconvened the council back to Open Session 10:00 pm
No action taken while in closed session

9. Mayor Retting adjourned the meeting at 10:00 pm

Passed and approved on this the 12th day of December 2019

Town of Northlake, Texas

David Rettig, Mayor

Attest:

Shirley Rogers, Town Secretary



Executive Session

Agenda Item 6

NOTICE OF A PUBLIC MEETING

Notice is hereby given that a meeting of the Town of Northlake, Texas, will be held on December 12, 2019 at 6:30 p.m. for the purpose of considering and taking action on all matters on the agenda for the meeting, including approval of an agreement with the law firm of Linebarger Goggan Blair & Sampson, LLP as special counsel to perform all legal services necessary to collect unpaid fines, fees and court costs as provided in Texas Code of Criminal Procedure Article 103.0031 and authorizing the execution of such agreement.

The agreement to be considered is necessary for the unpaid fines, fees and court costs owed to the Town of Northlake ("Town") to be collected in the most effective manner. The Town desires that such unpaid fines, fees and court costs be collected as provided in the Texas Code of Criminal Procedure.

The Linebarger Goggan Blair & Sampson, LLP firm is fully qualified to provide this representation, being the largest law firm specializing in the collection of governmental receivables in the State of Texas, as well as the United States, and having been engaged in this specialized legal service for more than 40 years. In addition, the Linebarger Goggan Blair and Sampson, LLP firm possesses infrastructure and technology, such as call center technology, that the Town does not currently possess.

Linebarger Goggan Blair & Sampson, LLP has not represented the Town previously, but has 43 years of experience in the collection of delinquent governmental receivables. The firm currently represents numerous nearby municipalities with competence and professionalism, in the collection of unpaid fines, fees and court costs and has done so for many years.

The specialized legal services required by this agreement cannot be adequately performed by the attorneys and supporting personnel of the Town due to the high cost of implementing the appropriate infrastructure and technology and employing sufficient in-house attorneys and staff with the level of experience and competence necessary to perform these activities.

Linebarger will be compensated on a contingent fee basis as provided in Texas Code of Criminal Procedure Article 103.0031. This Article specifically provides for an additional collection fee in the amount of 30 percent in certain cases to compensate collection attorneys. A contract to pay inside or outside attorneys on an hourly basis would represent an additional cost to the Town.

Entering into the proposed agreement is in the best interests of the residents of the Town because the unpaid fines, fees and court costs will be professionally and competently collected without the additional costs to the Town of implementing infrastructure and technology, and employing in-house personnel or paying outside counsel on an hourly fee basis which would otherwise be required.

ACTION APPROVING CONTRACT
WITH LINEBARGER GOGGAN BLAIR & SAMPSON, LLP

After having provided adequate notice as required by Sec. 2254.1036 of the Texas Government Code, the Contract for Fines and Fees Collection Services with Linebarger Goggan Blair & Sampson, LLP, is approved and the [APPROPRIATE OFFICIAL] is authorized to execute this Agreement.

After exercising its due diligence The Town of Northlake, Texas ("Town") finds that:

1. There is a substantial need for the legal services to be provided pursuant to the Contract for Fines and Fees Collection Services;
2. These legal services cannot be adequately performed by the attorneys and supporting personnel of the Town at a reasonable cost;
3. These legal services cannot reasonably be obtained from attorneys in private practice under a contract providing only for the payment of hourly fees, without regard to the outcome of the matter, because of the nature of the collection fee authorized by Texas Code of Criminal Procedure Article 103.0031 and because the Town does not have the funds to pay the estimated amounts required under a contract only for the payment of hourly fees;
4. Linebarger Goggan Blair & Sampson, LLP, is well qualified and competent to perform the legal services required to comply with the terms of this contract;
5. Linebarger Goggan Blair & Sampson, LLP has provided these specialized legal services to many nearby municipalities in the past and based on our review, their clients have been well satisfied with the quality and outcome of the legal services provided. The law firm has not previously worked for the Town of Northlake.

6. The contract with Linebarger Goggan Blair & Sampson, LLP is the result of an arm's length transaction between the Town and Linebarger Goggan Blair & Sampson, LLP and is fair and reasonable.

NOTICE OF A PUBLIC MEETING

Notice is hereby given that a meeting of the Town of Northlake, Texas (“Town”), will be held on December 12, 2019 at 6:30 p.m. for the purpose of considering and taking action on all matters on the agenda for the meeting, including approval of an agreement with the law firm of Linebarger Goggan Blair & Sampson, LLP as special counsel to perform all legal services necessary to collect delinquent property taxes and authorizing the execution of such agreement.

The agreement to be considered is necessary for the delinquent taxes owed to the Town to be collected in the most effective manner. The Town desires that such delinquent tax, penalties and interest be collected as provided in the Texas Tax Code.

The Linebarger Goggan Blair & Sampson, LLP firm is fully qualified to provide this representation, being the largest delinquent tax collection law firm in the State of Texas, as well as the United States and having been engaged in this specialized legal service for more than 40 years. In addition, the Linebarger Goggan Blair and Sampson, LLP firm possesses infrastructure and technology, such as call center technology, that the Town does not currently possess.

Linebarger Goggan Blair & Sampson, LLP has not represented previously represented Town. The law firm has represented many nearby municipalities for 37 years with competence and professionalism, in the collection of delinquent property taxes.

The specialized legal services required by this agreement cannot be adequately performed by the attorneys and supporting personnel of the Town due to the high cost of implementing the appropriate infrastructure and technology and employing sufficient in- house attorneys and staff with the level of experience and competence necessary to perform these activities.

Linebarger will be compensated on a contingent fee basis as provided in the Texas Tax Code Sections 6.30, 33.07, 33.08, 33.11, and 33.48. These Texas Tax Code sections specifically provide for an additional penalty on delinquent taxes to compensate collection attorneys. A contract to pay inside or outside attorneys on an hourly basis would represent an additional cost to the Town.

Entering into the proposed agreement is in the best interests of the residents of the Town because the delinquent taxes will be professionally and competently collected without the additional costs to the Town of implementing infrastructure and technology and employing in-house personnel or paying outside counsel on an hourly fee basis which would otherwise be required.

ACTION APPROVING CONTRACT
WITH LINEBARGER GOGGAN BLAIR & SAMPSON, LLP

After having provided adequate notice as required by Sec. 2254.1036 of the Texas Government Code, the Agreement for Delinquent Tax Collection Services with Linebarger Goggan Blair & Sampson, LLP is approved and the (appropriate official) is authorized to execute this Agreement.

After exercising its due diligence The Town of Northlake, Texas ("Town") finds that:

1. There is a substantial need for the legal services to be provided pursuant to the Agreement for Delinquent Tax Collection Services;
2. These legal services cannot be adequately performed by the attorneys and supporting personnel of the Town at a reasonable cost;
3. These legal services cannot reasonably be obtained from attorneys in private practice under a contract providing only for the payment of hourly fees, without regard to the outcome of the matter, because of the nature of delinquent tax penalties provided by Texas Tax Code Sections 6.30, 33.07, 33.08, 33.11, and 33.48 and because the Town does not have the funds to pay the estimated amounts required under a contract only for the payment of hourly fees;
4. Linebarger Goggan Blair & Sampson, LLP, is well qualified and competent to perform the legal services required to comply with the terms of this contract;
5. Linebarger Goggan Blair & Sampson, LLP has provided these specialized legal services to the many nearby municipalities for the past 37 years and the entities have been well satisfied with the quality and outcome of the legal services provided.

6. The contract with Linebarger Goggan Blair & Sampson, LLP is the result of an arm's length transaction between the Town and Linebarger Goggan Blair & Sampson, LLP and is fair and reasonable.