

1. March 1, 2022 - P&Z Meeting Agenda

Documents:

[MARCH 1, 2022 - PZ AGENDA.PDF](#)

1.I. March 1, 2022 - PZ Meeting Agenda Packet

Documents:

[MARCH 1, 2022 - PZ AGENDA PACKET - WEB POSTING.PDF](#)



Chris Amarante, Commissioner
Aaron Fowler, Commissioner
Maryl Lorencz, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

**PLANNING AND ZONING COMMISSION
MEETING AGENDA**

March 1, 2022

5:30 P.M.

**Northlake Town Hall, 1500 Commons Circle, Suite 300
Northlake, Texas 76226**

A. CALL TO ORDER

B. PUBLIC INPUT

This item is available for citizens to address the Planning & Zoning Commission on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda.

C. NEW BUSINESS

1. Consider approval of the meeting minutes from February 1, 2022
2. Consider a recommendation on proposed text amendments to Section 4.3 "Notice Requirements" and Article 5 "Zoning Districts" of the Unified Development Code (UDC) to require and set standards for the posting of signs on a property subject to a proposed zoning change. Case # UDC-22-001
 - a. Public Hearing
 - b. Consider recommendation
3. Consider approval of a Final Plat of Canyon Falls Commercial Tract 20B, Lots 1-2, Block A, a proposed two-lot phase of a commercial development on a 2.498-acre tract of land in the W. Love Survey, Abstract No. 728, generally located on the east side of Canyon Falls Drive approximately 2,000 feet north of FM 1171, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. Woodmont Company is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # FP 21-009
4. Consider approval of a Site Plan of Kiddie Academy - Northlake, a proposed 11,968 square-foot child care facility on a 1.411-acre tract of land in the W. Love Survey, Abstract No. 728, to be platted as Lot 2, Block A, Canyon Falls Commercial Tract 20B, generally located on the east side of Canyon Falls Drive approximately 2,000 feet north of FM 1171, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. Woodmont Company is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # SP-21-004
5. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 2, Block 1, 1 Industrial lot on a 29.589-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, and the William Murray Survey, Abstract No. 890, generally located 1,200 feet north of Dale Earnhardt Way and 1,800 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-007



6. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 3, Block 1, 1 Industrial lot on a 20.026-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, generally located 1,200 feet north of Dale Earnhardt Way and 2,500 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-008
7. Consider approval of a Site Plan of Northlake 35 Logistics Park Building 2, a proposed 634,744 square-foot industrial warehouse on a 29.589-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, and the William Murray Survey, Abstract No. 890, to be platted as Lot 2, Block 1, Northlake 35 Logistics Park, generally located 1,200 feet north of Dale Earnhardt Way and 1,800 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # SP-22-003
8. Consider approval of a Site Plan Northlake 35 Logistics Park Building 3, a proposed 346,322 square-foot industrial warehouse on a 20.026-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, to be platted as Lot 3, Block 1, Northlake 35 Logistics Park, generally located 1,200 feet north of Dale Earnhardt Way and 2,500 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # SP-22-004

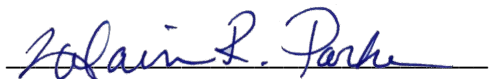
D. ADJOURNMENT

The Planning and Zoning Commission reserves the right to adjourn into Executive Session during the course of this meeting to discuss any item on the posted agenda as authorized by Chapter 551 of the Texas Government Code.

CERTIFICATION

I, Zolaina R. Parker, Town Secretary for the Town of Northlake, Texas, hereby certify that the above agenda was posted on the official bulletin board located at Town Hall, 1500 Commons Circle, Suite 300, Northlake, Texas 76226, on February 25, 2022, by 5:00 p.m., in accordance with Chapter 551 of the Texas Government Code.




Zolaina R. Parker
Town Secretary

NOTICE: THE TOWN OF NORTHLAKE'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). THE TOWN WILL PROVIDE ACCOMMODATIONS, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED IF REQUESTED AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE TOWN SECRETARY'S OFFICE AT 940-242-5702 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD), BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATIONS CAN BE ARRANGED.



Chris Amarante, Commissioner
Aaron Fowler, Commissioner
Maryl Lorencz, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

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MEETING AGENDA**

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5. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 2, Block 1, 1 Industrial lot on a 29.589-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, and the William Murray Survey, Abstract No. 890, generally located 1,200 feet north of Dale Earnhardt Way and 1,800 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-007



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8. Consider approval of a Site Plan Northlake 35 Logistics Park Building 3, a proposed 346,322 square-foot industrial warehouse on a 20.026-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, to be platted as Lot 3, Block 1, Northlake 35 Logistics Park, generally located 1,200 feet north of Dale Earnhardt Way and 2,500 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # SP-22-004

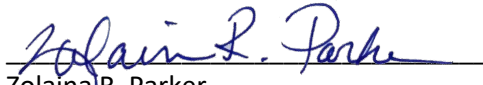
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Chris Amarante, Commissioner
Aaron Fowler, Commissioner
Maryl Lorencz, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

**PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
FEBRUARY 1, 2022**

A. CALL TO ORDER

Vice-Chairperson Nichols called the meeting to order at 5:30 p.m., and a quorum was present.

Michaela Monson - Absent with notice
Kristin Dixon
Chris Amarante

Jeff Nichols
Aaron Fowler
Danny Simpson

B. BRIEFINGS

1. Update Unified Development Code to require zoning change signs placed on property

The item was presented by Nathan Reddin, Development Director and discussion followed.

Following discussion, the consensus was to proceed with a Public Hearing on March 1, 2022, to further discuss the proposed updates.

C. PUBLIC INPUT

There was no input received.

D. UNFINISHED BUSINESS

1. Consider approval of a Final Plat of Canyon Falls LIV Development, a proposed one-lot plat for a multifamily residential development on a 15.730-acre tract of land in the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. LIV Development, LLC is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # FP 21-018

Commissioner Amarante moved to approve the item as presented. Motion seconded by Commissioner Folwer. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

2. Consider approval of a Site Plan of Canyon Falls LIV Development, a proposed multifamily residential development consisting of 300 units on a 15.730-acre tract of land in the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. LIV Development, LLC is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # SP-21-005

Commissioner Simpson moved to approve the item as presented. Motion seconded by Commissioner Lorencz. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz
NAYS (0): None
ABSENT (1): Monson

E. NEW BUSINESS

1. Consider approval of the meeting minutes from January 4, 2022

Commissioner Dixon moved to approve the item as presented. Motion seconded by Commissioner Amarante. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz
NAYS (0): None
ABSENT (1): Monson

2. Consider approval of an Amending Plat of Harvest Phase 2B, Lots 1R-13R and 1X, Block 39, a plat amending 13 residential lots and 1 open space lot from the Harvest Phase 2B Final Plat, being 2.608-acres of land in the Patrick Rock Survey, Abstract No. 1063, generally located south of Homestead Way and west of Harvest Way in the extraterritorial jurisdiction of the Town of Northlake. Harvest Phase II, LLC is the owner/applicant/ developer. Peloton Land Solutions is the engineer/surveyor. Case # FP 21-017

Commissioner Simpson moved to approve the item as presented. Motion seconded by Commissioner Amarante. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz
NAYS (0): None
ABSENT (1): Monson

The meeting was recessed at 6:24 p.m. for a short break to address technical issues and was reconvened at 6:27 p.m.

3. Consider approval of a Final Plat of Northlake 35 Logistics Park Rights-of-Way Dedication on a 8.957-acre tract of land in the Holland Anderson Survey, Abstract No. 25; the H.W. Cocke Survey, Abstract No. 310; the W.P. Harmonson and Ben Waters Survey, Abstract No. 642; and the William Murray Survey, Abstract No. 890, generally located north of Dale Earnhardt Way and 2,500 feet west of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-002

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Simpson moved to approve the item as presented. Motion seconded by Vice-Chairperson Nichols. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

4. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 8X, Block 1, 1 open space lot on a 22.771-acre tract of land in the Holland Anderson Survey, Abstract No. 25; the H.W. Cocke Survey, Abstract No. 310; and the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, generally located north of Dale Earnhardt Way and east of Harmonson Road, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-003

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Dixon moved to approve the item as presented. Motion seconded by Commissioner Amarante. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

5. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 9 & Lot 10X, Block 1, consisting of 1 Industrial lot and 1 open space lot on a 72.971-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642; the William Murray Survey, Abstract No. 890; and the Simon E. Parks Survey, Abstract No. 1005, generally located north of Dale Earnhardt Way and east of Harmonson Road, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-004

I Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Fowler moved to approve the item as presented. Motion seconded by Commissioner Lorencz. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

6. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 1 & Lot 11X, Block 1, consisting of 1 Industrial lot and 1 open space lot on a 51.143-acre tract of land in the William Murray Survey, Abstract No. 890, and the Simon E. Parks Survey, Abstract No. 1005, generally located 1,500 feet north of Dale Earnhardt Way and 600 feet west side of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-005

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Amarante moved to approve the item as presented. Motion seconded by Commissioner Dixon. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

7. Consider approval of a Final Plat of Northlake 35 Logistics Park, Lot 4, Block 1, 1 Industrial lot on a 12.778-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, generally located 150 feet north of Dale Earnhardt Way and 1,500 feet west side of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-22-006

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Amarante moved to approve the item as presented. Motion seconded by Commissioner Fowler. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

8. Consider approval of a Site Plan of Northlake 35 Logistics Park Building 1, a proposed 1,893,126 square-foot industrial warehouse on a 47.331-acre tract of land in the William Murray Survey, Abstract No. 890, and the Simon E. Parks Survey, Abstract No. 1005, to be platted as Lot 1, Block 1, Northlake 35 Logistics Park, generally located 1,500 feet north of Dale Earnhardt Way and 600 feet west side of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # SP-22-001

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Lorencz moved to approve the item as presented. Motion seconded by Commissioner Simpson. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz

NAYS (0): None

ABSENT (1): Monson

9. Consider approval of a Site Plan Northlake 35 Logistics Park Building 4, a proposed 172,620 square-foot industrial warehouse on a 12.778-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, to be platted as Lot 4, Block 1, Northlake 35 Logistics Park, generally located 150 feet north of Dale Earnhardt Way and 1,500 feet west side of IH 35W, and zoned Industrial (I). Northlake Logistics Park, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # SP-22-002

Item E.3. - E.9 were collectively presented and discussed but considered individually.

Commissioner Fowler moved to approve the item as presented. Motion seconded by Vice-Chairperson Nichols. Motion carried.

AYES (6): Nichols, Dixon, Amarante, Fowler, Simpson, Lorencz
NAYS (0): None
ABSENT (1): Monson

F. ADJOURNMENT

With no further business, Vice-Chairperson Nichols adjourned the meeting at 6:41 p.m.

Jeff Nichols, Vice-Chairperson

Attest:

Zolaina R. Parker, Town Secretary

MINUTES APPROVED ON: _____

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF. DOC.: UNIFIED DEVELOPMENT CODE (UDC)

SUBJECT: UDC AMENDMENT TO REQUIRE ZONING CHANGE SIGNS



GOALS/OBJECTIVES:

- Reinforce our Identity; Define who we are (and don't settle for less)

BACKGROUND INFORMATION:

- P&Z and Town Council briefed on proposed requirement for zoning change signs
- Input provided on:
 - Type of signs
 - Size of signs
 - Sign content
 - Number of signs and placement
 - Responsibility for purchasing, placement, and monitoring of signs
 - Timing of posting, removal, and replacement of signs
- UDC amendment drafted for consideration based upon input
 - Requires signs to provide notice of public hearings for:
 - Zoning changes
 - Planned developments
 - Specific Use Permits

P&Z ACTION:

- Hold public hearing
- Recommend approval or disapproval of the UDC text amendments as drafted or recommend approval of UDC text amendments with conditions

NEXT STEPS:

- March 10th Town Council Meeting
 - Hold public hearing
 - Consider approval or disapproval of the UDC text amendments as drafted or approval of UDC text amendments with conditions

ATTACHMENTS:

- Proposed text amendments to the UDC

Proposed UDC Text Amendments

Section 4.3, "Notice Requirements," in Article 4, "Procedures and Applications," of the Unified Development Code of the Town Northlake is hereby amended by adding Subsection 4.3.C. to read as follows:

"Sec. 4.3 Notice Requirements

- C. Sign Notice. Whenever sign notice of a public hearing before a Board, Commission, or the Town Council is required, posting of a notification sign or signs shall be required as follows:
1. Placement
 - a. A minimum of one (1) sign per 1,500 feet of each street frontage or portion thereof shall be posted on the property in question.
 - b. A maximum of three (3) signs shall be posted on any street frontage.
 - c. Signs shall generally be centered and spaced evenly along the street frontage.
 - d. Signs shall be visible from and placed perpendicular to the street.
 - e. Signs shall be located on the property outside of the public right-of-way unless placed a minimum of ten (10') feet from the edge of street pavement.
 2. Design
 - a. Signs shall be four (4') feet by four (4') feet.
 - b. Signs shall be double-sided, durable, and mounted on two stakes/poles.
 - c. The bottom of signs shall be at least one foot above grade.
 - d. Signs shall be constructed in accordance with the Town's notification sign design criteria and shall include lettering/graphics placed on both sides containing the following information at a minimum:
 - i. Type of case (i.e. zoning change, SUP, etc.)
 - ii. Project/case number
 - iii. Proposed zoning or use
 - iv. Size of subject property in acres
 - v. Town logo
 - vi. Town phone number to contact for more information
 - vii. Town website to visit for more information
 3. Posting
 - a. Owner/applicant shall be responsible for obtaining, posting, and maintaining the posting of all required signs according to this subsection.
 - b. Signs shall be posted a minimum of 21 days before a scheduled public hearing and shall be maintained until the subject of the public hearing has been approved, denied, or withdrawn. A public hearing will not be scheduled and published notice and written notice will not be initiated until Town staff confirms the placement of the required notification signs.
 - c. Owner/applicant shall remove signs within one (1) week of approval, denial, or withdrawal of the request requiring the public hearing. The owner/applicant shall also repair or replace any damaged or missing signs within one (1) week of notice from Town staff.

***"

Section 5.4, "Zoning Change/Zoning Map Amendment," of Article 5, "Zoning Districts," of the Unified Development Code of the Town Northlake is hereby amended to read as follows:

"Sec. 5.4 Zoning Change/Zoning Map Amendment

C. Processing of Application and Decision.

2. Review by Planning and Zoning Commission.

- c. *Notification Requirements.* Prior to consideration, an application for a zoning change or zoning map amendment requires published, written, and sign notice in accordance with section 4.3 of this UDC.

3. Decision by Town Council.

- b. *Notification Requirements.* Prior to consideration, an application for a zoning change or zoning map amendment requires published, written, and sign notice in accordance with section 4.3 of this UDC.

***"

Article 5, "Zoning Districts," of the Unified Development Code of the Town Northlake is hereby amended by amending Sections 5.10, "Planned Development," and 5.11, "Specific Use Permit (SUP)," to read as follows:

"Sec. 5.10 Planned Development

B. Processing of Application and Decision.

2. Review by Planning and Zoning Commission.

- c. *Notification Requirements.* Prior to consideration, an application for a PD requires published, written, and sign notice in accordance with section 4.3 of this UDC.

3. Decision by Town Council.

- a. *Notification Requirements.* Prior to consideration, an application for a PD requires published, written, and sign notice in accordance with section 4.3 of this UDC.

Sec. 5.11 Specific Use permit (SUP)

C. Processing of Application and Decision.

4. Review by Planning and Zoning Commission.

- d. *Notification Requirements.* Prior to consideration, an application for an SUP requires published, written, and sign notice in accordance with section 4.3 of this UDC.

5. Decision by Town Council.

- c. *Notification Requirements.* Prior to consideration, an application for a SUP requires published, written, and sign notice in accordance with section 4.3 of this UDC.

***"

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM)

SUBJECT: CANYON FALLS COMMERCIAL TRACT 20B (LOTS 1-2, BLOCK A)
FINAL PLAT (FP-21-009)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

FINAL PLAT INFORMATION:

Owner: NASH Canyon Falls, LLC

**Applicant/
Developer:** Woodmont Company

Engineer/Surveyor: J. Volk Consulting

Current Zoning: Mixed-Use Planned Development (MPD)

Site: A 2.498-acre tract of land in the W. Love Survey, Abstract No. 728, generally located on the east side of Canyon Falls Drive approximately 2,000 feet north of FM 1171.

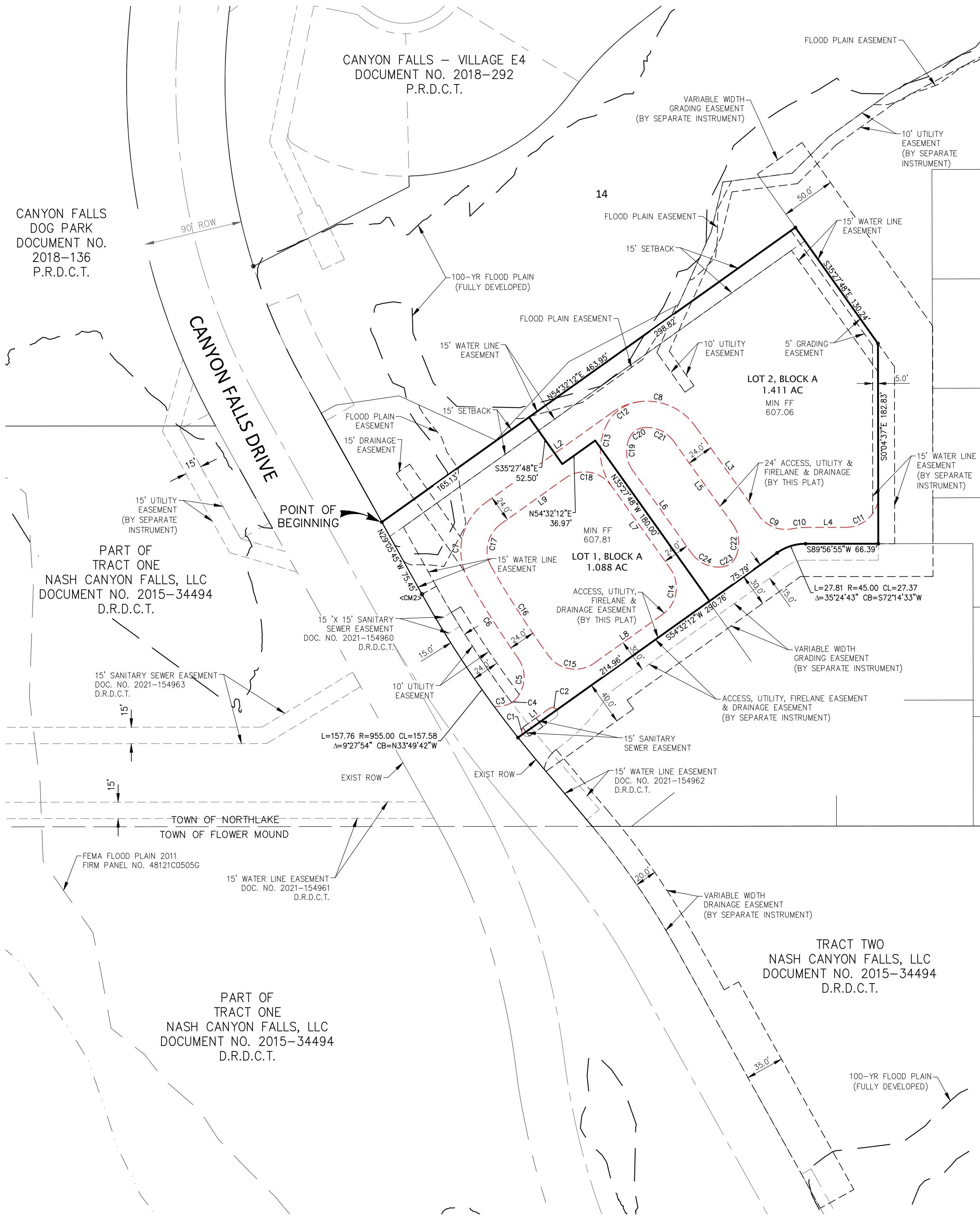
Summary: This application is for a final plat of the initial 2-lot phase of a 8.422-acre commercial development, Commercial Tract 20B, within Canyon Falls. The site plan for the development Lot 2 with a child care facility is on this same agenda. The preliminary plat of Canyon Falls Commercial Tract 20B was approved by the P&Z Commission on August 31, 2021.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The application was considered filed on February 24, 2022, and it will be approved on March 26, 2022, if no action is taken.

The final plat conforms to the approved preliminary plat and meets all standards outlined in the MPD. A drainage study and construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and meet all engineering design requirements.

P&Z ACTIONS:

- Approve plat as submitted



NOTES:

1. The Town of Northlake is not responsible for the design, construction, operation, maintenance, or use of any retaining walls including those adjacent and within the floodplain easement, hereinafter referred to as "improvement," to be developed and constructed by Owner or his successors. Owner will indemnify, defend and hold harmless the Town of Northlake, its officers, employees, and agents from any direct or indirect loss, damage, liability, or expense and attorneys' fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition or use of the "improvement," including any non-performance of the foregoing. Owner will require any successor in interest to accept the full responsibility and liability for the "improvement." All of the above shall be covenants running with the land. It is expressly contemplated that the Owner shall impose these covenants upon Lot 1 Block A and Lot 2, Block A, abutting, adjacent, or served by the "improvement" the full obligation and responsibility of maintaining and operating said "improvement."
2. Basis of bearings derived from deed to Nash Canyon Falls, LLC, as recorded in Document No. 2015-34494, deed records, Denton County, Texas.
3. All property corners monumented with a 1/2"iron rod with a yellow plastic cap stamped "JVC" unless otherwise noted.
4. Per the approved PD there are no established setbacks for this lot.

LEGAL DESCRIPTION:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the POINT OF BEGINNING of the tract of land herein described:

THENCE North 54 degrees 32 minutes 12 seconds East, leaving said east line, a distance of 463.95 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 35 degrees 27 minutes 48 seconds East, a distance of 130.24 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 00 degrees 04 minutes 37 seconds East, a distance of 182.83 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 89 degrees 56 minutes 55 seconds West, a distance of 66.39 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 35 degrees 24 minutes 43 seconds, a radius of 45.00 feet and a chord bearing and distance of South 72 degrees 14 minutes 33 seconds West, 27.37 feet;

THENCE Westerly, with said curve to the left, an arc distance of 27.81 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 54 degrees 32 minutes 12 seconds West, a distance of 290.76 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a non-tangent curve to the right having a central angle of 09 degrees 27 minutes 54 seconds, a radius of 955.00 feet and a chord bearing and distance of North 33 degrees 49 minutes 42 seconds West, 157.58 feet;

THENCE Northerly, with said east line and said curve to the right, an arc distance of 157.76 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" found for corner;

THENCE North 29 degrees 05 minutes 45 seconds West, continuing with said east line, a distance of 75.45 feet to the POINT OF BEGINNING and containing 2.498 acres of land, more or less.

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	7.85	5.00	090°00'00"	7.07	S09° 32' 12"W
C2	7.85	5.00	090°00'00"	7.07	N80° 27' 48"W
C3	14.91	30.00	028°28'41"	14.76	N79° 20' 23"E
C4	5.53	15.00	021°07'43"	5.50	N54° 32' 12"E
C5	41.36	30.00	078°59'17"	38.16	N04° 28' 51"E
C6	84.83	911.50	005°19'57"	84.80	N32° 20' 49"W
C7	79.37	54.00	084°13'02"	72.42	S12° 25' 40"W
C8	84.82	54.00	089°59'59"	76.37	N80° 27' 49"W
C9	34.70	30.00	066°16'41"	32.80	S68° 36' 11"E
C10	12.24	60.00	011°41'26"	12.22	N84° 06' 12"E
C11	41.65	30.00	079°33'01"	38.39	N50° 10' 24"E
C12	37.87	39.00	055°38'11"	36.40	N54° 32' 12"E
C13	58.61	54.00	062°10'55"	55.77	N04° 22' 21"W
C14	47.12	30.00	090°00'00"	42.43	N09° 32' 12"E
C15	46.89	30.00	089°33'32"	42.26	S80° 41' 02"E
C16	96.41	887.50	006°13'26"	96.36	N32° 47' 34"W
C17	44.10	30.00	084°13'02"	40.23	S12° 25' 40"W
C18	47.12	30.00	089°59'56"	42.43	N80° 27' 50"W
C19	32.56	30.00	062°10'55"	30.98	S04° 22' 21"E
C20	14.57	15.00	055°38'11"	14.00	S54° 32' 12"W
C21	32.56	30.00	062°10'56"	30.98	N66° 33' 16"W
C22	32.56	30.00	062°10'55"	30.98	N04° 22' 21"W
C23	14.57	15.00	055°38'11"	14.00	N54° 32' 12"E
C24	32.56	30.00	062°10'55"	30.98	S66° 33' 16"E

Line Table		
Line	Length	Direction
L1	28.27	S54° 32' 12"W
L2	142.49	S54° 32' 12"W
L3	100.60	S35° 27' 49"E
L4	36.87	N89° 56' 55"E
L5	93.00	N35° 27' 48"W
L6	93.00	S35° 27' 48"E
L7	93.00	N35° 27' 48"W
L8	76.83	N54° 32' 12"E
L9	72.49	S54° 32' 12"W

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Nash Canyon Falls, LLC, acting herein by and through its duly authorized officers, does hereby adopt this plat designated herein as Canyon Falls Commercial Tract 20B Block A, Lots 1-2, an addition to the Town of Northlake, Denton County, Texas.

The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys, rights-of-way, are hereby dedicated in fee simple to the Town of Northlake for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance of efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Northlake.

Nash Canyon Falls, LLC
A Delaware Limited Liability Company

BY: BROOKFIELD PROPERTIES
A LIMITED LIABILITY COMPANY
ITS DEVELOPMENT MANAGER

BY: _____
TIMOTHY DURIE, SENIOR VICE PRESIDENT

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared TIMOTHY DURIE known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary public for and in the State of Texas
My commission expires: _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I have prepared this plat from an actual survey of the land, and that the corner monuments shown thereon were found or placed under my personal supervision in accordance with the platting rules and regulations of Denton County, Texas.

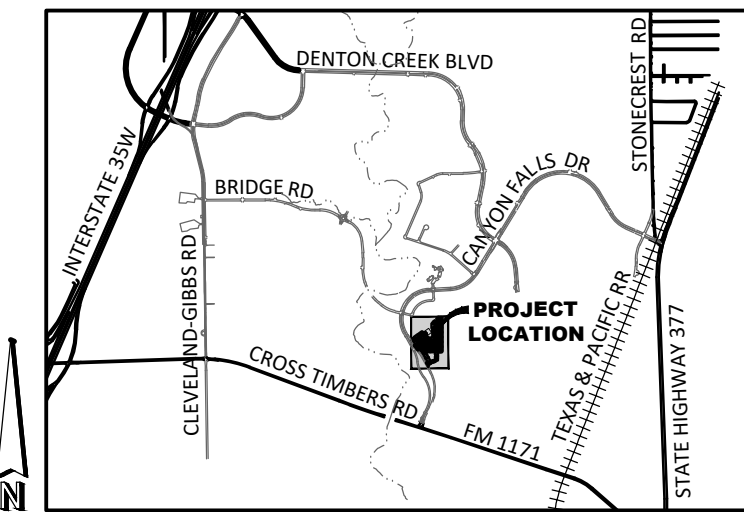
RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF DALLAS §

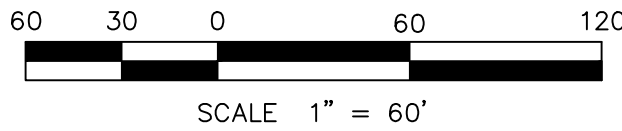
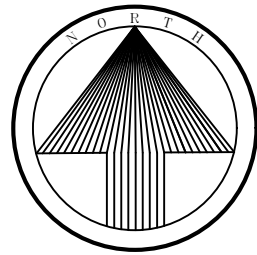
BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary public for and in the State of Texas
My commission expires: _____



VICINITY MAP
N.T.S.



- LEGEND**
- Fence corner post found (unless otherwise noted)
 - 1/2" iron rod set with a yellow plastic cap stamped "JVC".
- <CM> Control Monument

BENCHMARKS

1) Square cut in concrete set on top of southerly most pillar of Electrical Tower No. 82. Elev. 651.75'
N: 7076050.39 E: 2362437.01

2) Square cut in concrete set on top of southerly most pillar of Electrical Tower No. 83. elev. 641.77'
N: 7075280.73 E: 2363305.04

APPROVED BY THE PLANNING & ZONING COMMISSION ON:

DATE

CHAIR, PLANNING & ZONING COMMISSION

TOWN SECRETARY, TOWN OF NORTHLAKE

**FINAL PLAT
OF
CANYON FALLS COMMERCIAL
TRACT 20B
BLOCK A, LOTS 1-2
BEING 2.498 ACRES LOCATED IN THE
W. LOVE SURVEY - ABSTRACT NO. 728
AN ADDITION IN THE
TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS**

January 2022 1" = 60'

SHEET 1 OF 1



830 Central parkway East, Suite 300
Plano, Texas 75074
972.201.3100 Texas Registration No. F-11962

Engineer/Surveyor:
J. Volk Consulting, Inc.
830 Central Parkway E., Suite 300
Plano, Texas 75074
972-201-3100
joel.richey@jvolkconsulting.com

Property Owner:
Nash Canyon Falls, LLC
10940 West Sam Houston Parkway
Suite 300
Houston, Texas 77064
972-626-4588
tdurie@brookfieldproperties
development.com

Applicant/Developer:
Woodmont Company
2100 West 7th Street
Fort Worth, Texas 76107
817-377-7169
cpincine@woodmont.com

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM); MIXED-USE PLANNED DEVELOPMENT

SUBJECT: SITE PLAN OF KIDDIE ACADEMY - NORTHLAKE (SP-21-004)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

SITE PLAN INFORMATION:

Owner: NASH Canyon Falls, LLC

**Applicant/
Developer:** Woodmont Company

Engineer/Surveyor: J. Volk Consulting

Zoning: Mixed-Use Planned Development (MPD) which lists child care center as a permitted use on sites such as this one designated as mixed use within the MPD's development plan

Site: Approximately 1.411-acre tract of land in the W. Love Survey, Abstract No. 728, to be platted as Lot 2, Block A, Canyon Falls Commercial Tract 20B, generally located on the east side of Canyon Falls Drive approximately 2,000 feet north of FM 1171.

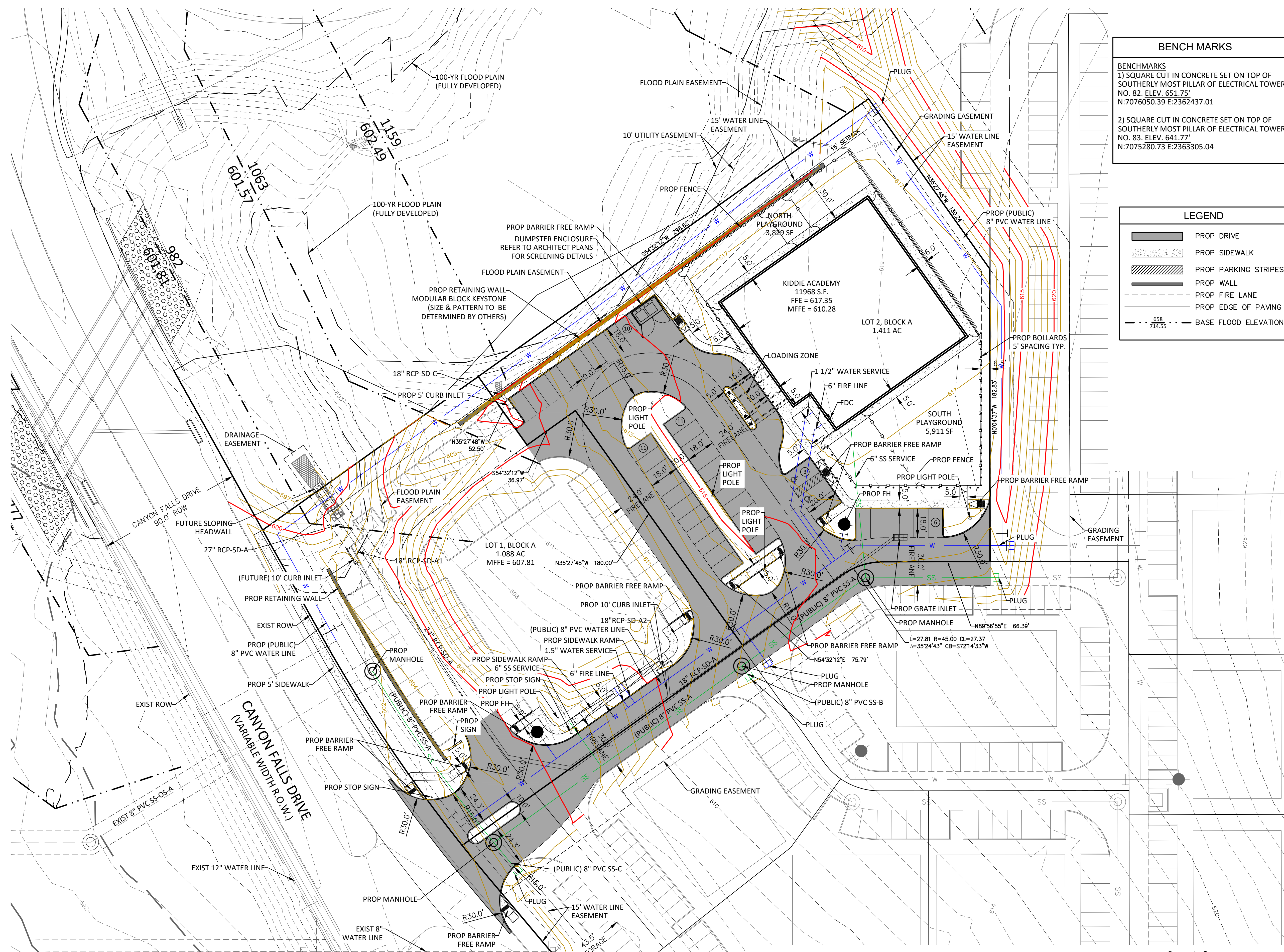
Summary: This application is for a site plan of Kiddie Academy - Northlake, a proposed 11,968 square-foot child care facility to go on Lot 2, Block A, of the Canyon Falls Commercial Tract 20B final plat item on this same agenda.

Staff Analysis: The applicant has provided a site plan package in accordance with requirements of the Unified Development Code (UDC) and MPD. The application was considered filed on February 24, 2022, and it will be approved on March 26, 2022, if no action is taken.

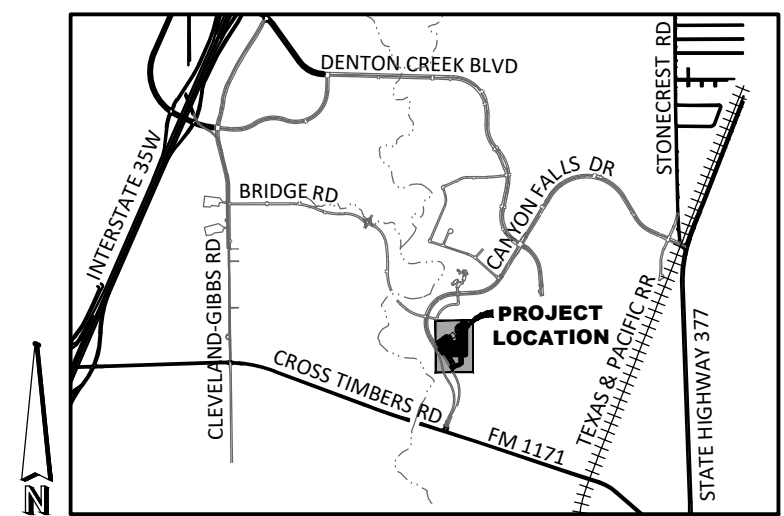
The site plan package includes a site plan and landscape plan for the site as well as building elevations showing all sides of the planned building. All elements of the site plan package meet or exceed the development standards and all applicable requirements of the UDC and MPD.

P&Z ACTIONS:

- Approve site plan package as submitted

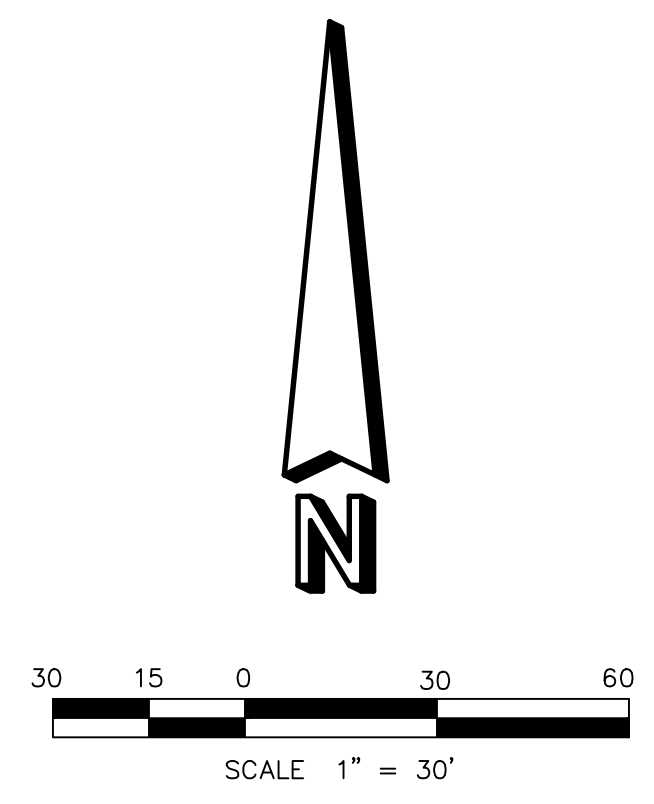


BENCH MARKS	
1) SQUARE CUT IN CONCRETE SET ON TOP OF SOUTHERLY MOST PILLAR OF ELECTRICAL TOWER NO. 82. ELEV. 651.75'	N:7076050.39 E:2362437.01
2) SQUARE CUT IN CONCRETE SET ON TOP OF SOUTHERLY MOST PILLAR OF ELECTRICAL TOWER NO. 83. ELEV. 641.77'	N:7075280.73 E:2363305.04



LEGEND	
	PROP DRIVE
	PROP SIDEWALK
	PROP PARKING STRIPES
	PROP WALL
	PROP FIRE LANE
	PROP EDGE OF PAVING
	658 714.55
	BASE FLOOD ELEVATION

SITE DATA TABLE	
PROPOSED USE:	CHILD CARE FACILITY
LOT AREA :	± 61,446 S.F.
BUILDING AREA:	± 11,968 S.F.
BUILDING HEIGHT :	20'-0" - 28'-0"
BUILDING COVERAGE :	19.48% OF TOTAL
AREA OF IMPERVIOUS SURFACE :	± 36,481 S.F.
PARKING PROVIDED :	41 SPACES TOTAL (2 HANDICAPPED SPACES)
PARKING REQUIRED :	24 SPACES (1 HANDICAPPED SPACE) AT 1 SPACE PER 500 S.F. (MIXED-USE PLANNED DEVELOPMENT)
ZONING :	CHILD CARE FACILITY



- NOTES:
1. THE SIGNAGE AND LIGHTING DETAILS WILL BE PROVIDED AT THE TIME OF PERMITTING
 2. REFER TO ARCHITECT PLANS FOR KNOX BOX & 911 EMERGENCY BOX LOCATIONS.
 3. REFER TO FINAL PLAT FOR METES & BOUNDS DESCRIPTION.
 4. ALL WATER AND SANITARY SEWER MAINS ARE PUBLIC.

SITE PLAN
of
KIDDIE ACADEMY - NORTHLAKE
Lot 2, Block A, Tract 08B
Town of Northlake, Denton County, Texas
1.411 Acres
Zoned Mixed-Use Planned Development (MPD)
January, 2022

1" = 30'
SHEET 1 OF 1

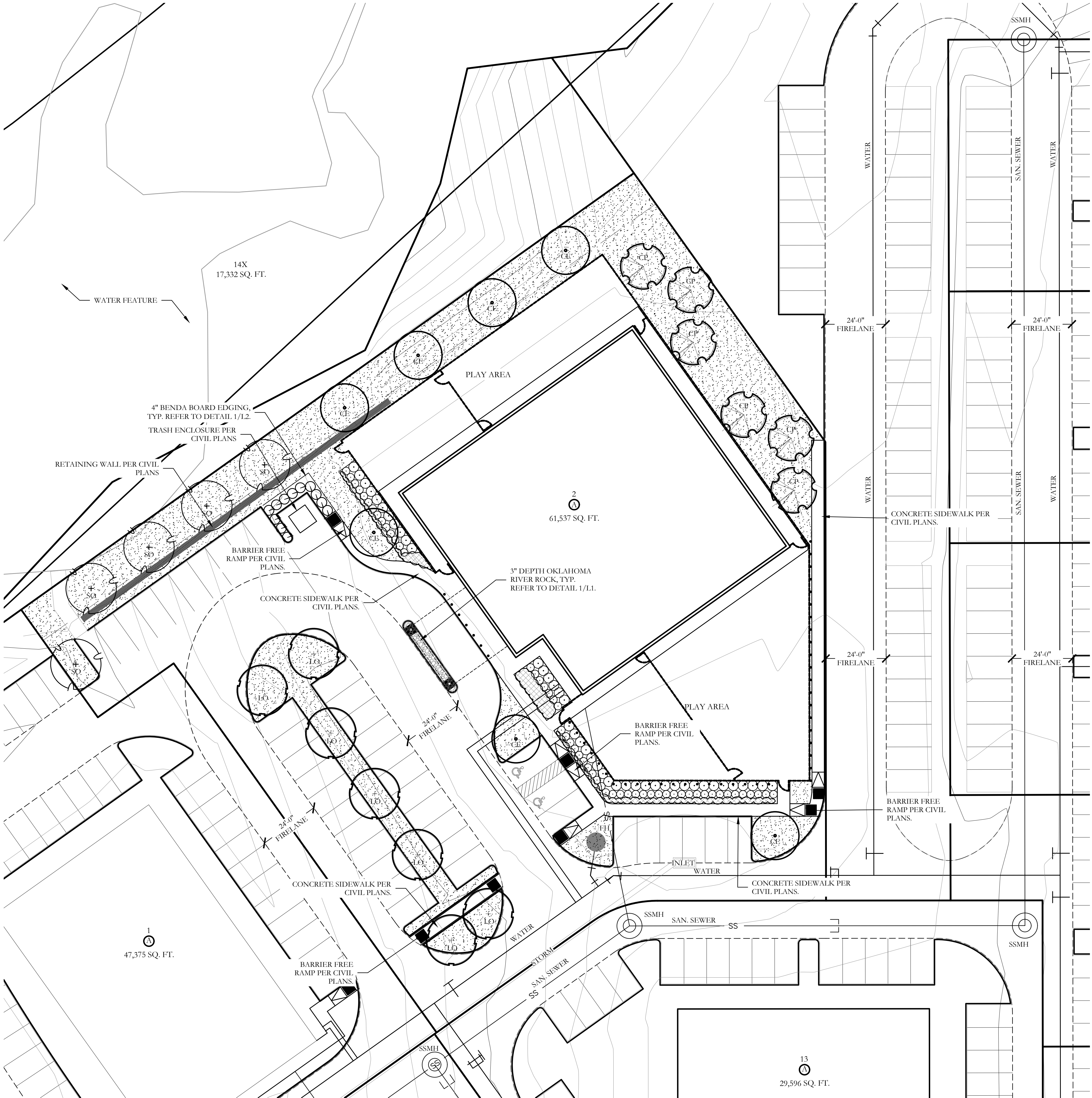
TOWN OF NORTHLAKE
TOWN OF FLOWER MOUND

Engineer/Surveyor:
J. Volk Consulting, Inc.
830 Central Parkway E., Suite 300
Plano, Texas 75074
972-201-3100
joel.richey@jvolconsulting.com

Property Owner:
Nash Canyon Falls, LLC
10940 West Sam Houston Parkway
Suite 300
Houston, Texas 77064
817-377-7169
tdurie@brookfieldpropertiesdevelopment.com

Applicant/Developer:
Woodmont Company
2100 West 7th Street
Fort Worth, Texas 76107
817-377-7169
cpincince@woodmont.com

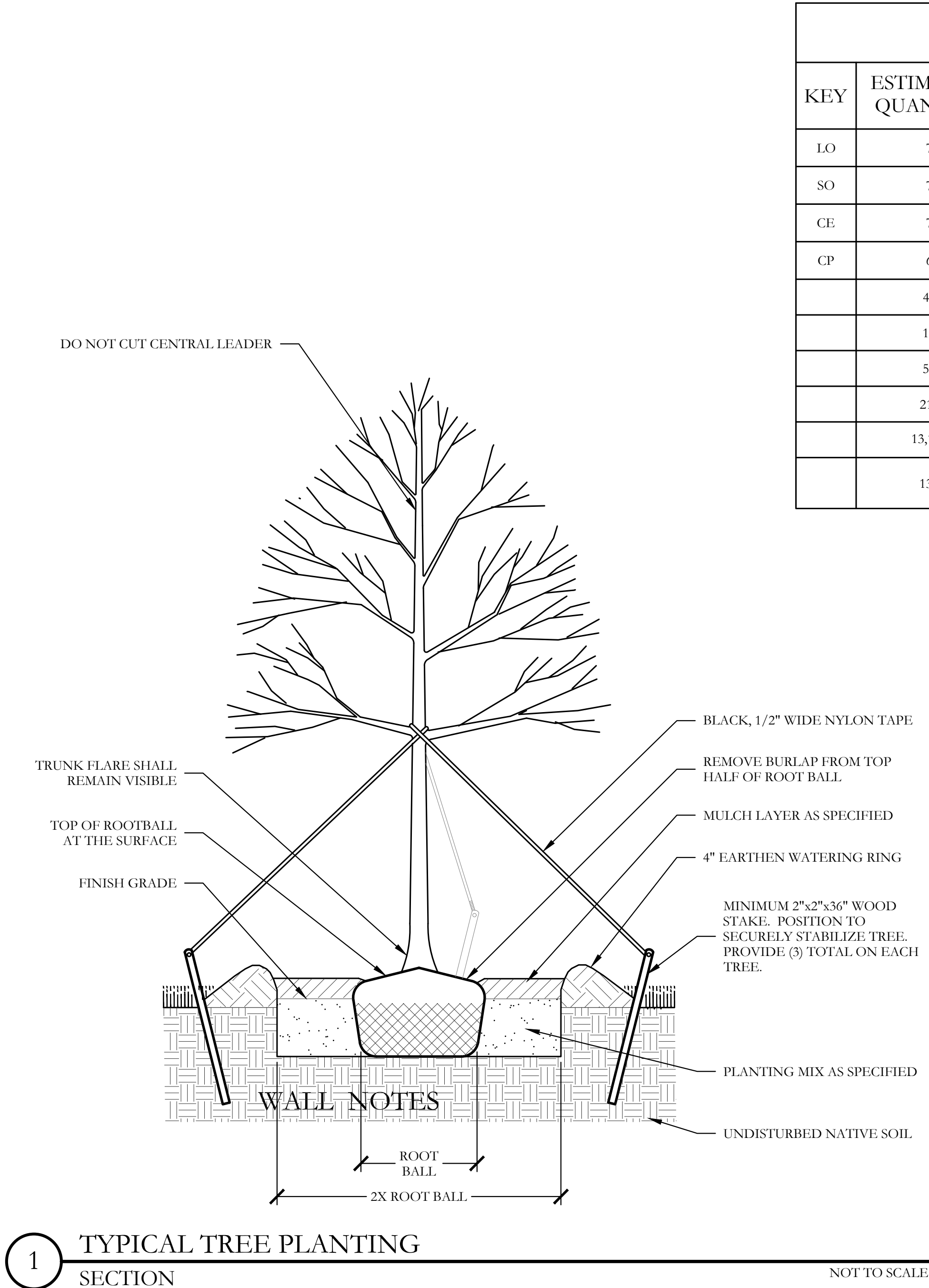
J. VOLK
consulting
830 Central Parkway East, Suite 300
Plano, Texas 75074
972.201.3100 Texas Registration No. F-11962



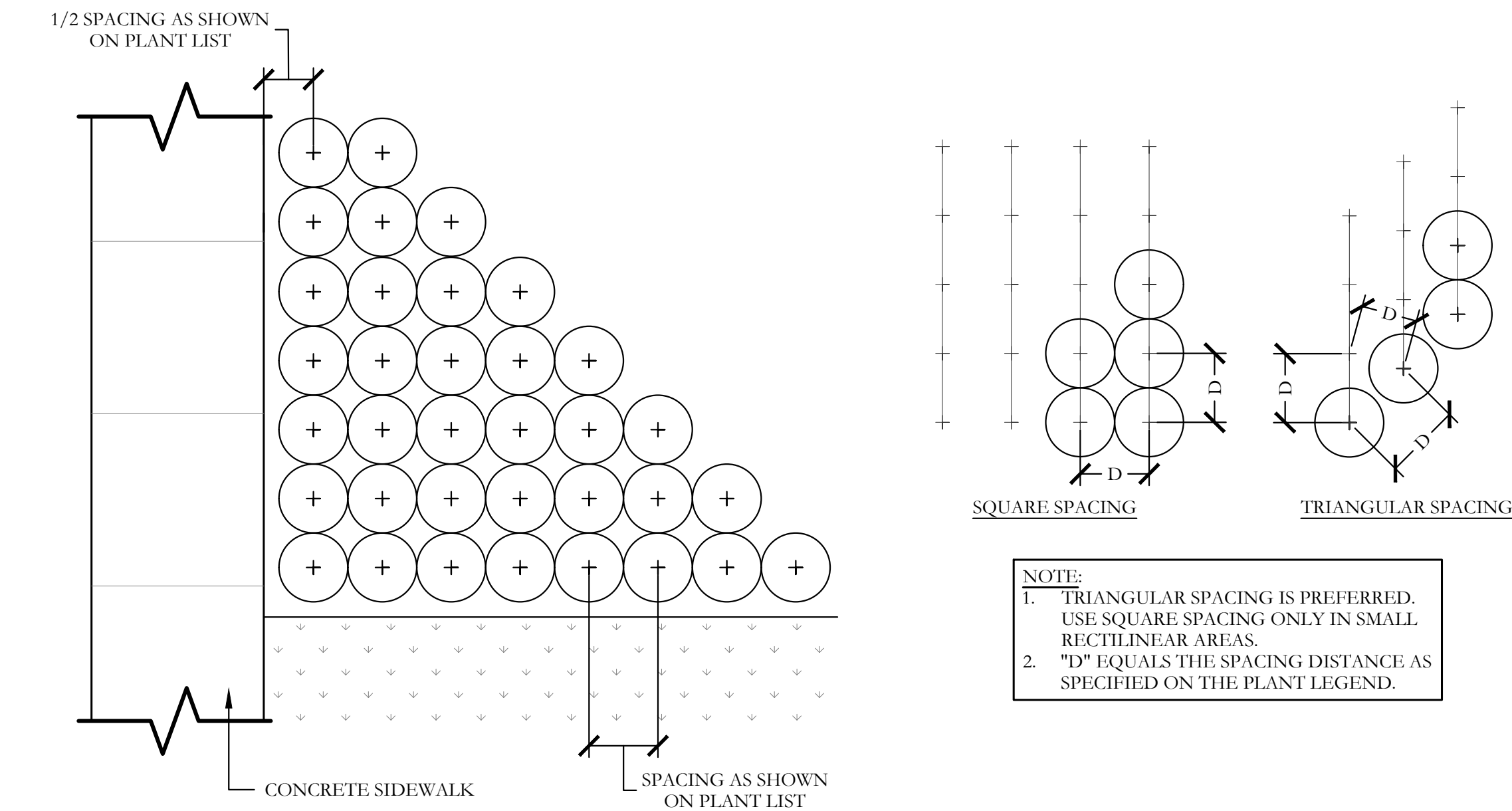
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
		ELAEAGNUS	ELAEANUS MACROPHYLLA	7 GALLON	48" O.C.
		CENIZO	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		GOLDFLAME SPIRAEA	SPIRAEA X BUMALDA 'GOLDFLAME'	3 GALLON	36" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TEXAS RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

LANDSCAPE PROVIDED

- PARKING LOT AREAS
- A. ONE 3" MIN. CALIPER TREE IS REQUIRED FOR EVERY 10 PARKING SPACES.
41 SPACED PROVIDED / 10 = 4.1 TREES REQUIRED
PROVIDED: 10 PARKING LOT 3" CALIPER TREES PROVIDED

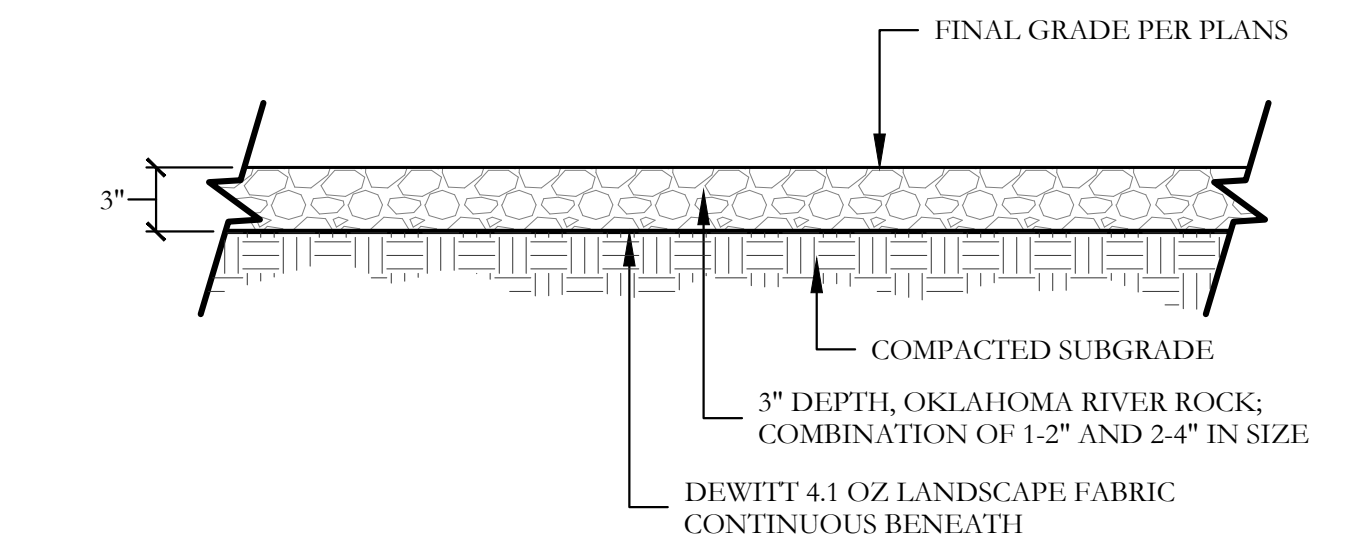


1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

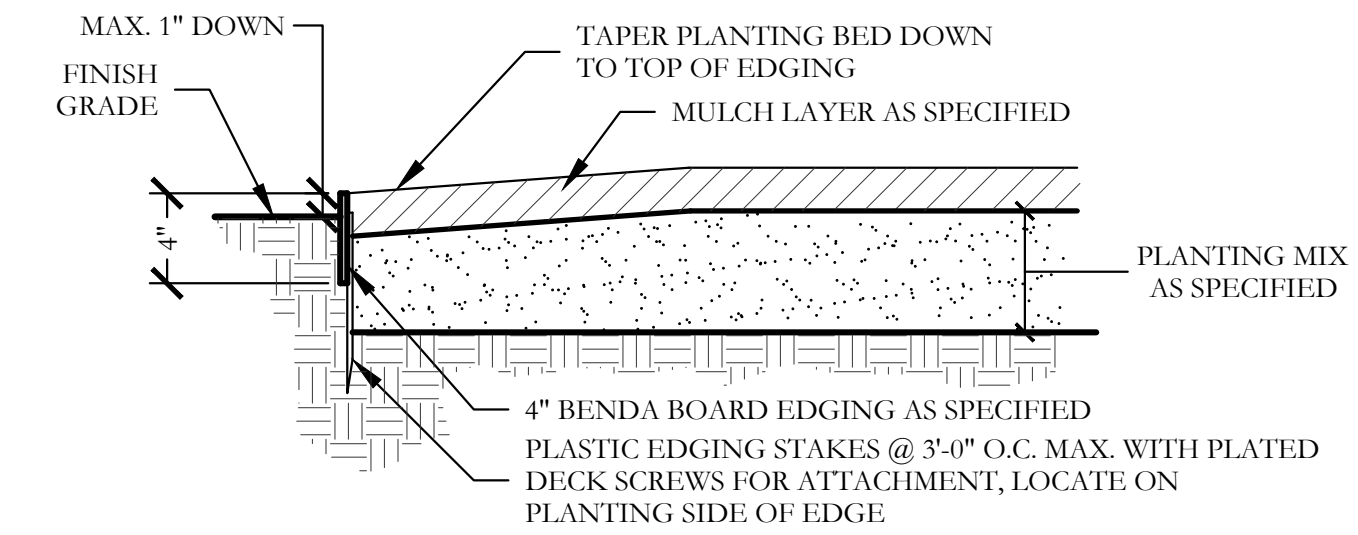


2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

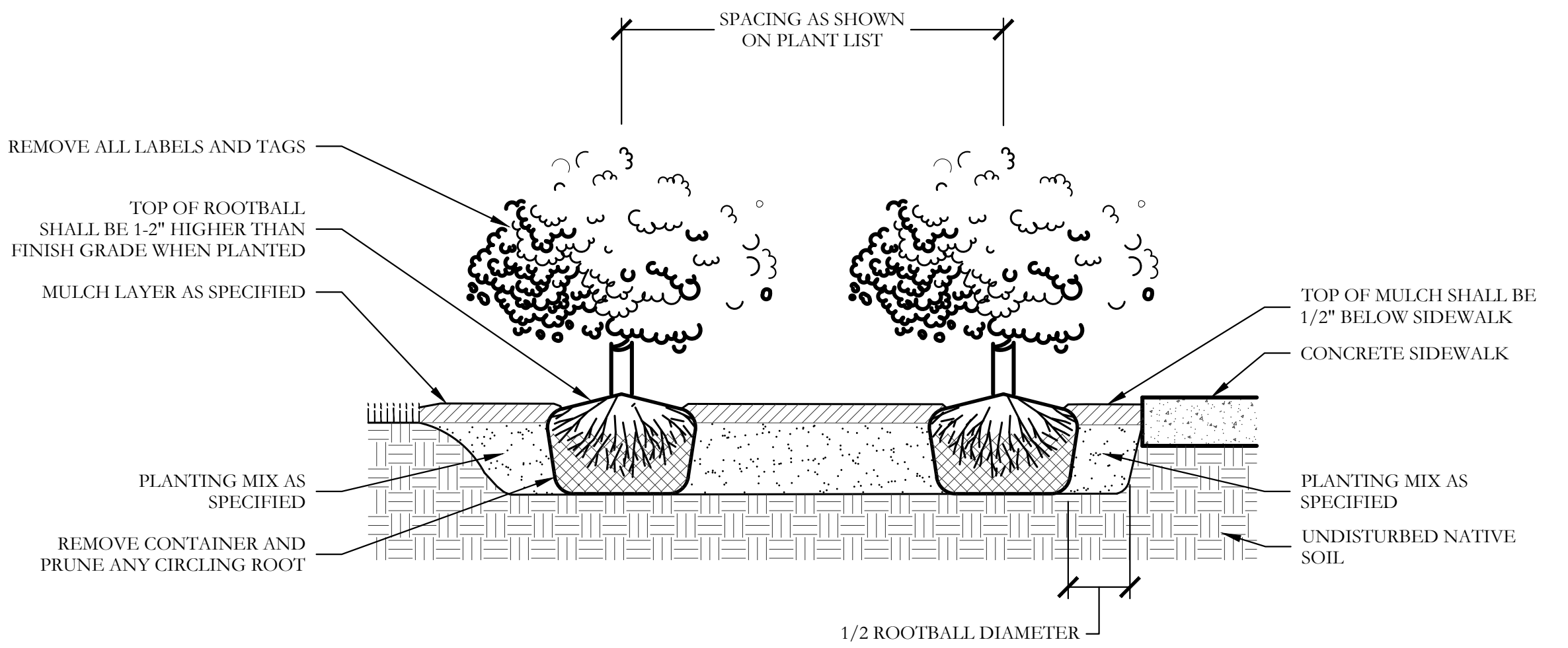
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	7	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	7	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	7	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	6	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
	42	ELAEAGNUS	ELAEANUS MACROPHYLLA	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	12	CENIZO	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	54	GOLDFLAME SPIRAEA	SPIRAEA X BUMALDA 'GOLDFLAME'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	215	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	13,130	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	135	OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	3" DEPTH	SQUARE FEET	EQUAL COMBINATION OF 1'-2" & 2'-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK



3 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1\"/>



4 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



5 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

GENERAL LANDSCAPE NOTES

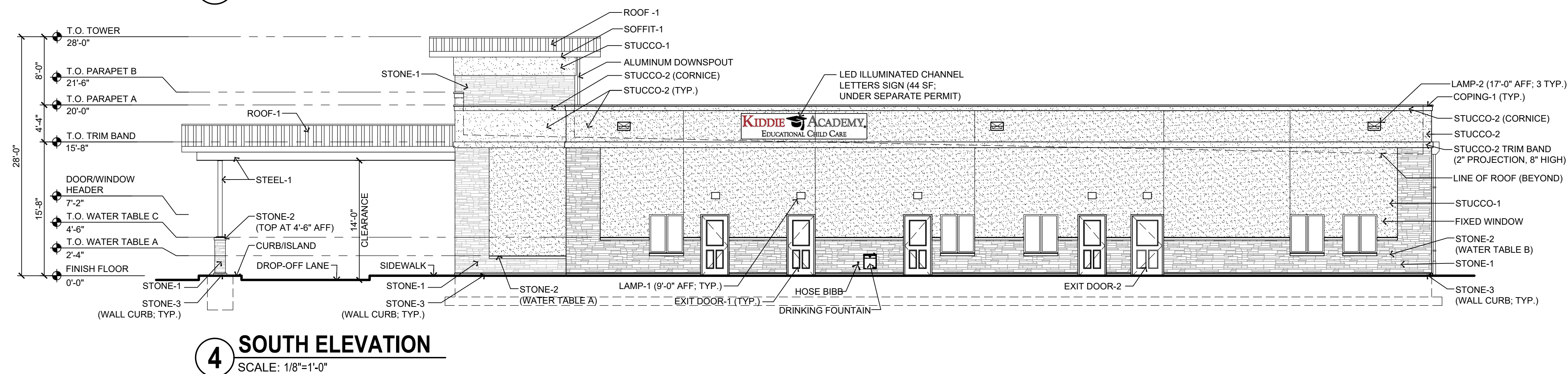
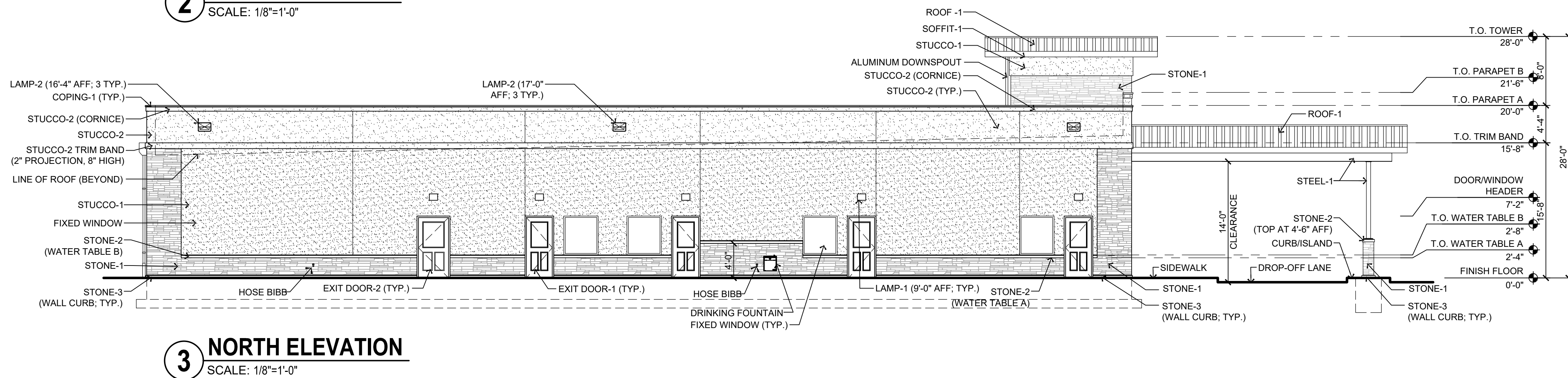
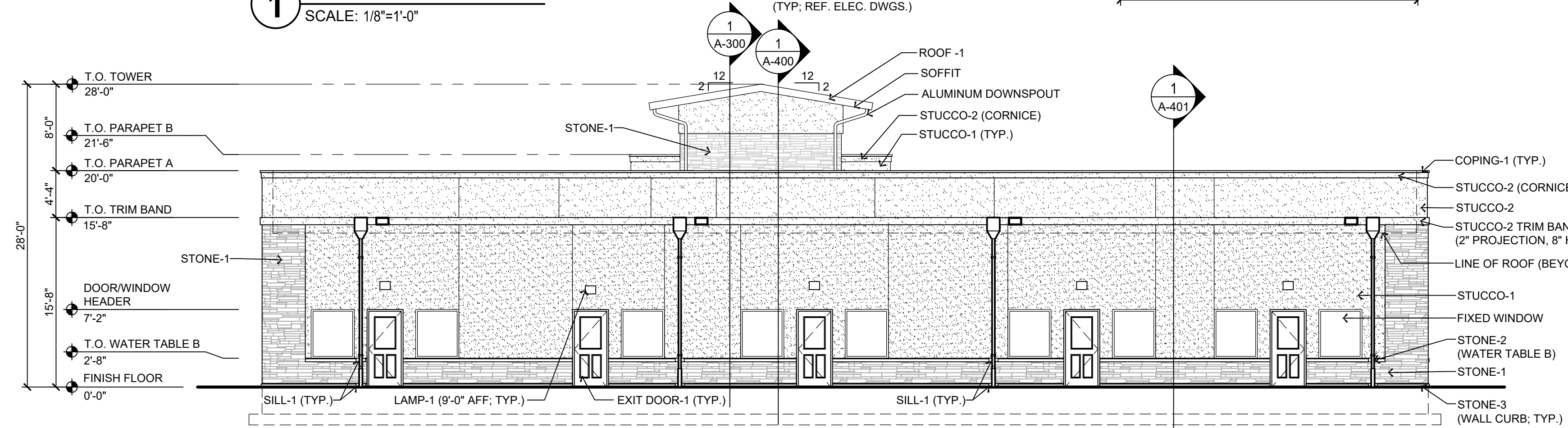
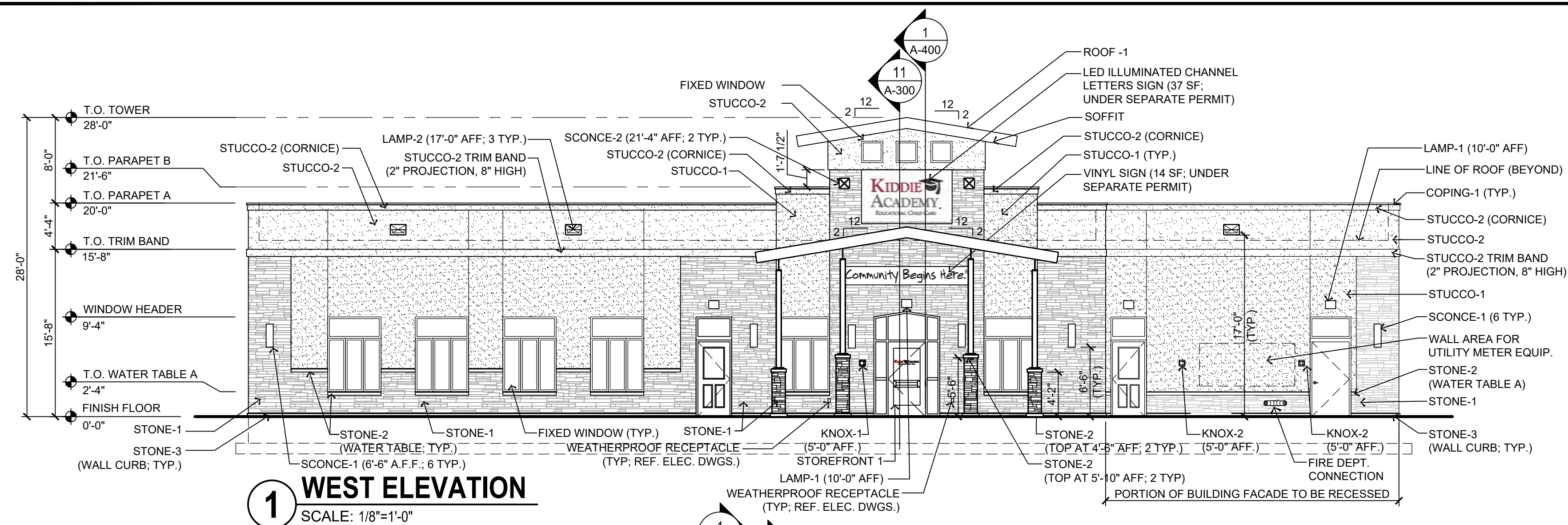
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



NAME	MANUFACTURER	TYPE / SIZE	FINISH / COLOR
SOFFIT (TYP.)	JAMES HARDIE	HARDIE SOFFIT (NON-VENTED)	FINISH: SMOOTH COLOR: WHITE
STUCCO-1	STO	LIMESTONE TEXTURE	COLOR: ITS WHITE (20001)
STUCCO-2	STO	MILANO TEXTURE	COLOR: PECOS (01001)
STONE-1	SALADO STONE	SONOMA	COLOR: SONOMA BLEND
STONE-2	MODERN PRECAST	WATER TABLE 3 1/2"H X 3 1/2"W W/ CHAMFER EDGE	COLOR: DUSTY BEIGE
STONE-3	MODERN PRECAST	WALL CURB 3 1/2"H X 2 1/2"W W/ CHAMFER EDGE	COLOR: DUSTY BEIGE
SILL-1 (AT LEADERS)	MODERN PRECAST	CUSTOM SILL 3 1/2 "H x 9 1/4 "W	COLOR: DUSTY BEIGE
STEEL-1	-	PAINTED FINISH	COLOR: DARK BRONZE
STOREFRONT-1	KAWNEER	TRIFAB 350 / 451T	COLOR: DARK BRONZE
EXIT DOOR-1	-	3'-0"x7'-0"; PER DOOR SCHEDULE	COLOR: DARK BRONZE
EXIT DOOR-2	-	3'-6"x7'-0"; PER DOOR SCHEDULE	COLOR: DARK BRONZE
WINDOW	SIMONTON	PROFINISH CONTRACTOR CLEAR, TEMPERED GLAZING	EXT. COLOR: DARK BRONZE INT. COLOR: WHITE
ROOF-1	PAC-CLAD	STANDING SEAM METAL	COLOR: DARK BRONZE 30 YEAR WARRANTY
COPING-1	-	BREAK METAL	COLOR: WHITE
SCONCE-1	-	REF. LIGHTING SCHEDULE	COLOR: DARK BRONZE
SCONCE-2	-	REF. LIGHTING SCHEDULE	COLOR: DARK BRONZE
LAMP-1	-	REF. LIGHTING SCHEDULE	COLOR: DARK BRONZE
LAMP-2	-	REF. LIGHTING SCHEDULE	COLOR: DARK BRONZE
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR. & TAMPER SWITCH	SEE NOTE 1

1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.
2. ALL GLASS SHALL BE CLEAR, TEMPERED SAFETY GLAZING UNLESS NOTED OTHERWISE. REF. DOOR AND WINDOW SCHEDULES.



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.

42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069

www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

TX State Board Of Architects Authorization No. BR3599
TX State Board Of Engineers & Land Surveyors Authorization No. F-20961

ISSUE

NO.	DATE	DESCRIPTION	IN
X	XX-XX-XX		

REVISION

NO.	DATE	DESCRIPTION	IN
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PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA

RICHARD A. JARMEL, PE

IRWIN H. KIZEL, AIA, PP

ARCHITECTS & ENGINEERS

JASMINE ALCAIDE, AIA

JEROME LESLIE EBEN, FAIA,

EMMANUEL Q. ETRATA, RA
GERARDO P. GESARIO, PE

FREDERICK KINCAID, AIA

KAROLINA PODKANOWICZ, A

CHERYL SCHWEIKER, AIA
AMEET SINGH, RA

MICHAEL J. VORLAND, AIA

KIDDIE ACADEMY

Project:

KIDDIE ACADEMY
WOODMONT PROPERTIES
CANYON FALLS DR.
NORTHLAKE, TEXAS 76226

Project Number:

KATX20-159	AS NOTED
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Drawn By:

Drawing Name:

Drawing Number:

A-200

Initial Date: 03-12-2021

ARCHITECT OF RECORD

JEROME LESLIE EBEN, FAIA
TXIC 17123 EXP 7/31/21



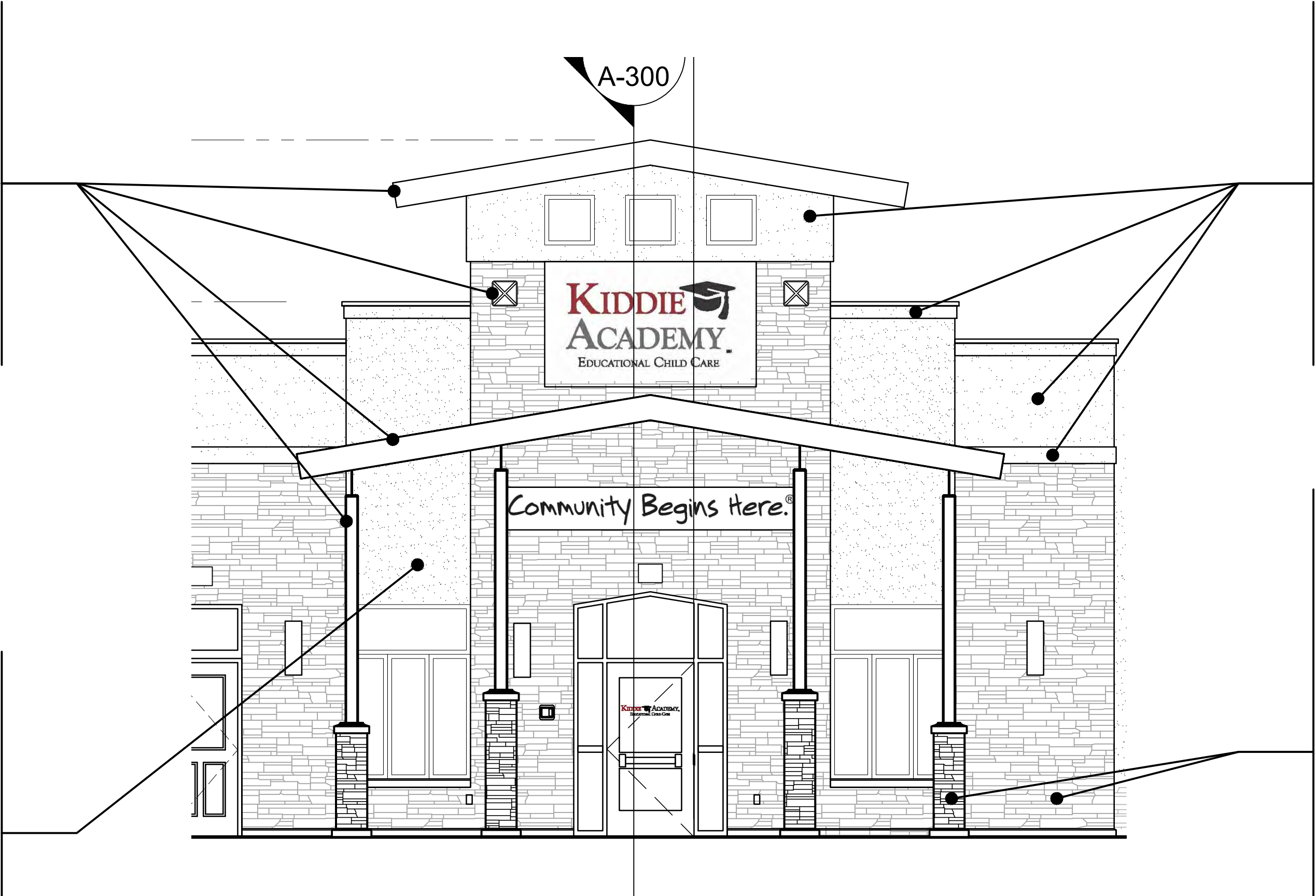
2 REFERENCE PHOTOS - ARGYLE MIDDLE SCHOOL
SCALE: N.T.S.



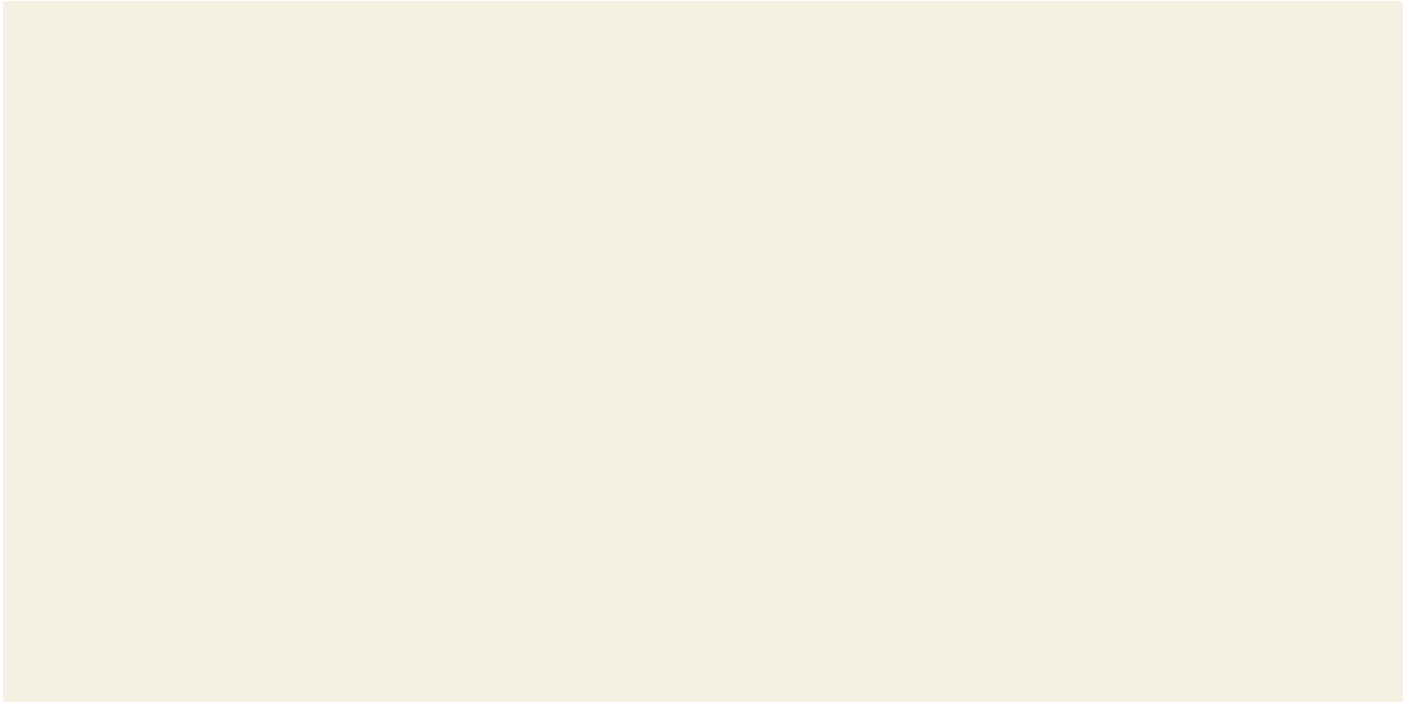
BLACK (METAL ROOFS, STOREFRONT, WINDOW FRAMES, AND LIGHT FIXTURES)



STO - PECOS (STUCCO-1)



1 PARTIAL PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"



STO - ITS WHITE (STUCCO-2)



SALADO QUARRY - SONOMA BLEND



Jarmel Kizel

ARCHITECTS AND ENGINEERS INC.
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Architecture
Engineering
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Implementation Services

TX State Board Of Architects Authorization No. B83599
TX State Board Of Engineers & Land Surveyors Authorization No. F-20967

ISSUE

NO.	DATE	DESCRIPTION	INT.
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REVISION

NO.	DATE	DESCRIPTION	INT.
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PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
RICHARD A. JARMEL, PE
IRWIN H. KIZEL, AIA, PP

ARCHITECTS & ENGINEERS

JASMINE ALCAIDE, AIA
RONALD A. BROKENSHIRE, PE
JEROME LESLIE EBEN, FAIA, PP
EMMANUEL Q. ETRATA, RA
GERARD P. GESARIO, PE
FREDERICK KINCAID, AIA
DAVID L. LESSENE, RA
KAROLINA PODKONOWICZ, AIA
CHERYL SCHWEIKER, AIA
AMEET SINGH, RA
MICHAEL J. VORLAND, AIA

Project:

KIDDIE ACADEMY
NORTH LAKE, TX

Project Number:

KATX19-102

Scale:

AS NOTED

Drawn By:

HJ / JDB

Approved By:

JLE

Drawing Name:

BUILDING SCHEMATIC
FINISH BOARD

Drawing Number:

SA-2

Initial Date: 06/03/21

ARCHITECT OF RECORD

JEROME LESLIE EBEN, FAIA
TX UC 17123 EXP. 7/31/21

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM)

SUBJECT: NORTHLAKE 35 LOGISTICS PARK, LOT 2, BLOCK 1 FINAL PLAT (FP-22-007)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

FINAL PLAT INFORMATION:

Owner/Applicant: Northlake Logistics Park, LLC

Engineer/Surveyor: Goodwin and Marshall, Inc.

Current Zoning: Industrial (I)

Site: Approximately 29.589-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, and the William Murray Survey, Abstract No. 890, generally located 1,200 feet north of Dale Earnhardt Way and 1,800 feet west of IH 35W.

Summary: This application is for a final plat of a phase of the Northlake 35 Logistics Park development. The plat consists of 1 lot being the site of the proposed Building 2, a 634,744 square-foot warehouse. The site plan for Building 2 is on this same agenda.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The application was considered filed on February 16, 2022, and it will be approved on March 18, 2022, if no action is taken.

The final plat conforms to the approved preliminary plat, and it meets all I-Industrial zoning standards. Construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and meet all engineering design requirements.

P&Z ACTIONS:

- Approve plat as submitted

OWNER'S STATEMENT

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, NORTHLAKE 35 LOGISTICS PARK, LLC, as owner of that certain lot, tract, or parcel of land, situated in a portion of the W. P. Harmonson & Ben Waters Survey, Abstract No. 642 and the William Murray Survey, Abstract No. 890, Town of Northlake, Denton County, Texas, being part of that certain called 249.299 acre tract described in a deed to Northlake 35 Logistics Park, LLC, recorded in Document No. 2021-154908 of the Deed Records of Denton County, Texas (DRDCT), and being more completely described as follows, to-wit:

COMMENCING at a 5" metal fence post for an ell corner of said 249.299 acre tract and the most southerly Southwest corner of a called 204.358 acre tract described in a deed to Fast Tract Development, LLC recorded in Document No. 2017-11634 (DRDCT), from which a 1/2" iron rod found for the most westerly Northwest corner of said 249.299 acre tract bears South 89 deg. 14 min. 03 sec. West - 1,279.57 feet;

THENCE South 61 deg. 26 min. 15 sec. East, a distance of 752.26 feet to a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL" hereinafter referred to as 1/2" capped iron rod set, said point being the **TRUE POINT OF BEGINNING**;

THENCE North 00 deg. 52 min. 10 sec. East, a distance of 1,052.56 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 1,025.00 feet, a central angle of 06 deg. 35 min. 07 sec., and being subtended by a chord which bears North 04 deg. 09 min. 44 sec. East - 117.74 feet;

THENCE in a northerly direction along said curve to the right, a distance of 117.81 feet to a 1/2" capped iron rod set for a Point of Curvature of a reverse circular curve to the left, having a radius of 1,035.00 feet, a central angle of 06 deg. 08 min. 42 sec., and being subtended by a chord which bears North 04 deg. 22 min. 56 sec. East - 110.95 feet;

THENCE in a northerly direction along said curve to the left, a distance of 111.00 feet to a 1/2" capped iron rod set;

THENCE North 42 deg. 28 min. 35 sec. East non-tangent to said curve, a distance of 56.45 feet to a 1/2" capped iron rod set;

THENCE South 89 deg. 07 min. 50 sec. East, a distance of 664.63 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 32.00 feet, a central angle of 76 deg. 28 min. 38 sec., and being subtended by a chord which bears South 50 deg. 53 min. 31 sec. East - 39.61 feet, from which a 5" metal fence post found for a Pin in the North line of said 249.299 acre tract bears North 37 deg. 42 min. 44 sec. West - 112.14 feet;

THENCE in a southeasterly direction along said curve to the right, a distance of 42.71 feet to a 1/2" capped iron rod set for a Point of Curvature of a reverse circular curve to the left, having a radius of 68.50 feet, a central angle of 148 deg. 59 min. 01 sec., and being subtended by a chord which bears South 87 deg. 08 min. 42 sec. East - 132.01 feet;

THENCE in an easterly direction along said curve to the left, a distance of 178.12 feet to a 1/2" capped iron rod set;

THENCE South 20 deg. 05 min. 20 sec. East non-tangent to said curve, a distance of 132.15 feet to a 1/2" capped iron rod set;

THENCE South 00 deg. 52 min. 10 sec. West, a distance of 1,259.50 feet to a 1/2" capped iron rod set;

THENCE North 89 deg. 07 min. 50 sec. West, a distance of 672.90 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 970.00 feet, a central angle of 06 deg. 10 min. 06 sec., and being subtended by a chord which bears North 86 deg. 02 min. 47 sec. West - 104.38 feet;

THENCE in a westerly direction along said curve to the right, a distance of 104.43 feet to a 1/2" capped iron rod set;

THENCE North 82 deg. 57 min. 44 sec. West tangent to said curve, a distance of 117.60 feet to a 1/2" capped iron rod set;

THENCE North 36 deg. 05 min. 17 sec. West, a distance of 53.99 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 735.00 feet, a central angle of 02 deg. 08 min. 53 sec., and being subtended by a chord which bears North 01 deg. 56 min. 37 sec. East - 27.55 feet;

THENCE in a northerly direction along said curve to the left, a distance of 27.55 feet to the **POINT OF BEGINNING**, containing 1,288,881 square feet or 29.589 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT NORTHLAKE 35 LOGISTICS PARK, LLC, a Delaware limited liability company, acting by and through the undersigned, their duly authorized agent, does hereby adopt this final plat of NORTHLAKE 35 LOGISTICS PARK, and does hereby dedicate to the public use forever the streets and easements shown hereon.

Witness our hand, this the _____ day of _____, 20____.

NORTHLAKE 35 LOGISTICS PARK, LLC, a Delaware limited liability company

BY: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

This instrument was acknowledged before me on _____, 20____ by _____ the _____ of Northlake 35 Logistics Park, LLC, a Delaware limited liability company on behalf of said entity.

Notary Public, State of Texas

My Commission Expires : _____

NOTES

- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this is 0.99984762. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid. Elevations shown hereon were derived from GPS observation and calibrated to NG5 monument P 941 having a published elevation of 642.27 feet (NAVD88).
- According to the Flood Insurance Rate Map (FIRM) panel 48121C0495G, revised April 18, 2011, this survey is located in Flood Insurance Zone "X" (non-shaded), being defined as areas outside the 0.2% annual chance floodplain; and Zone "A", being defined as areas with no Base Flood Elevations determined; Approximate location of floodplain and/or floodway lines are shown on the survey.
- All property corners are set with 1/2" iron rods with yellow plastic caps stamped "GOODWIN & MARSHALL", unless otherwise noted.
- The Owner shall indemnify, defend, and hold harmless the Town of Northlake, its officers, employees, and agents from any direct or indirect loss, damage, liability, or expense and attorney's fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition, or use of the "Detention Facility", including any non-performance of the foregoing, in form and substance as required by the "Uniform Development Code"

SURVEYOR'S CERTIFICATE

This is to certify that I, John N. Rogers, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual on the ground survey, and that all lot corners, angle points and points of the curve shall be properly marked on the ground and that this plat correctly represents that survey made by me or under my direction and supervision.

John N. Rogers
Registered Professional Land Surveyor No. 6372
Surveyed on the ground September 2018
Goodwin & Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
(817) 329-4373

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Issued for review 1/28/2022 3:47 PM

APPROVED BY THE TOWN OF NORTHLAKE

Date

Chair, Planning and Zoning Commission.

Town Secretary, Town of Northlake

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N42°28'35"E	56.45'
L2	N37°42'44"W	112.14'
L3	S20°05'20"E	132.15'
L4	N82°57'44"W	117.60'
L5	N36°05'17"W	53.99'

CURVE TABLE					
CURVE #	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1025.00'	117.81'	6°35'07"	N04°09'44"E	117.74'
C2	1035.00'	111.00'	6°08'42"	N04°22'56"E	110.95'
C3	32.00'	42.71'	76°28'38"	S50°53'31"E	39.61'
C4	68.50'	178.12'	148°59'01"	S87°08'42"E	132.01'
C5	970.00'	104.43'	6°10'06"	N86°02'47"W	104.38'
C6	735.00'	27.55'	2°08'53"	N01°56'37"E	27.55'

OWNER/DEVELOPER:

NORTHLAKE 35 LOGISTICS PARK, LLC

a Delaware limited liability company
5440 Harvest Hill, Suite 250
Dallas, Tx 75230

PREPARED BY:

GOODWIN AND MARSHALL INC.

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373

TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

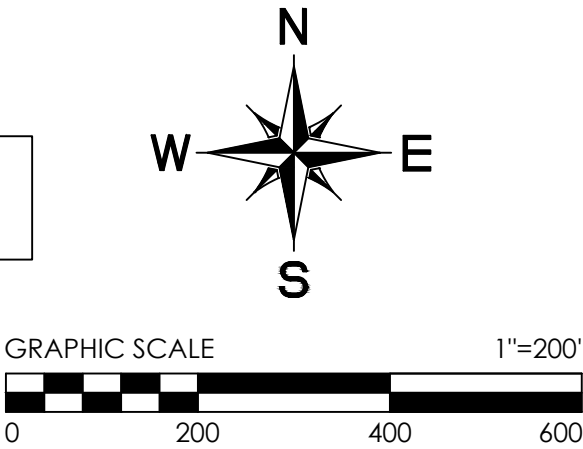
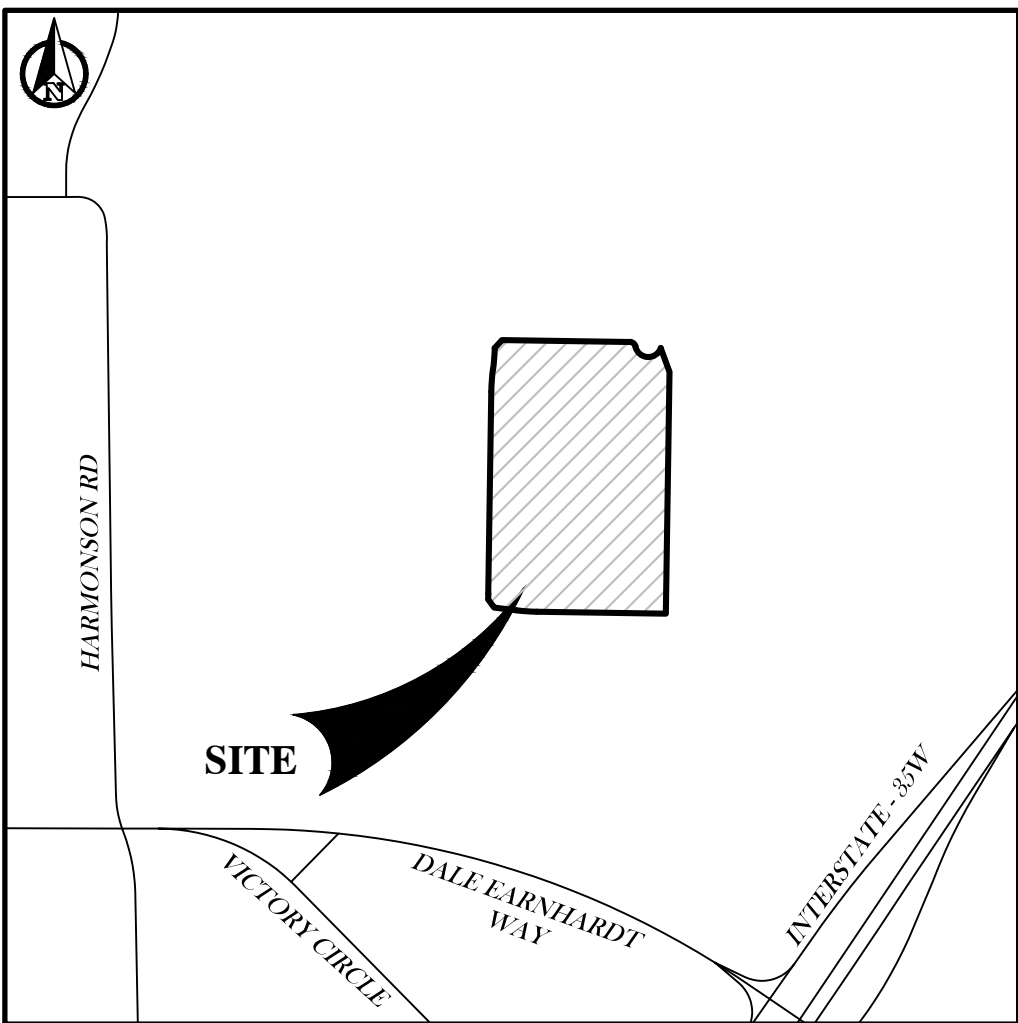
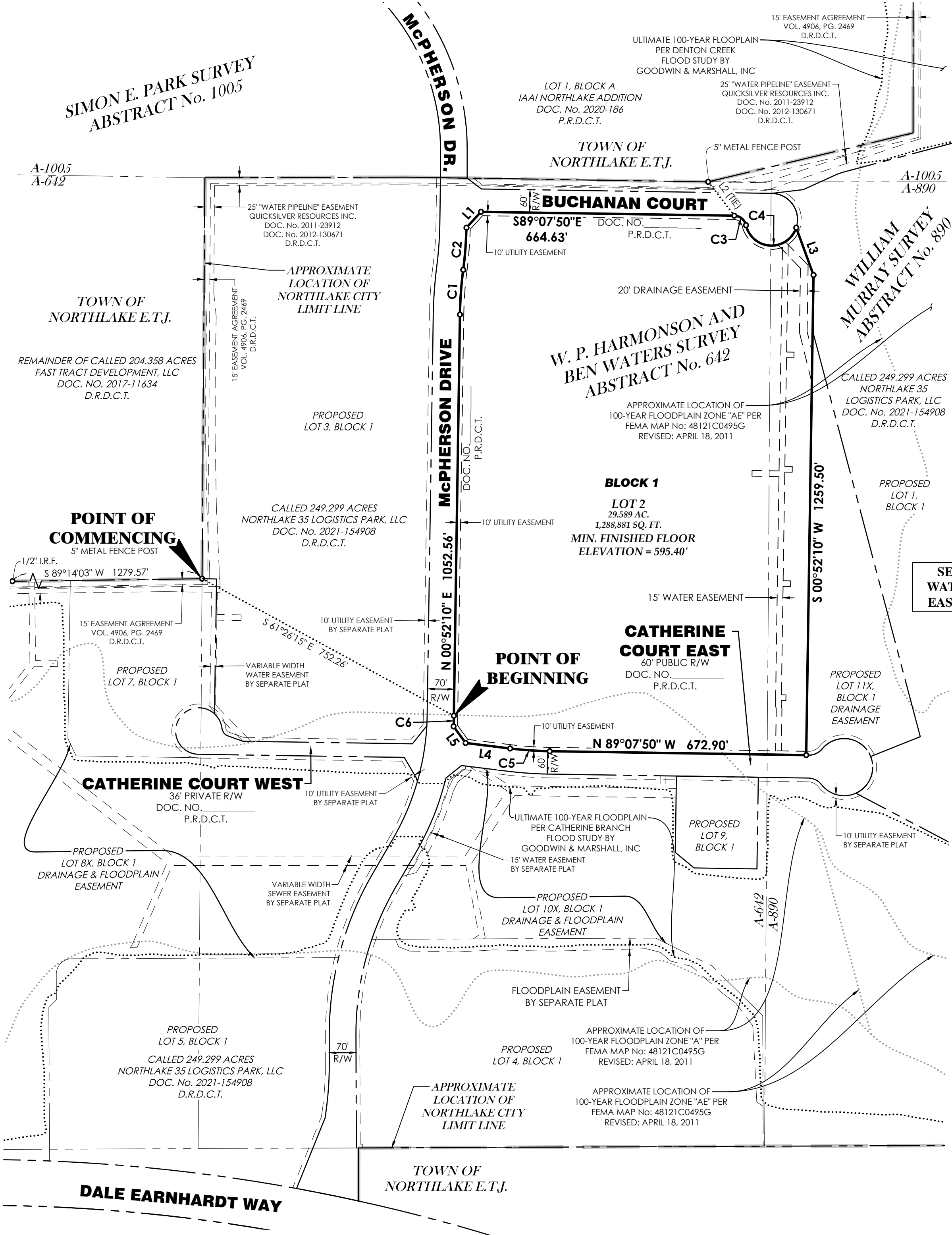
FINAL PLAT OF NORTHLAKE 35 LOGISTICS PARK LOT 2, BLOCK 1

BEING 29.589 ACRES SITUATED IN THE W. P. HARMONSON & BEN WATERS SURVEY, ABSTRACT NO. 642 & THE WILLIAM MURRAY SURVEY ABSTRACT No. 890, TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS

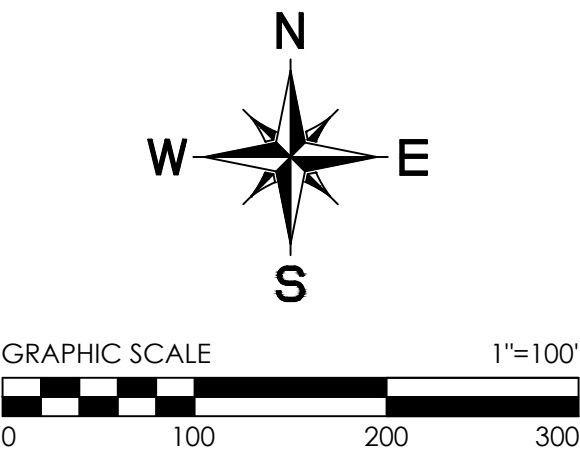
1 INDUSTRIAL LOT
CURRENT ZONING: INDUSTRIAL

Date: January 2022

SHEET 1 of 2

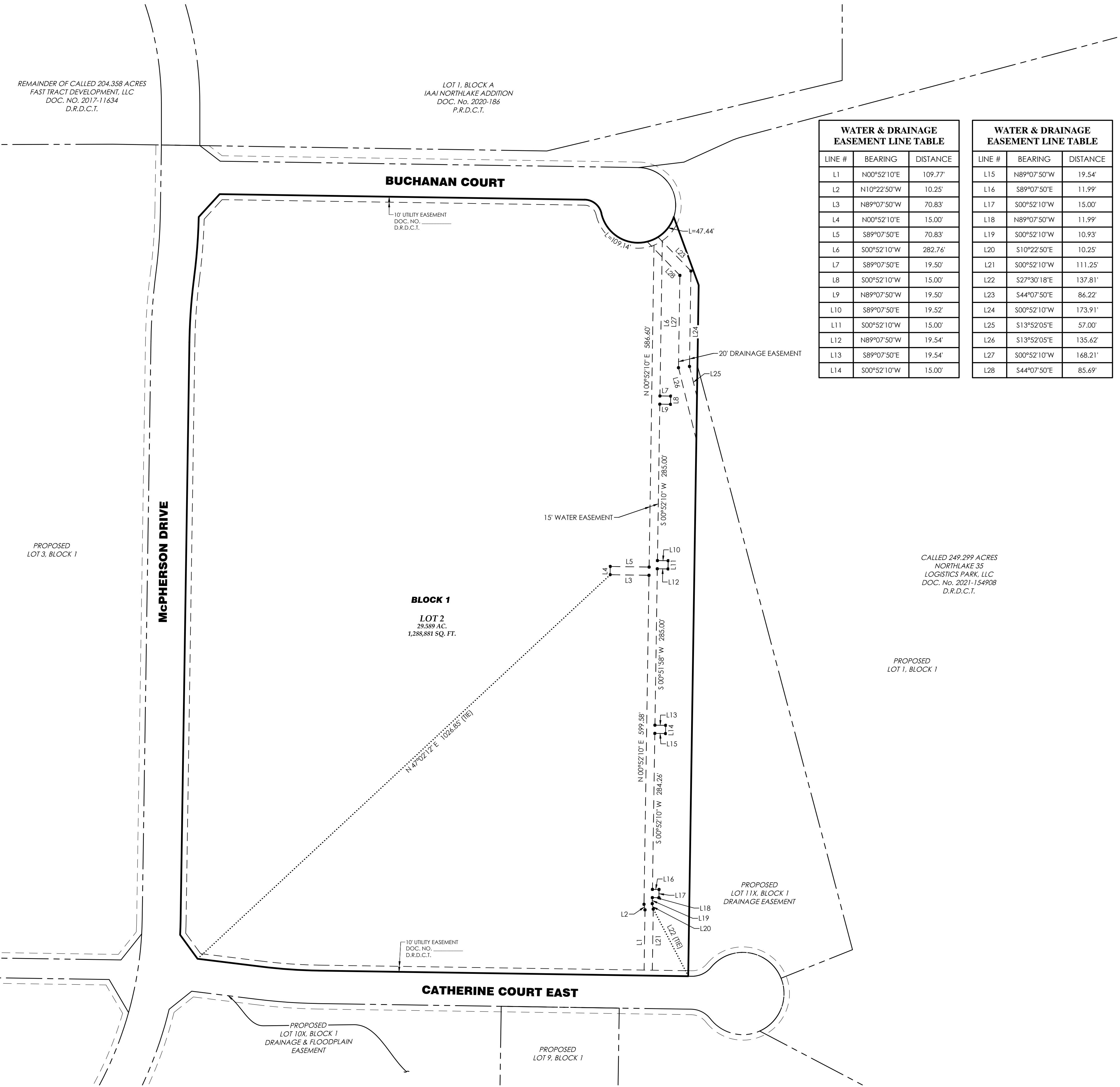


LEGEND	
○	1/2" C.I.R.S. STAMPED "GOODWIN & MARSHALL" UNLESS OTHERWISE NOTED
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
I.R.F.	IRON ROD FOUND
C.I.R.F.	CAPPED IRON ROD FOUND
C.I.R.S.	CAPPED IRON ROD SET
R/W	RIGHT-OF-WAY
---	BOUNDARY LINE
- - - -	ADJOINER LINE
- . - . -	EASEMENT LINE
.....	ULTIMATE FLOODPLAIN
-----	100-YEAR FLOODPLAIN
■ ■ ■ ■ ■	CITY LIMIT LINE



WATER & DRAINAGE EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N00°52'10"E	109.77'
L2	N10°22'50"W	10.25'
L3	N89°07'50"W	70.83'
L4	N00°52'10"E	15.00'
L5	S89°07'50"E	70.83'
L6	S00°52'10"W	282.76'
L7	S89°07'50"E	19.50'
L8	S00°52'10"W	15.00'
L9	N89°07'50"W	19.50'
L10	S89°07'50"E	19.52'
L11	S00°52'10"W	15.00'
L12	N89°07'50"W	19.54'
L13	S89°07'50"E	19.54'
L14	S00°52'10"W	15.00'

WATER & DRAINAGE EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L15	N89°07'50"W	19.54'
L16	S89°07'50"E	11.99'
L17	S00°52'10"W	15.00'
L18	N89°07'50"W	11.99'
L19	S00°52'10"W	10.93'
L20	S10°22'50"E	10.25'
L21	S00°52'10"W	111.25'
L22	S27°30'18"E	137.81'
L23	S44°07'50"E	86.22'
L24	S00°52'10"W	173.91'
L25	S13°52'05"E	57.00'
L26	S13°52'05"E	135.62'
L27	S00°52'10"W	168.21'
L28	S44°07'50"E	85.69'



OWNER/DEVELOPER:
**NORTHLAKE 35
LOGISTICS PARK, LLC**
a Delaware limited liability company
5440 Harvest Hill, Suite 250
Dallas, Tx 75230

PREPARED BY:
**GOODWIN AND
MARSHALL INC.**
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

**FINAL PLAT
OF
NORTHLAKE 35 LOGISTICS PARK
LOT 2, BLOCK 1**
BEING
29.589 ACRES
SITUATED IN THE
W. P. HARMONSON & BEN WATERS SURVEY, ABSTRACT NO.
642 & THE WILLIAM MURRAY SURVEY ABSTRACT No. 890,
TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
1 INDUSTRIAL LOT
CURRENT ZONING: INDUSTRIAL
Date: January 2022

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM)

SUBJECT: NORTHLAKE 35 LOGISTICS PARK, LOT 3, BLOCK 1 FINAL PLAT (FP-22-008)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

FINAL PLAT INFORMATION:

Owner/Applicant: Northlake Logistics Park, LLC

Engineer/Surveyor: Goodwin and Marshall, Inc.

Current Zoning: Industrial (I)

Site: Approximately 20.026-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, generally located 1,200 feet north of Dale Earnhardt Way and 2,500 feet west of IH 35W.

Summary: This application is for a final plat of a phase of the Northlake 35 Logistics Park development. The plat consists of 1 lot being the site of the proposed Building 3, a 346,322 square-foot warehouse. The site plan for Building 3 is on this same agenda.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The application was considered filed on February 16, 2022, and it will be approved on March 18, 2022, if no action is taken.

The final plat conforms to the approved preliminary plat, and it meets all I-Industrial zoning standards. Construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and meet all engineering design requirements.

P&Z ACTIONS:

- Approve plat as submitted

OWNER'S STATEMENT

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, NORTHLAKE 35 LOGISTICS PARK, LLC, as owner of that certain lot, tract, or parcel of land, situated in a portion of the W. P. Harmonson and Ben Waters Survey, Abstract No. 642, Town of Northlake, Denton County, Texas, being part of that certain called 249.299 acre tract described in a deed to Northlake 35 Logistics Park, LLC recorded in Document No. 2021-154908 of the Deed Records of Denton County, Texas [DRDCT], and being more completely described as follows, to-wit:

BEGINNING at a 5" metal fence post for an ell corner of said 249.299 acre tract and the most southerly Southwest corner of a called 204.358 acre tract described in a deed to Fast Tract Development, LLC recorded in Document No. 2017-11634 [DRDCT], from which a 1/2" iron rod found for the most westerly Northwest corner of said 249.299 acre tract bears South 89 deg. 14 min. 03 sec. West - 1,279.57 feet;

THENCE North 00 deg. 23 min. 49 sec. East along the West line of said 249.299 acre tract and the East line of said 204.358 acre tract, a distance of 1,051.95 feet to a 6" metal fence corner for an ell corner of said 249.299 acre tract and an ell corner of said 204.358 acre tract;

THENCE North 89 deg. 50 min. 21 sec. East along the North line of said 249.299 acre tract and the South line of said 204.358 acre tract, a distance of 530.05 feet to a 5" metal fence post at H brace;

THENCE South 89 deg. 06 min. 24 sec. East along said North and South lines, a distance of 88.39 feet to a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL" hereinafter referred to as 1/2" capped iron rod set;

THENCE South 00 deg. 52 min. 10 sec. West, a distance of 122.21 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 965.00 feet, a central angle of 06 deg. 35 min. 07 sec., and being subtended by a chord which bears South 04 deg. 09 min. 44 sec. West - 110.85 feet;

THENCE in a southerly direction along said curve to the right, a distance of 110.91 feet to a 1/2" capped iron rod set for a Point of Curvature of a reverse circular curve to the left, having a radius of 1,095.00 feet, a central angle of 06 deg. 35 min. 07 sec., and being subtended by a chord which bears South 04 deg. 09 min. 44 sec. West - 125.78 feet;

THENCE in a southerly direction along said curve to the left, a distance of 125.85 feet to a 1/2" capped iron rod set;

THENCE South 00 deg. 52 min. 10 sec. West tangent to said curve, a distance of 1,052.56 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 665.00 feet, a central angle of 02 deg. 19 min. 25 sec., and being subtended by a chord which bears South 02 deg. 01 min. 53 sec. West - 26.97 feet;

THENCE in a southerly direction along said curve to the right, a distance of 26.97 feet to a 1/2" capped iron rod set;

THENCE South 38 deg. 28 min. 23 sec. West non-tangent to said curve, a distance of 60.59 feet to a 1/2" capped iron rod set;

THENCE North 89 deg. 07 min. 50 sec. West, a distance of 444.78 feet to a 1/2" capped iron rod set;

THENCE North 70 deg. 28 min. 37 sec. West, a distance of 41.39 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 24.50 feet, a central angle of 63 deg. 38 min. 56 sec., and being subtended by a chord which bears North 38 deg. 39 min. 09 sec. West - 25.84 feet;

THENCE in a northwesterly direction along said curve to the right, a distance of 27.22 feet to a 1/2" capped iron rod set for a Point of Curvature of a reverse circular curve to the left, having a radius of 61.00 feet, a central angle of 40 deg. 59 min. 38 sec., and being subtended by a chord which bears North 27 deg. 19 min. 30 sec. West - 42.72 feet;

THENCE in a northwesterly direction along said curve to the left, a distance of 43.64 feet to a 1/2" capped iron rod set;

THENCE North 00 deg. 53 min. 39 sec. East non-tangent to said curve, a distance of 353.72 feet to a 1/2" capped iron rod set;

THENCE North 89 deg. 06 min. 21 sec. West, a distance of 38.10 feet to the POINT OF BEGINNING, containing 872.350 square feet or 20.026 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT NORTHLAKE 35 LOGISTICS PARK, LLC, a Delaware limited liability company, acting by and through the undersigned, their duly authorized agent, does hereby adopt this final plat of NORTHLAKE 35 LOGISTICS PARK, and does hereby dedicate to the public use forever the streets and easements shown hereon.

Witness our hand, this the ____ day of _____, 20__.

NORTHLAKE 35 LOGISTICS PARK, LLC, a Delaware limited liability company

BY: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

This instrument was acknowledged before me on _____, 20__ by _____ the _____ of Northlake 35 Logistics Park, LLC, a Delaware limited liability company on behalf of said entity.

Notary Public, State of Texas

My Commission Expires : _____

CURVE TABLE					
CURVE #	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	965.00'	110.91'	6°35'07"	S04°09'44"W	110.85'
C2	1095.00'	125.85'	6°35'07"	S04°09'44"W	125.78'
C3	665.00'	26.97'	2°19'25"	S02°01'53"W	26.97'
C4	24.50'	27.22'	63°38'56"	N38°39'09"W	25.84'
C5	61.00'	43.64'	40°59'38"	N27°19'30"W	42.72'

NOTES

- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this is 0.99984762. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid. Elevations shown hereon were derived from GPS observation and calibrated to NG5 monument P 941 having a published elevation of 642.27 feet [NAVD88].
- According to the Flood Insurance Rate Map (FIRM) panel 48121C0495G, revised April 18, 2011, this survey is located in Flood Insurance Zone "X" (non-shaded), being defined as areas outside the 0.2% annual chance floodplain; and Zone "A", being defined as areas with no Base Flood Elevations determined; Approximate location of floodplain and/or floodway lines are shown on the survey.
- All property corners are set with 1/2" iron rods with yellow plastic caps stamped "GOODWIN & MARSHALL", unless otherwise noted.
- The Owner shall indemnify, defend, and hold harmless the Town of Northlake, its officers, employees, and agents from any direct or indirect loss, damage, liability, or expense and attorney's fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition, or use of the "Detention Facility", including any non-performance of the foregoing, in form and substance as required by the "Uniform Development Code"

SURVEYOR'S CERTIFICATE

This is to certify that I, John N. Rogers, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual on the ground survey, and that all lot corners, angle points and points of the curve shall be properly marked on the ground and that this plat correctly represents that survey made by me or under my direction and supervision.

John N. Rogers
Registered Professional Land Surveyor No. 6372
Surveyed on the ground September 2018
Goodwin & Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
(817) 329-4373

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Issued for review 1/28/2022 3:48 PM

APPROVED BY THE TOWN OF NORTHLAKE

Date _____

Chair, Planning and Zoning Commission.

Town Secretary, Town of Northlake

LEGEND	
○	1/2" C.I.R.S. STAMPED "GOODWIN & MARSHALL" UNLESS OTHERWISE NOTED
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
I.R.F.	IRON ROD FOUND
C.I.R.F.	CAPPED IRON ROD FOUND
C.I.R.S.	CAPPED IRON ROD SET
R/W	RIGHT-OF-WAY
—	BOUNDARY LINE
- - - -	ADJOINER LINE
- . - . - .	EASEMENT LINE
.....	ULTIMATE FLOODPLAIN
-----	100-YEAR FLOODPLAIN
■ ■ ■ ■ ■	CITY LIMIT LINE

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S89°06'24"E	88.39'
L2	S00°52'10"W	122.21'
L3	S38°28'23"W	60.59'
L4	N70°28'37"W	41.39'
L5	N00°53'39"E	353.72'
L6	N89°06'21"W	38.10'

LINE TABLE		
LINE #	BEARING	DISTANCE
L7	N88°51'00"W	21.32'
L8	N44°07'50"W	106.82'
L9	S89°07'50"E	9.82'
L10	S00°52'10"W	15.00'
L11	N89°07'50"W	7.32'
L12	S00°53'39"W	15.00'

OWNER/DEVELOPER:

NORTHLAKE 35 LOGISTICS PARK, LLC

a Delaware limited liability company
5440 Harvest Hill, Suite 250
Dallas, TX 75230

PREPARED BY:

GOODWIN AND MARSHALL INC.

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373

TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

FINAL PLAT OF NORTHLAKE 35 LOGISTICS PARK LOT 3, BLOCK 1

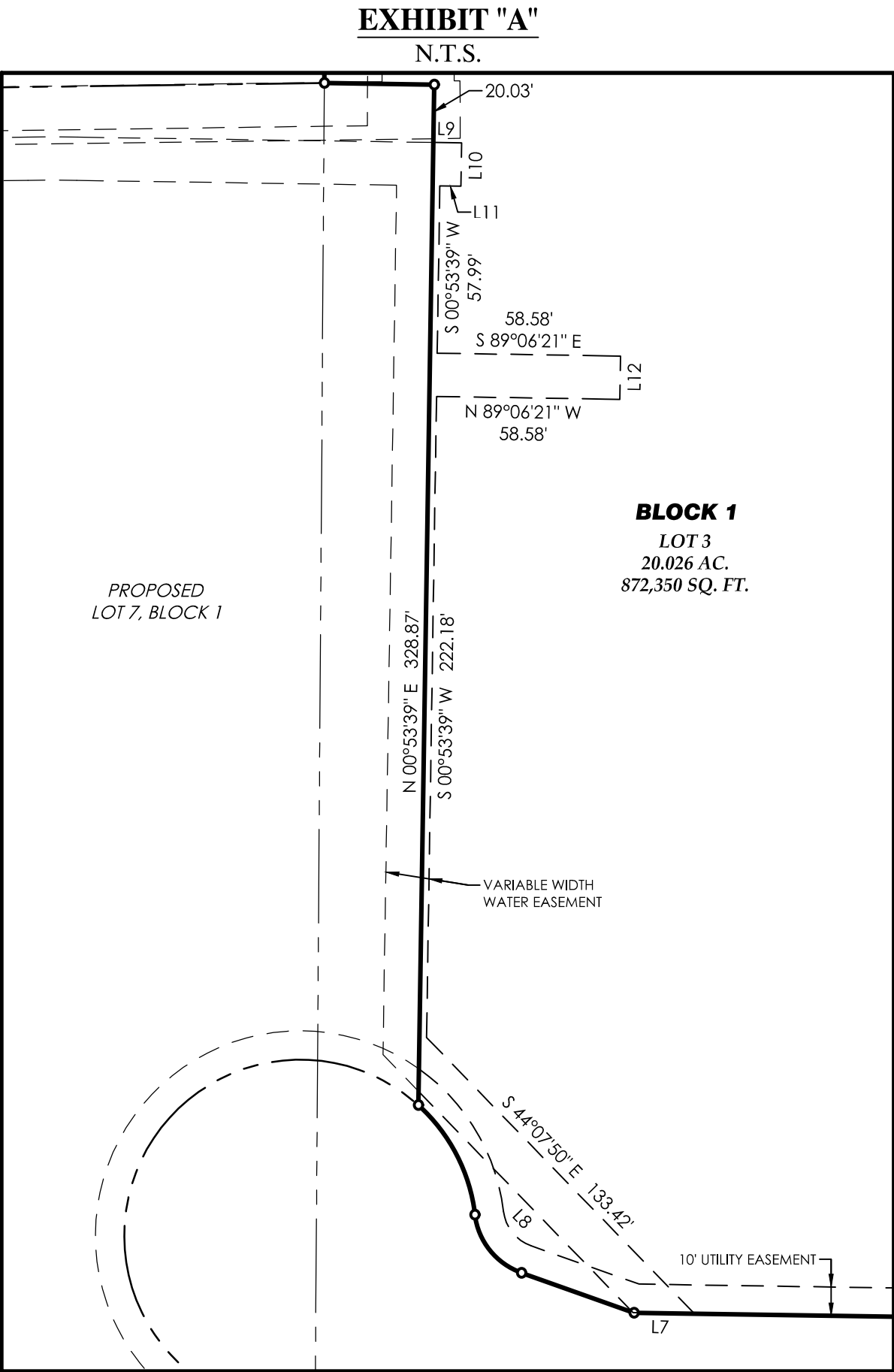
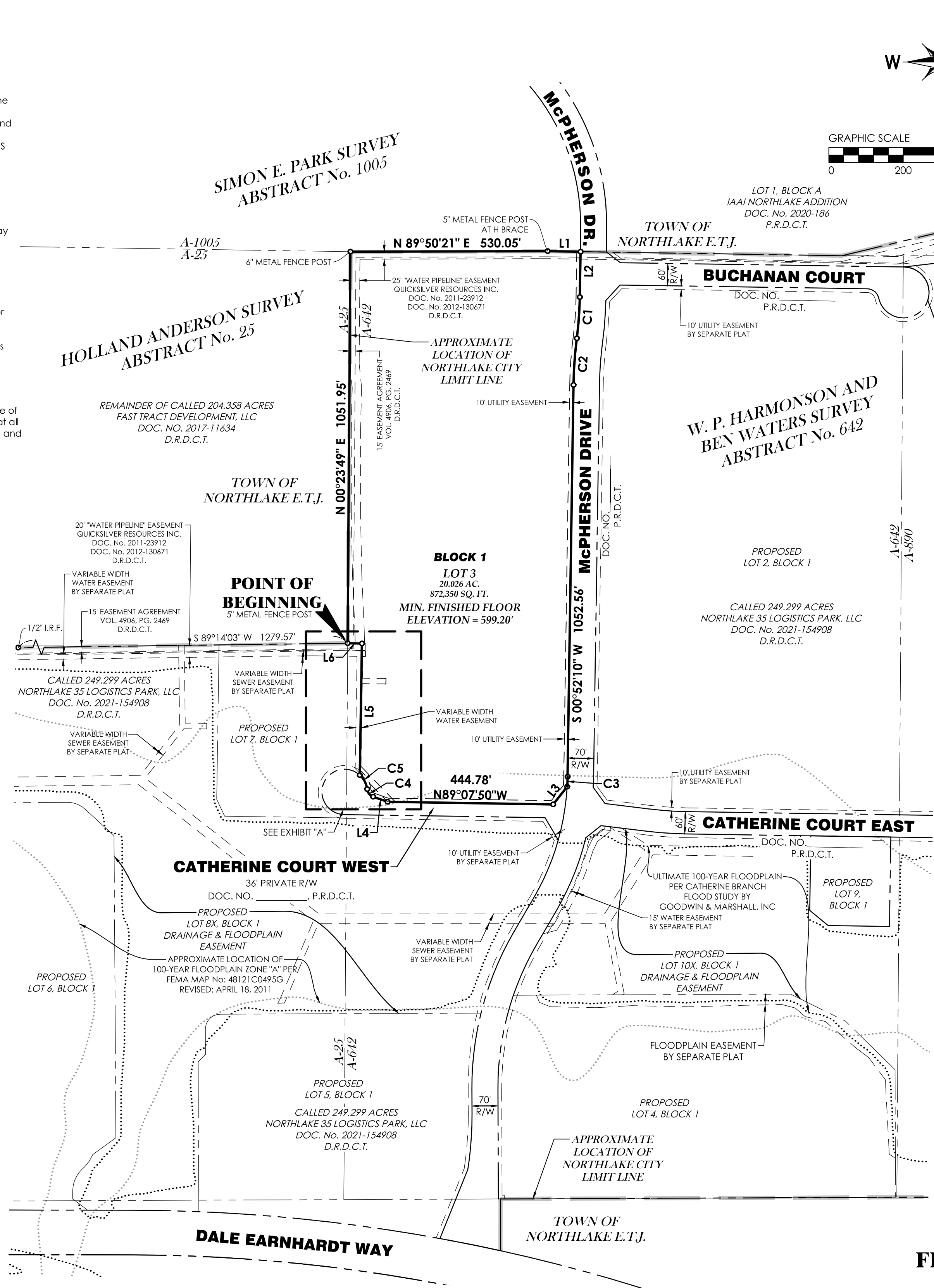
BEING 20.026 ACRES SITUATED IN THE W. P. HARMONSON & BEN WATERS SURVEY, ABSTRACT No. 642, TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS

1 INDUSTRIAL LOT

CURRENT ZONING: INDUSTRIAL

Date: January 2022

SHEET 1 of 1



Ex:10880 - Buchanan, COGO, PLAT LOT 3, 10880-PLAT LOT 3, SHEETS.dwg

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM);

SUBJECT: SITE PLAN OF NORTHLAKE 35 LOGISTICS PARK BUILDING 2 (SP-22-003)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

SITE PLAN INFORMATION:

Owner/Applicant:	Northlake Logistics Park, LLC
Engineer:	Goodwin and Marshall, Inc.
Zoning:	Industrial (I) which includes office and warehousing/distribution center as a permitted use.
Site:	Approximately 29.589-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, and the William Murray Survey, Abstract No. 890, to be platted as Lot 2, Block 1, Northlake 35 Logistics Park, generally located 1,200 feet north of Dale Earnhardt Way and 1,800 feet west of IH 35W.
Summary:	This application is for a site plan of Northlake 35 Logistics Park Building 2, a proposed industrial development to include a 634,744 square-foot warehouse building to go on Lot 2 to be created by the final plat item on this same agenda.
Staff Analysis:	The applicant has provided a site plan package in accordance with requirements of the Unified Development Code (UDC). The application was considered filed on February 16, 2022, and it will be approved on March 18, 2022, if no action is taken. The site plan package includes a site plan and landscape plan for the site as well as a color rendering and building elevations showing all sides of the planned building. All elements of the site plan package meet or exceed the development standards and all applicable requirements of the UDC.

P&Z ACTIONS:

- Approve site plan package as submitted



Texas Commercial Development



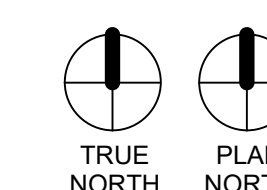
**Northlake
35
Logistics
Park**

Building 2

OVERALL SITE PLAN

[illegible]

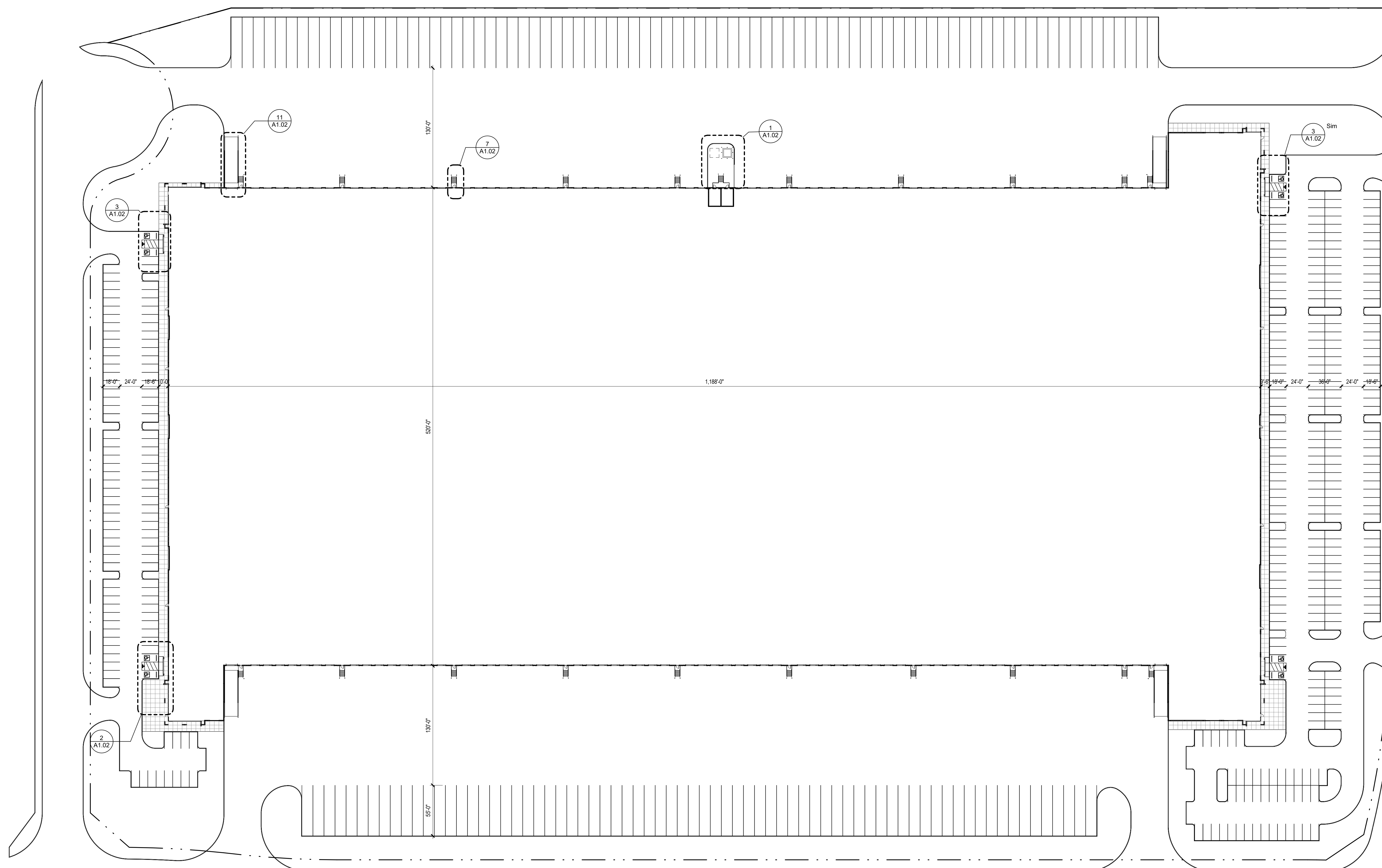
A1.00
PROJECT NO.: 2021178



1 OVERALL SITE PLAN

[illegible]

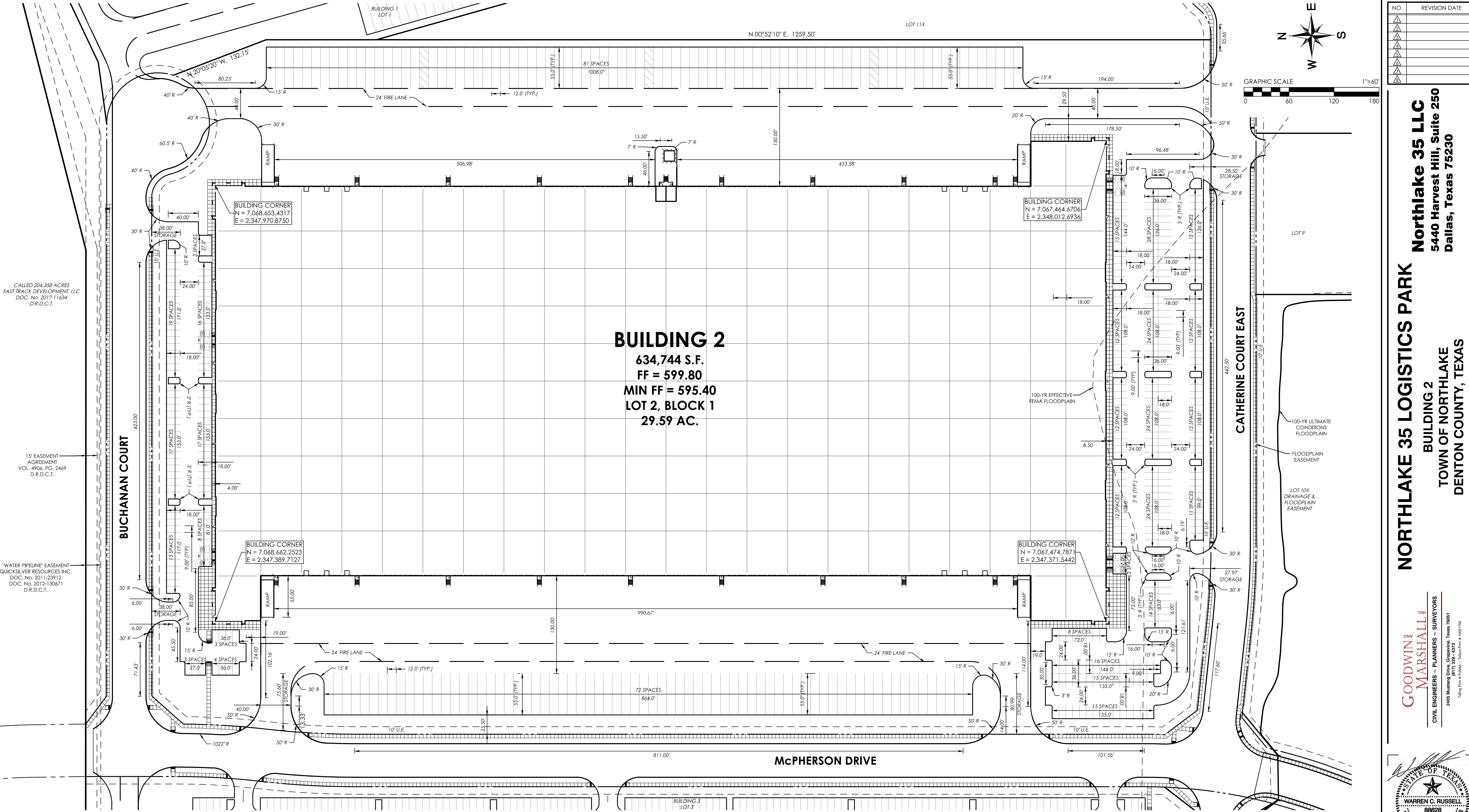
PROJECT NO.: 2021178



TOTAL:	520
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PLAN NORTH

1 SITE PLAN
Scale: 1" = 50'-0"

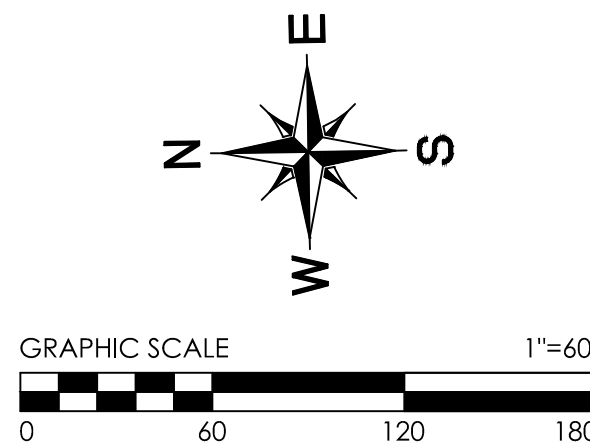


CALLED 204.358 ACRES
FAST TRACK DEVELOPMENT, LLC
DOC. No. 2017-11634
D.R.D.C.T.

15' EASEMENT
AGREEMENT
VOL. 4906, PG. 2469
D.R.D.C.T.

"WATER PIPELINE" EASEMENT
QUICKSILVER RESOURCES INC.
DOC. No. 2011-23912
DOC. No. 2012-130671
D.R.D.C.T.

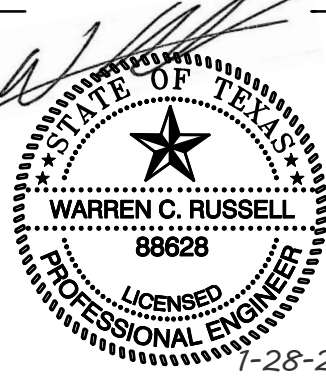
NO.	REVISION DATE



Northlake 35 LLC
5440 Harvest Hill, Suite 250
Dallas, Texas 75230

NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

GOODWIN & MARSHALL, INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 291-4273
Toll-free 1-800-451-1000 ext. 1000/1001



JOB NO.: 10880
DATE: 1/27/22
DSGN/DRFT: ANB
REVIEW: WJR

C3.00
DIMENSION
CONTROL PLAN

BENCHMARK ELEVATION : 625.74
BENCHMARK #1 IS A BOX "X" CUT ON A CONCRETE FOOTER FOR A LOW PIPE RAIL FENCE AROUND THE TEXAS MOTOR SPEEDWAY PROPERTY. IT IS LOCATED APPROXIMATELY 88 FEET SOUTH OF THE CENTERLINE OF VICTORY CIRCLE AND IS 1611 FEET WEST OF THE CENTERLINE INTERSECTION OF HARMONSON ROAD AND VICTORY CIRCLE. ELEVATION = 625.74 FEET

BENCHMARK ELEVATION : 613.00
BENCHMARK #5 IS A BOX "X" CUT ON A HEADWALL FOR THE ENTRANCE OF A WELL PAD. IT IS LOCATED APPROXIMATELY 25 FEET WEST OF THE CENTERLINE BOB PHINNEY DRIVE AND 168 FEET NORTH OF THE CENTERLINE INTERSECTION OF HARMONSON ROAD AND PHINNEY DRIVE. ELEVATION = 613.00 FEET

SITE DATA TABLE	
EXISTING ZONING:	I (INDUSTRIAL DISTRICT)
PROPOSED USE:	OFFICE/WAREHOUSE/ DISTRIBUTION
BUILDING AREA:	634,744 S.F.
BUILDING HEIGHT:	50'-0" MAX
IMPERVIOUS AREA:	1,156,224 S.F. (26.54 Ac.)
TOTAL CAR PARKING: (1 SPACE FOR EACH 5,000 SQUARE FEET OF TOTAL FLOOR AREA)	REQUIRED: 127 SPACES PROVIDED: 369 SPACES ADA SPACES: 6 SPACES
PROVIDED TRAILER PARKING:	153 SPACES
FLOOR AREA RATIO:	0.492

CONTRACTOR NOTE
THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OR SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

NOTE: SEE NORTHLAKE 35 LOGISTICS PARK MAJOR INFRASTRUCTURE PLANS FOR MCPHERSON ROAD, CATHERINE COURT EAST, BUCHANAN COURT, AND ASSOCIATED PUBLIC UTILITIES.



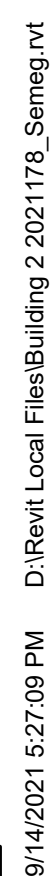
PLUMBING	ELECTRICAL	MECHANICAL	STRUCTURAL	ARCHITECTURAL	LANDSCAPE	CIVIL	CONTRACTOR	OWNER	ALLIANCE ARCHITECTS 08/30/21 NORTHLAKE 35 BUILDING 2 NORTHLAKE, TX PERMIT SET PROJECT NO.: 2021178 DATE: 08/30/21	
Howard Kane Plumbing Company, Inc. 5928 Posey Lane Haltom City, Texas 76117 817.222.9177 Frank Westhoff, P.E.	Hurst Electric 229 West Hurst Blvd. Hurst, TX 76053 817.268.3000 Kevin McDonald, EIT	Venture Mechanical, INC. 1644 W. Crosby Rd. Carrollton, TX 75006 972.871.1300 Jason Stewart, P.E.	McHale Engineering 2000 Ave. G Suite 800 Plano, TX 75075 972.423.5908 Gary McHale, P.E.	Alliance Architects, Inc. 1600 N. Collins Blvd. Suite 1000 Richardson, TX 75080 972.233.0400 Chad Michel, AIA	Cody Johnson Studio, LLC. 9720 Coit Road Suite 220-333 Plano, TX 75025 903.570.0162 Cody L. Johnson, RLA, ASLA, LI	Goodwin and Marshall, Inc. 2405 Mustanf Dr. Grapevine, TX 76051 817.329.4373 Warren C. Russel, P.E.	Raymond Construction Co., Inc. 3100 Research Drive Suite 100 Richardson, TX 75082 214.206.4867 Rick Pfeil	Northlake 35 Logistics Park, LLC 15440 Harvest Hill Road Dallas, TX 75244 Doug Johnson Clarion Partners 1717 McKinney Ave. Suite 1900 Dallas, TX 75202 Casey Dillon		

Building 2

Building 2

A5.01

PROJECT NO.: 202117





GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
3. TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
4. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
6. CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: TOWN OF NORTHLAKE ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
7. ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
10. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
11. THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
14. CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
15. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHTS-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
16. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
17. UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
18. CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
19. EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
20. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS
FOR
LANDSCAPE PLAN

~NORTHLAKE 35 LOGISTICS PARK,
BUILDING 2~
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS
SUBMITTAL DATE: February 22, 2022



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L12	LANDSCAPE PLANS
L13	LANDSCAPE DETAILS
IR1-IR11	IRRIGATION PLANS
IR12-IR15	IRRIGATION DETAILS

CIVIL ENGINEER:

GOODWIN AND MARSHALL, INC.
2405 MUSTANG DRIVE
GRAPEVINE, TEXAS 76051
PH. (817) 329-4373
CONTACT: EDDIE ECKART

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:
1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:
1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

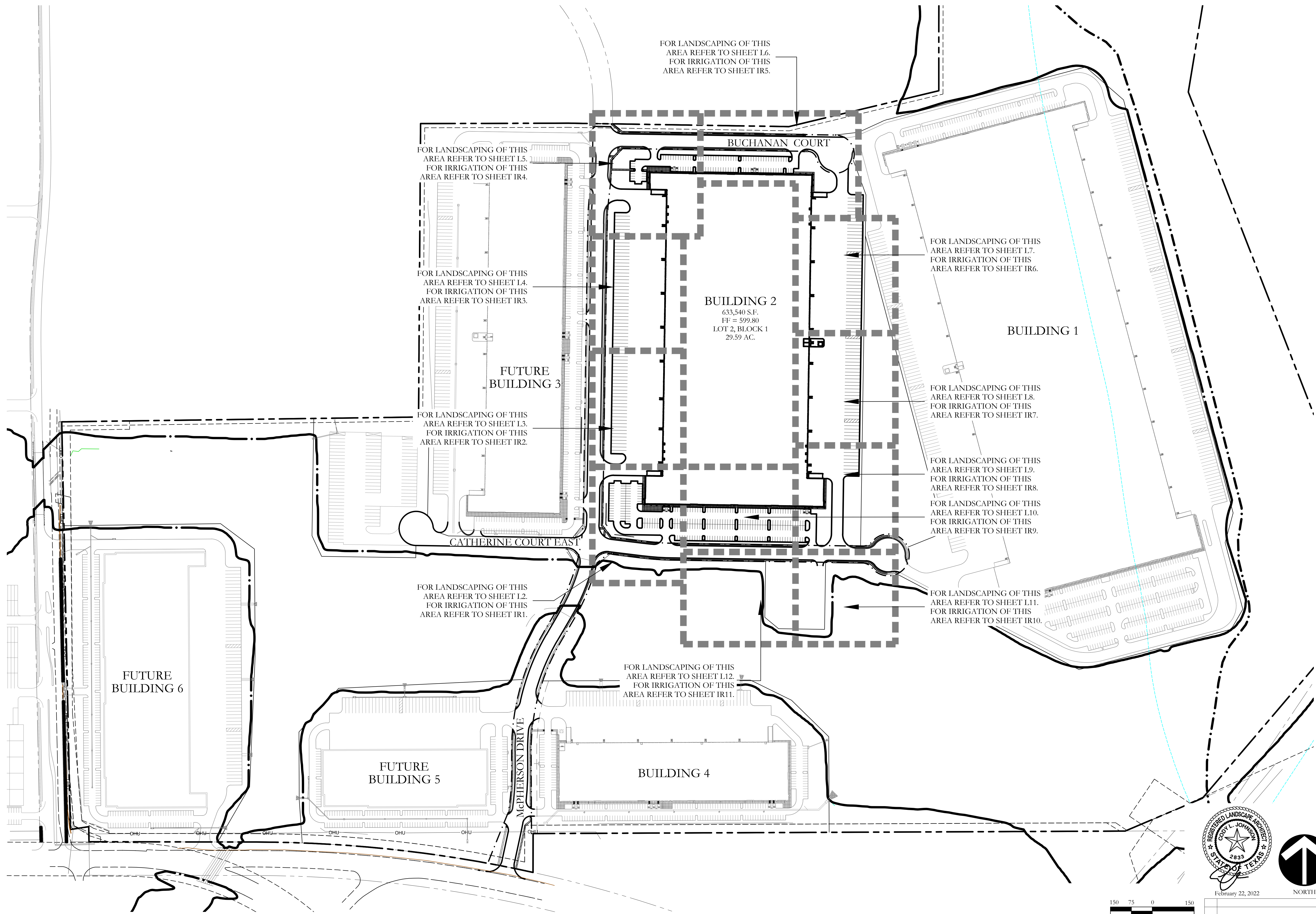
- IRRIGATION STANDARDS:
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 6. VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

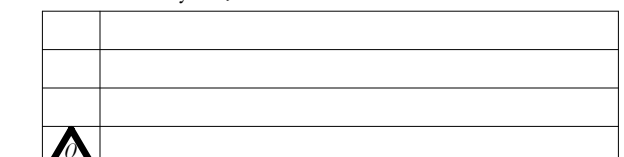
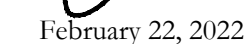


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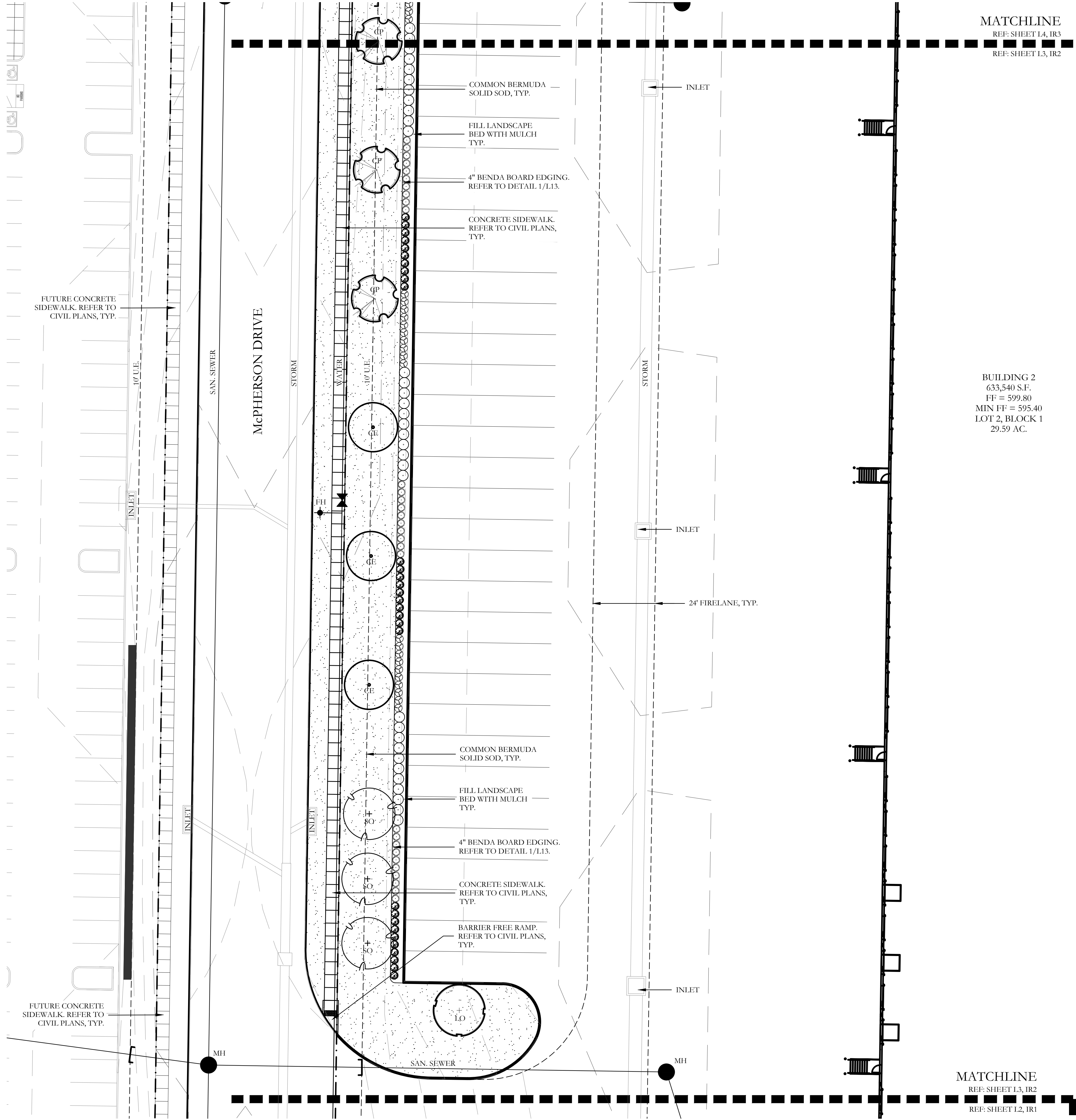




NOTE: ALL LANDSCAPE SHOWN TO
BE INSTALLED WITH BUILDING 2



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MATCHLINE
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REF: SHEET L3, IR2

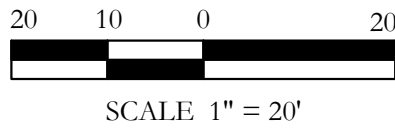
BUILDING 2
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MIN FF = 595.40
LOT 2, BLOCK 1
29.59 AC.

MATCHLINE
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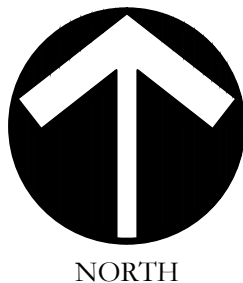
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LJNNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO
BE INSTALLED WITH BUILDING 2



February 22, 2022



NORTH

SCALE:

1" = 20'

One Inch

JVC No GAM016C

L3 of 13

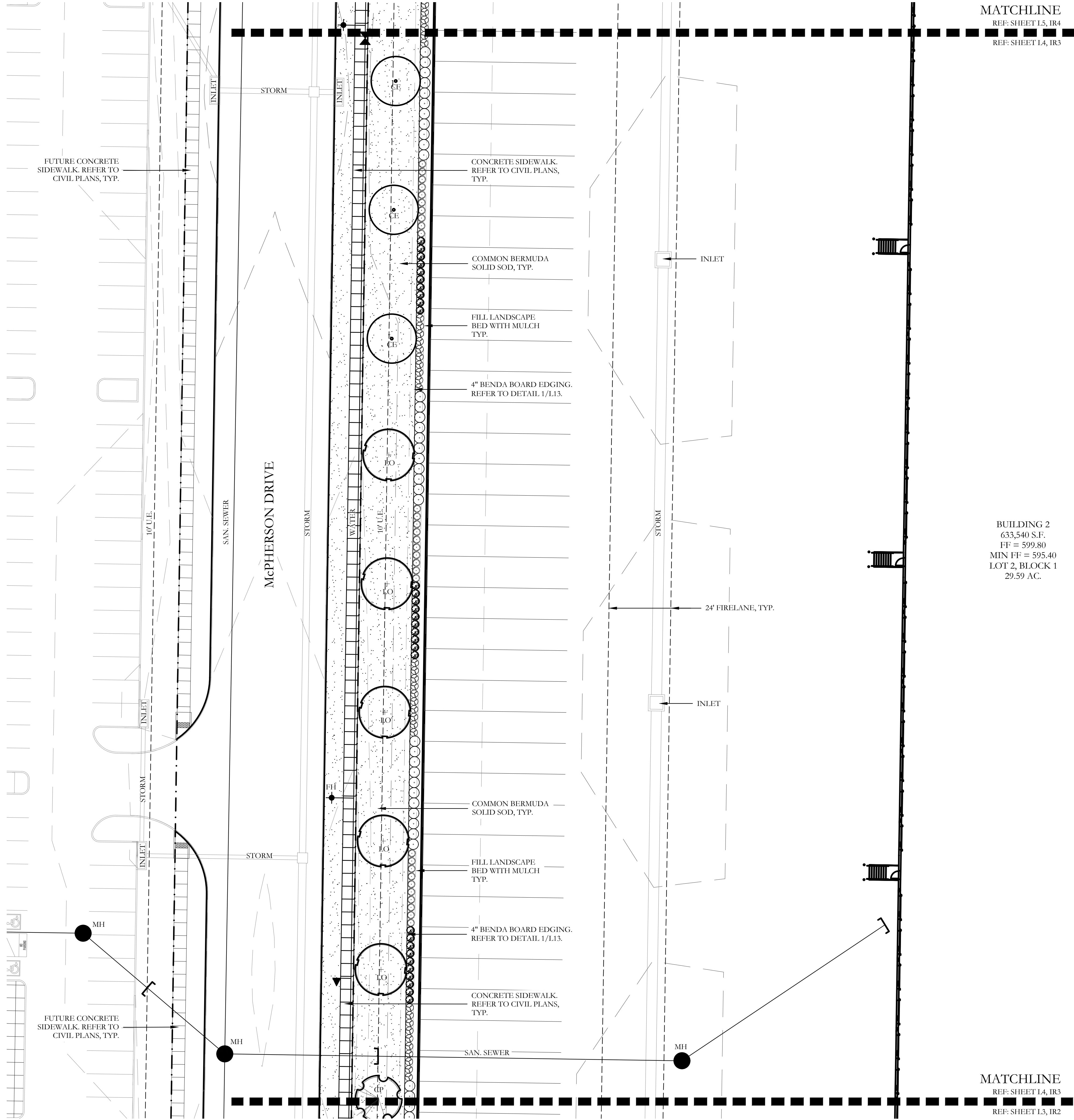
NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING

TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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MATCHLINE
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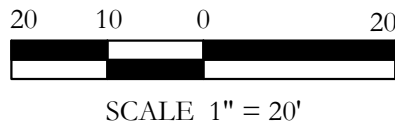
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MIN FF = 595.40
LOT 2, BLOCK 1
29.59 AC.

MATCHLINE
REF: SHEET L4, IR3
REF: SHEET L3, IR2

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



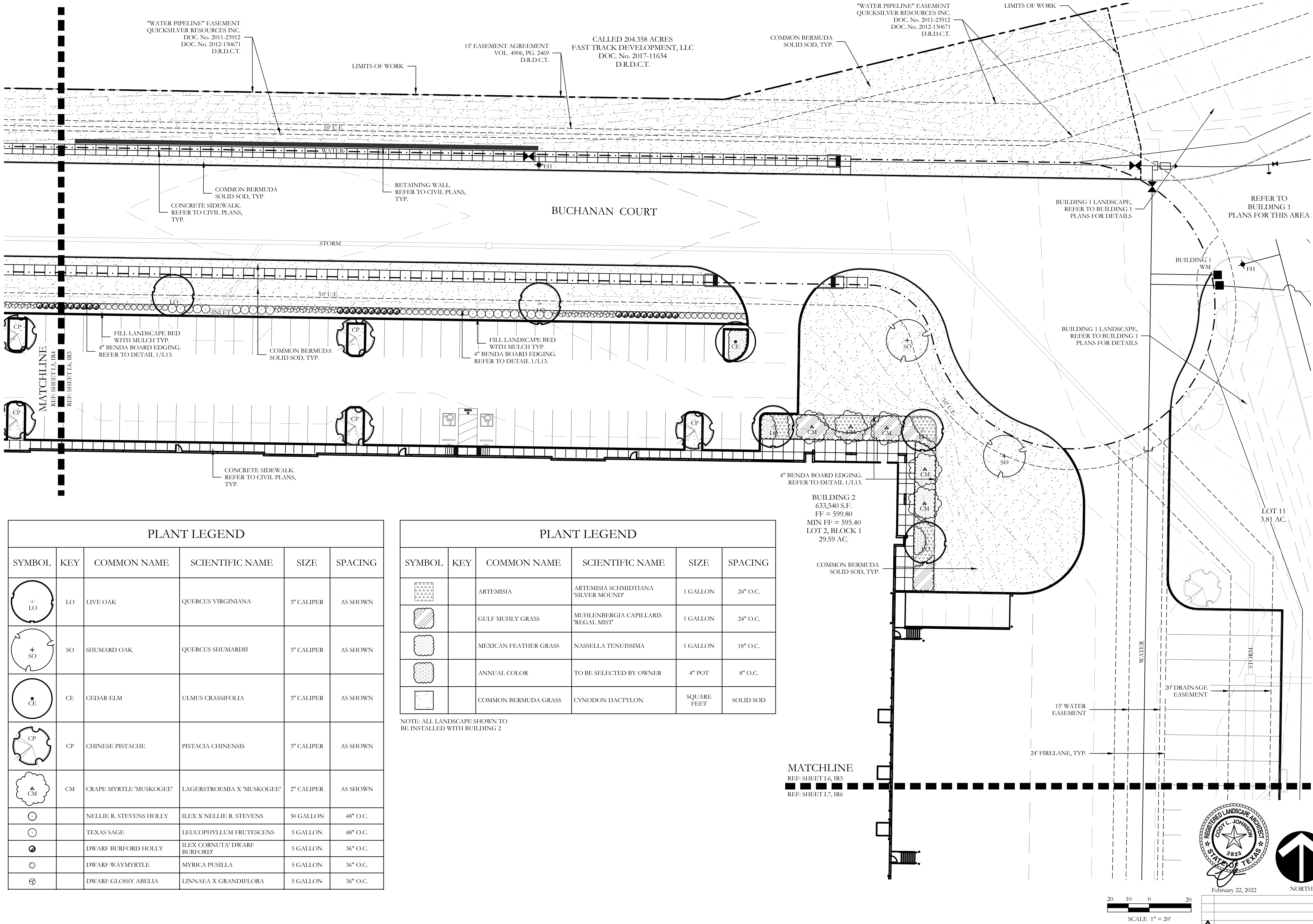
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One Inch
JVC No GAM016C

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
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	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	CRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2

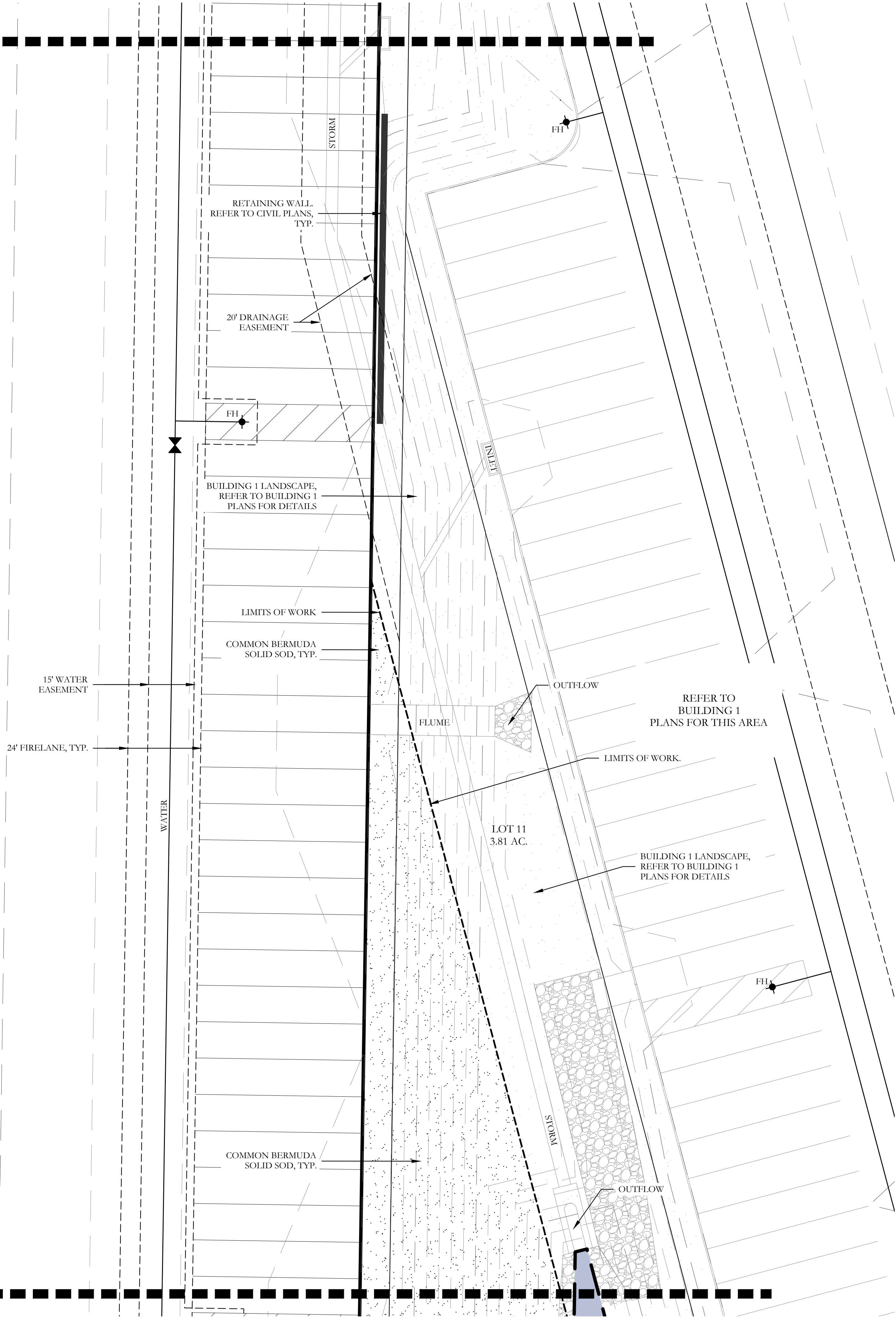


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REF: SHEET L7, IR6

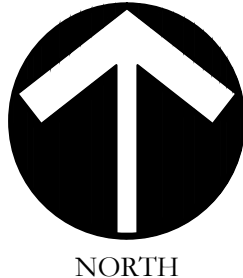
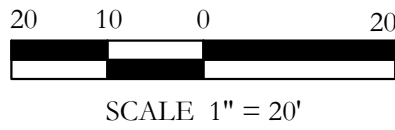
BUILDING 2
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FF = 599.80
MIN FF = 595.40
LOT 2, BLOCK 1
29.59 AC.

MATCHLINE
REF: SHEET L7, IR6
REF: SHEET L8, IR7



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
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		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LJNNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



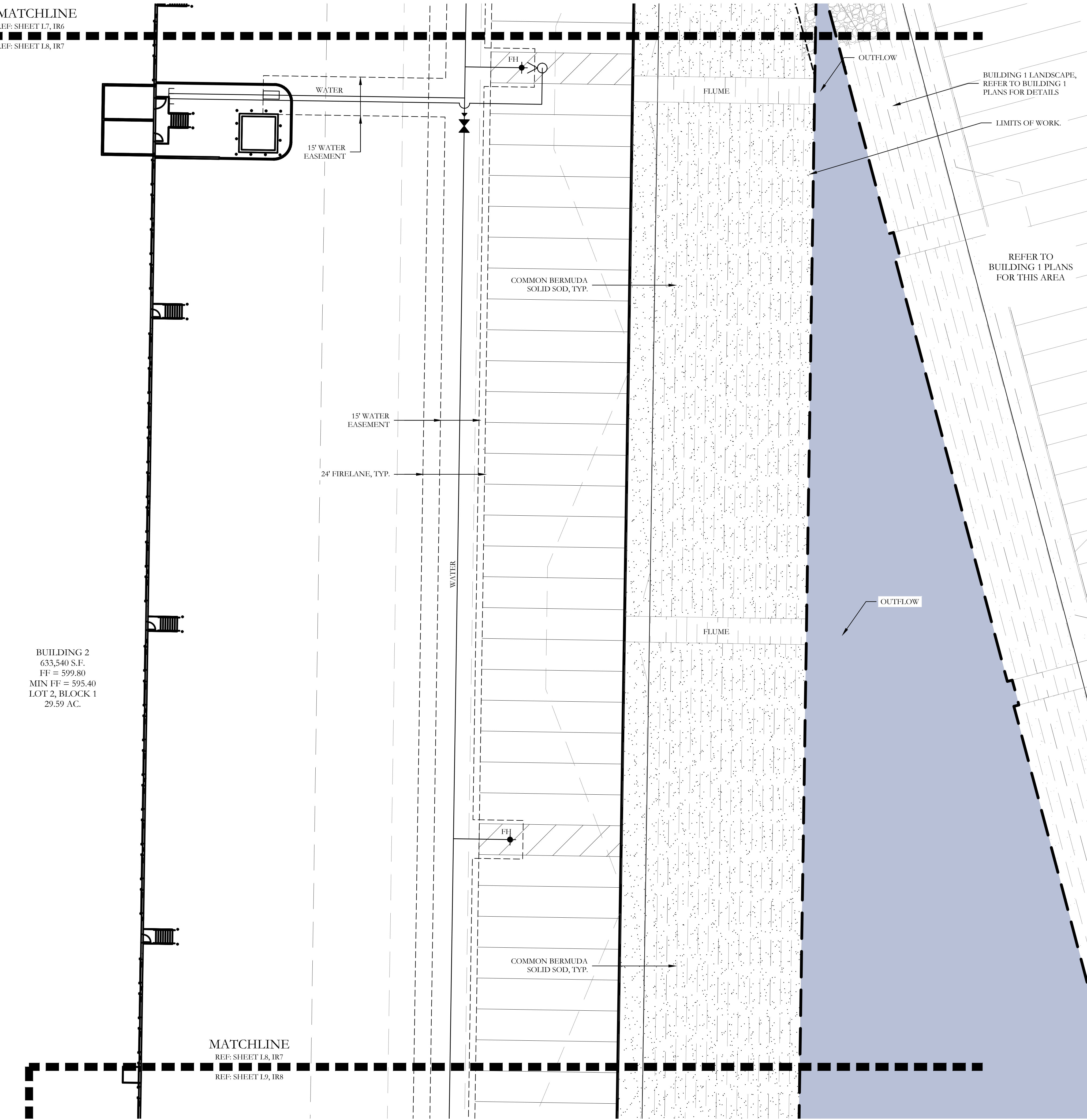
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One Inch
JVC No GAM016C

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MATCHLINE
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REF: SHEET L8, IR7

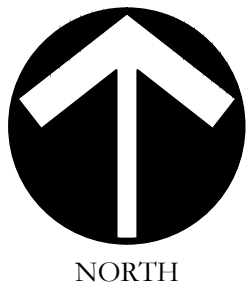
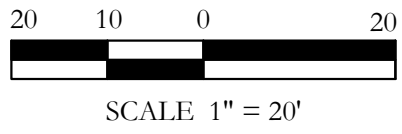
BUILDING 2
633,540 S.F.
FF = 599.80
MIN FF = 595.40
LOT 2, BLOCK 1
29.59 AC.

MATCHLINE
REF: SHEET L8, IR7
REF: SHEET L9, IR8



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
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		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
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		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



NORTH

SCALE:
1" = 20'

One Inch

JVC No GAM016C

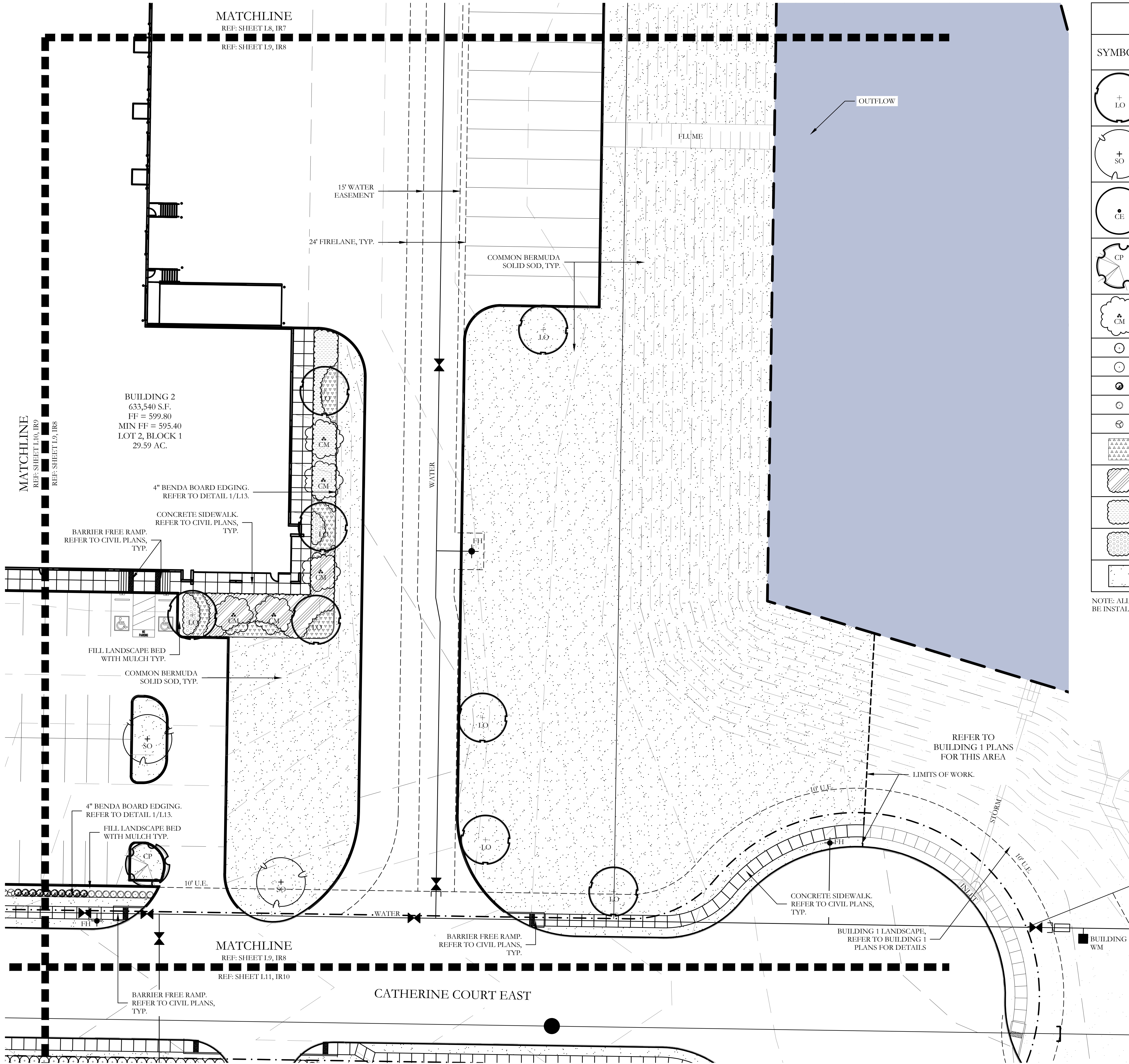
L8 of 13

NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

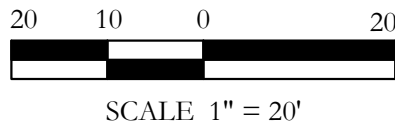
JOHNSON VOLK
CONSULTING
TBP&L: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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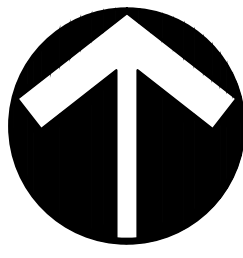


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
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		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
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		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
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		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



February 22, 2022



SCALE:

1" = 20'

One Inch

JVC No GAM016C

L9 of 13

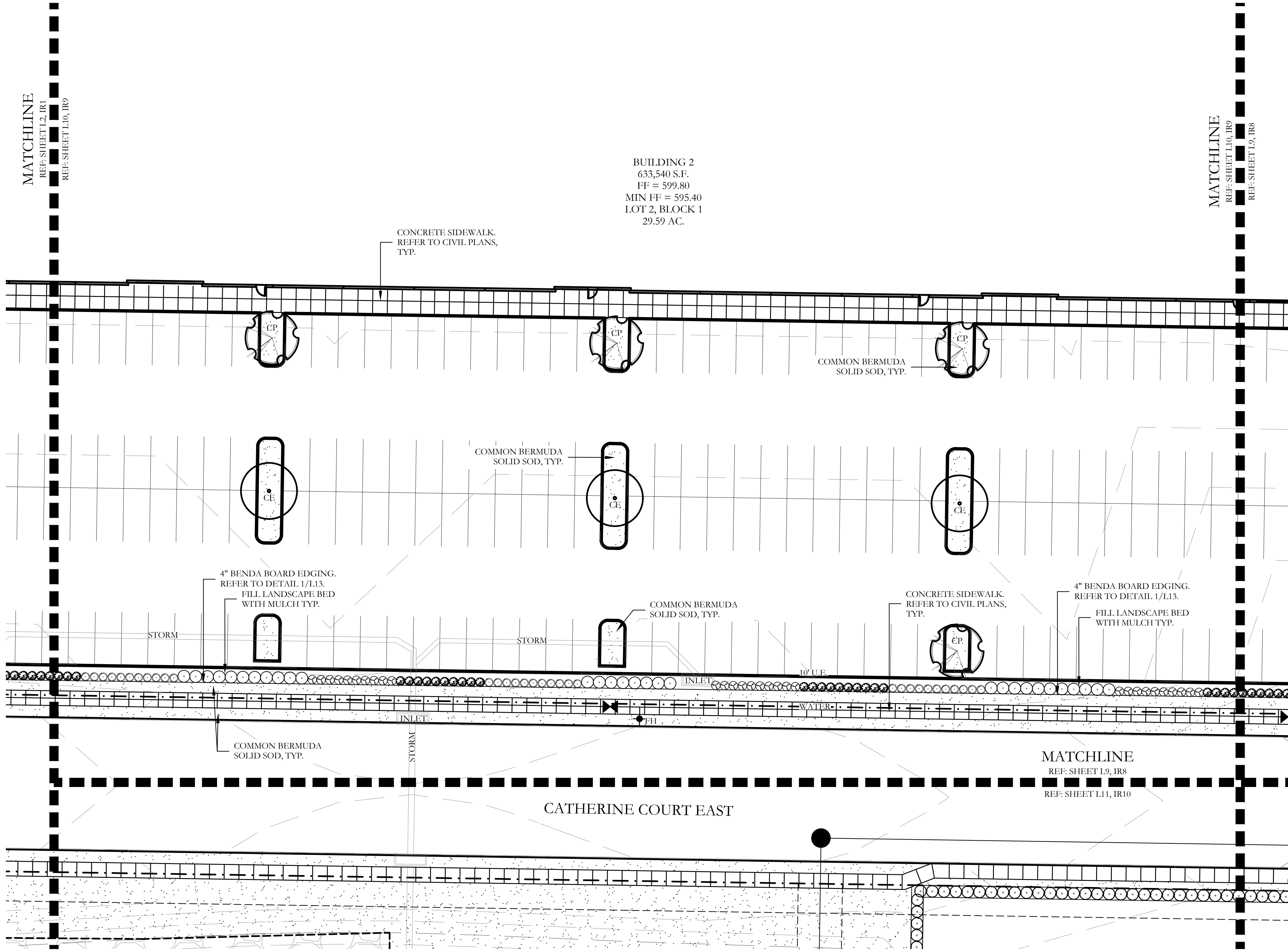
NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING

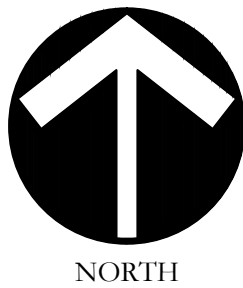
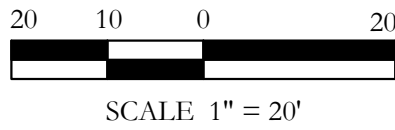
TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



February 22, 2022

NORTH

SCALE:
1" = 20'

One Inch

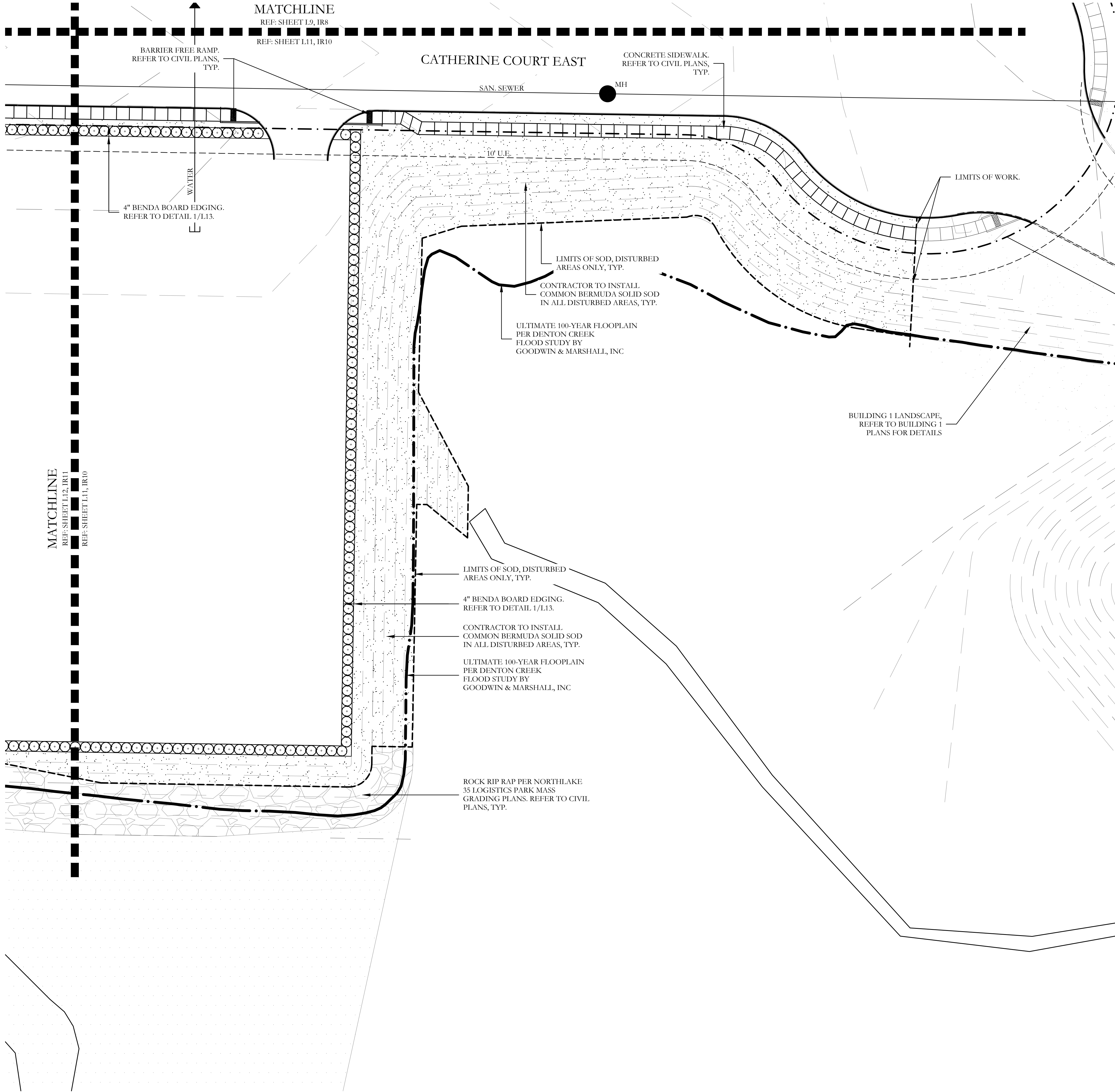
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SCREENING AND BUFFERING
LANDSCAPE PLAN

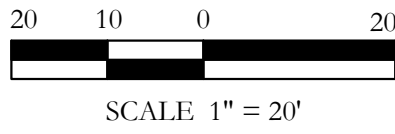
NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

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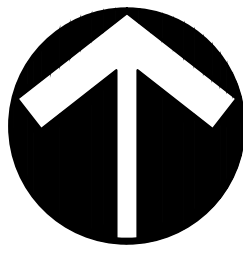


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SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



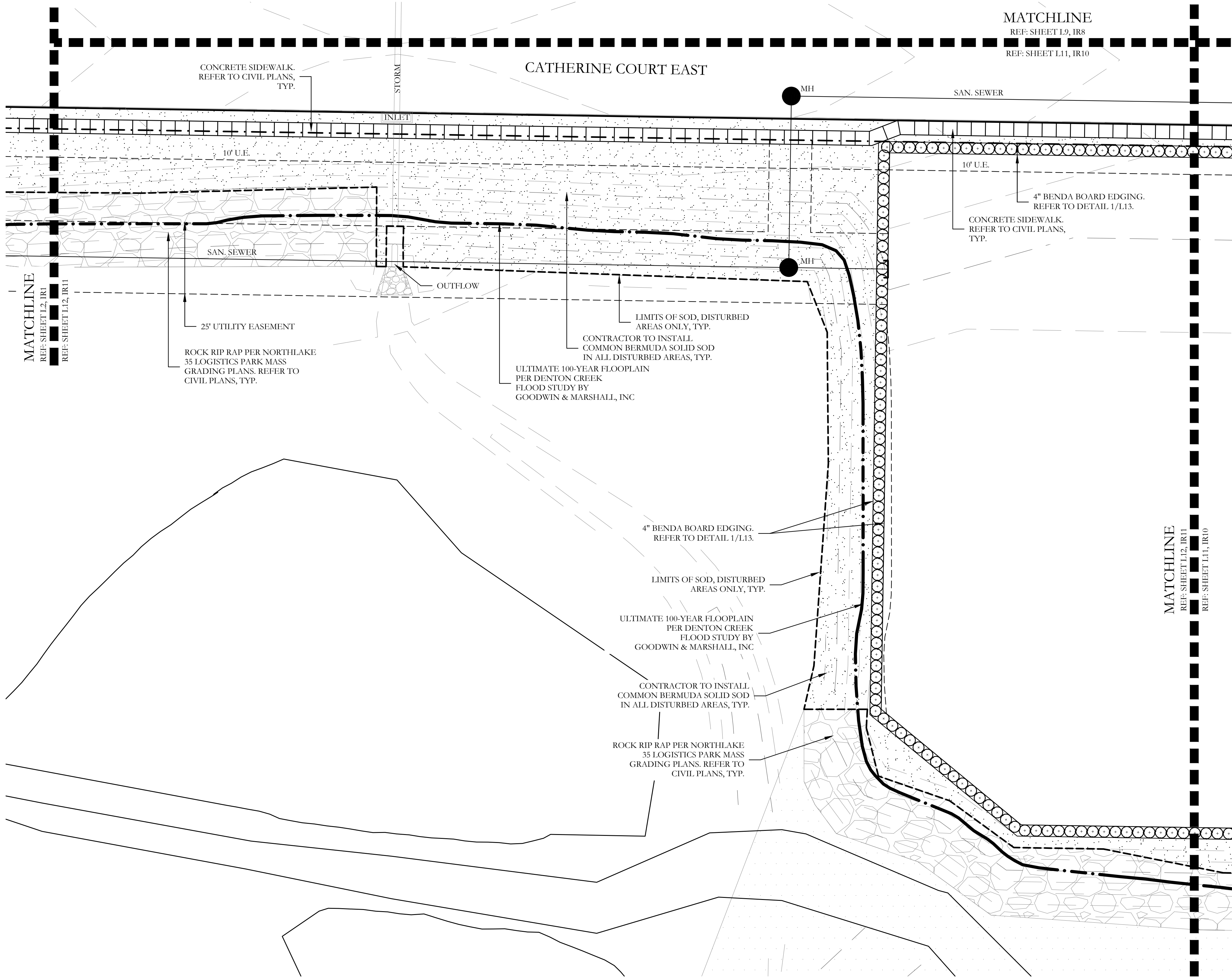
February 22, 2022



SCREENING AND BUFFERING
LANDSCAPE PLAN

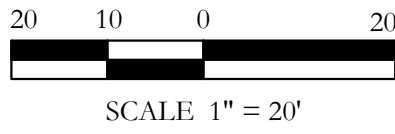
NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

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NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 2



February 22, 2022



NORTH

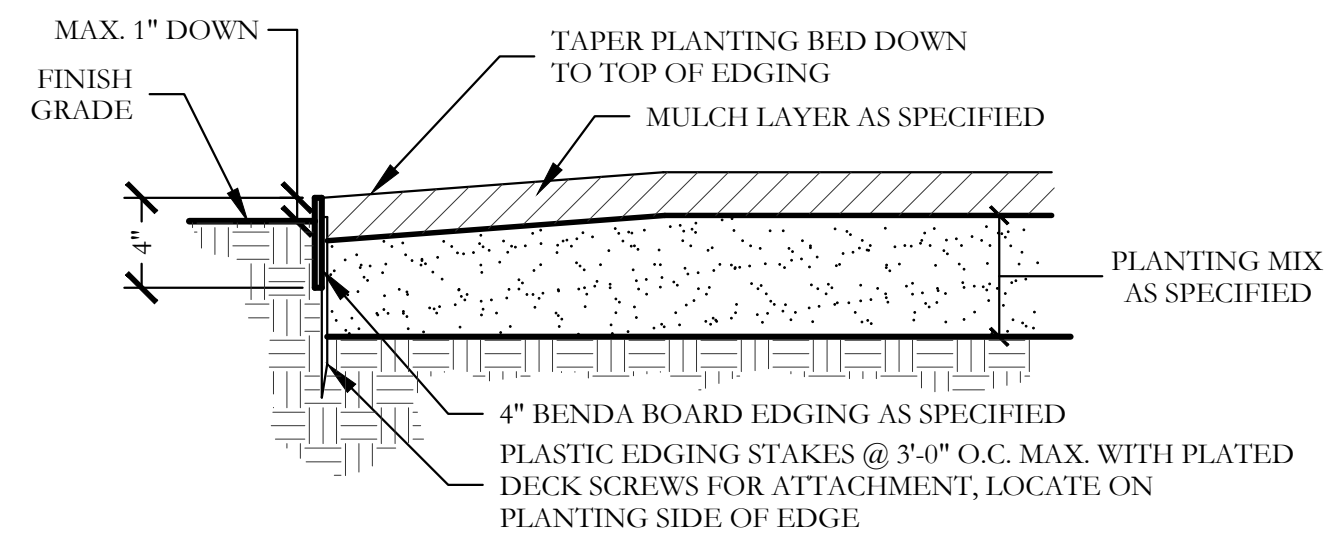
SCREENING AND BUFFERING
LANDSCAPE PLAN

NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

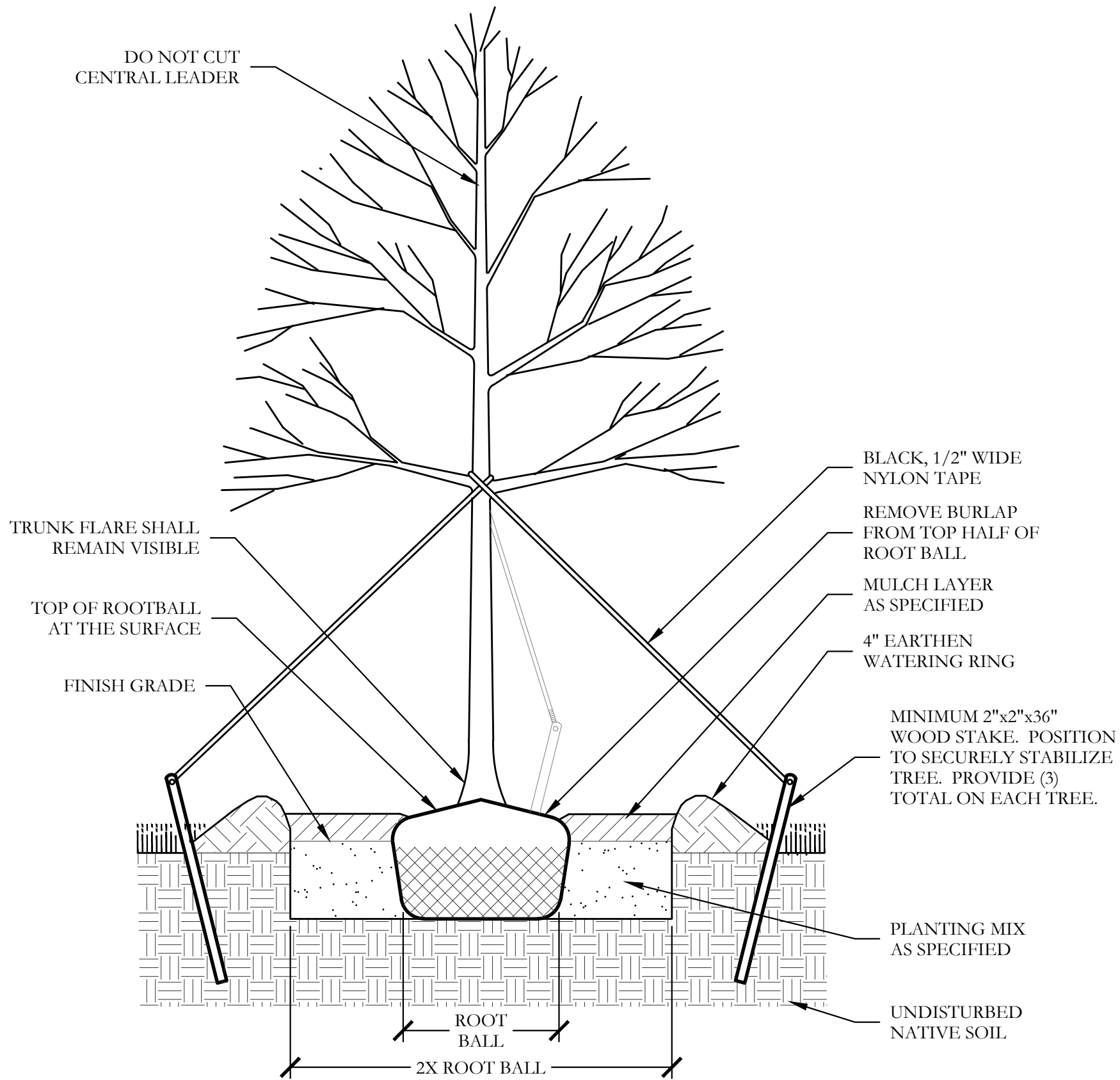
JOHNSON VOLK
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TBP&L: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

SCALE:
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One Inch
JVC No GAM016C

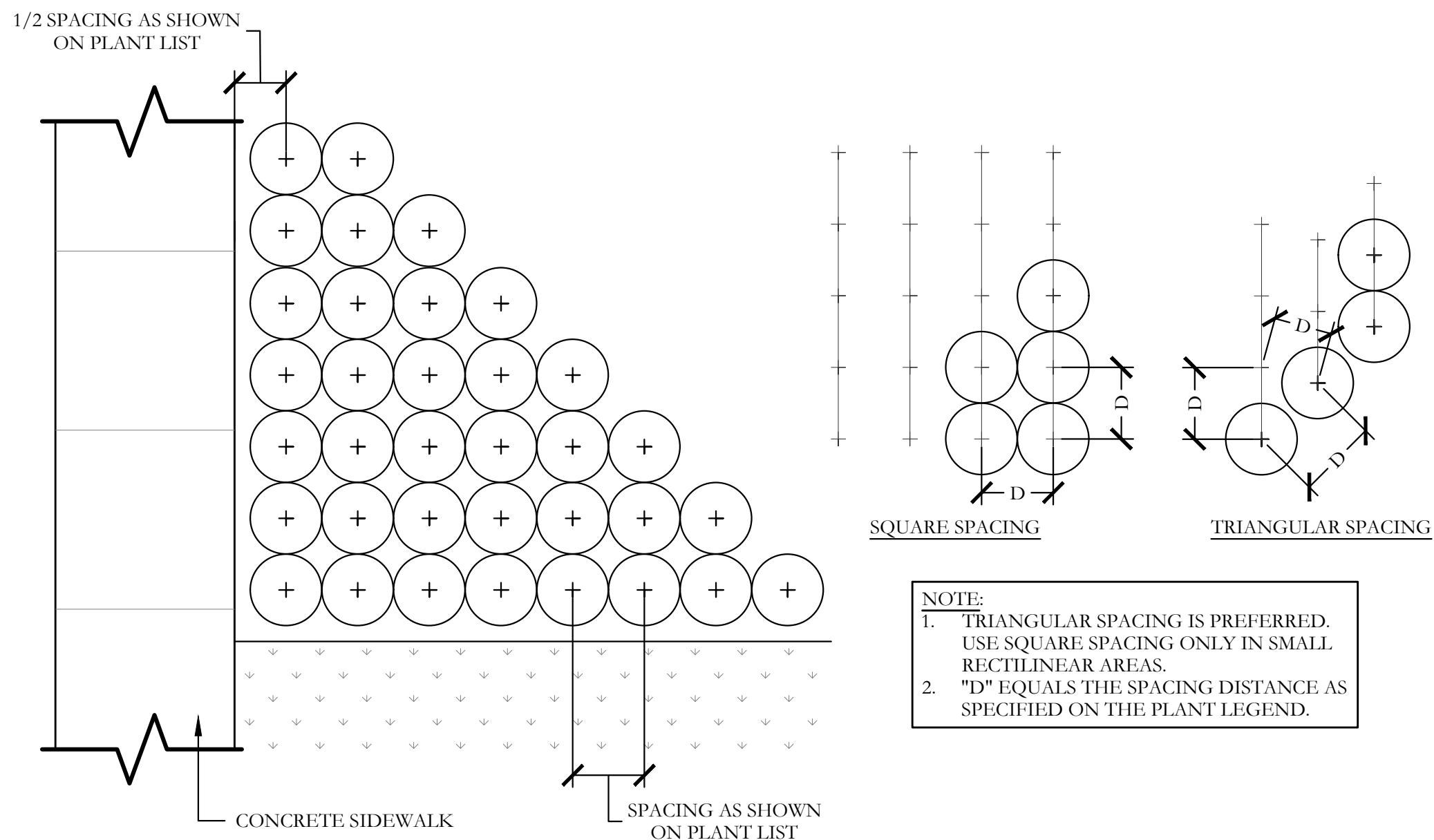
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1 TYPICAL BED EDGING DETAIL
SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING
SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING
PLAN/SECTION

PLANT LIST						
KEY	EST. QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	28	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	17	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	15	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	18	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CM	14	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	215	NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS	30 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT
	136	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT
	189	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT
	164	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT
	130	DWARF GLOSSY ABELIA	ABELIA GRANDIFLORA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT
	295	ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	660	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	825	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,235	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	238,775	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

LANDSCAPE PROVIDED

McPHERSON DRIVE

- A. MINIMUM TWENTY (20) FOOT LANDSCAPE BUFFER PROVIDED
- B. 1 - 3" CALIPER SHADE TREE SHALL BE PLANTED FOR EVERY 50 LINEAR FEET OF STREET FRONTAGE.
- REQUIRED: 1,166 LF OF FRONTAGE / 50 LF = 24 - 3" CAL. TREES REQUIRED.
- PROVIDED: 25 - 3" CALIPER SHADE TREES PROVIDED

PARKING LOT SCREENING REQUIREMENTS

- A. WHERE PARKING LOTS AND DRIVES ABUT THE LANDSCAPE STRIP ALONG A STREET RIGHT-OF-WAY, A CONTINUOUS HEDGE OF EVERGREEN SHRUBS SHALL BE PROVIDED TO SCREEN THOSE AREAS FROM THE STREET. THE SHRUBS MUST BE A MINIMUM OF THREE (3) FEET IN HEIGHT AT MATURITY AND PLANTED ACCORDING TO THE SPACING SHOWN BELOW.
- B. LANDSCAPING SHALL ALSO BE PROVIDED FOR THE INTERIOR EMPLOYEE AND CUSTOMER PARKING AREAS. TREES SHALL BE PLANTED IN EACH PARKING AREA TO ATTAIN A MINIMUM AVERAGE DENSITY OF ONE (1) SHADE TREE (TWO AND ONE-HALF-INCH CALIPER MINIMUM) FOR EACH TWENTY (20) PARKING SPACES PROVIDED, OR ANY FRACTION THEREOF. THE PLANTING AREA PER TREE SHALL BE A MINIMUM OF NINE (9) FEET WIDE AND TWENTY (20) FEET DEEP.
- REQUIRED: 522 PARKING SPACES / 20 = 26 - 3" CAL. TREES REQUIRED.
- PROVIDED: 34 - 3" CALIPER SHADE TREES PROVIDED

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

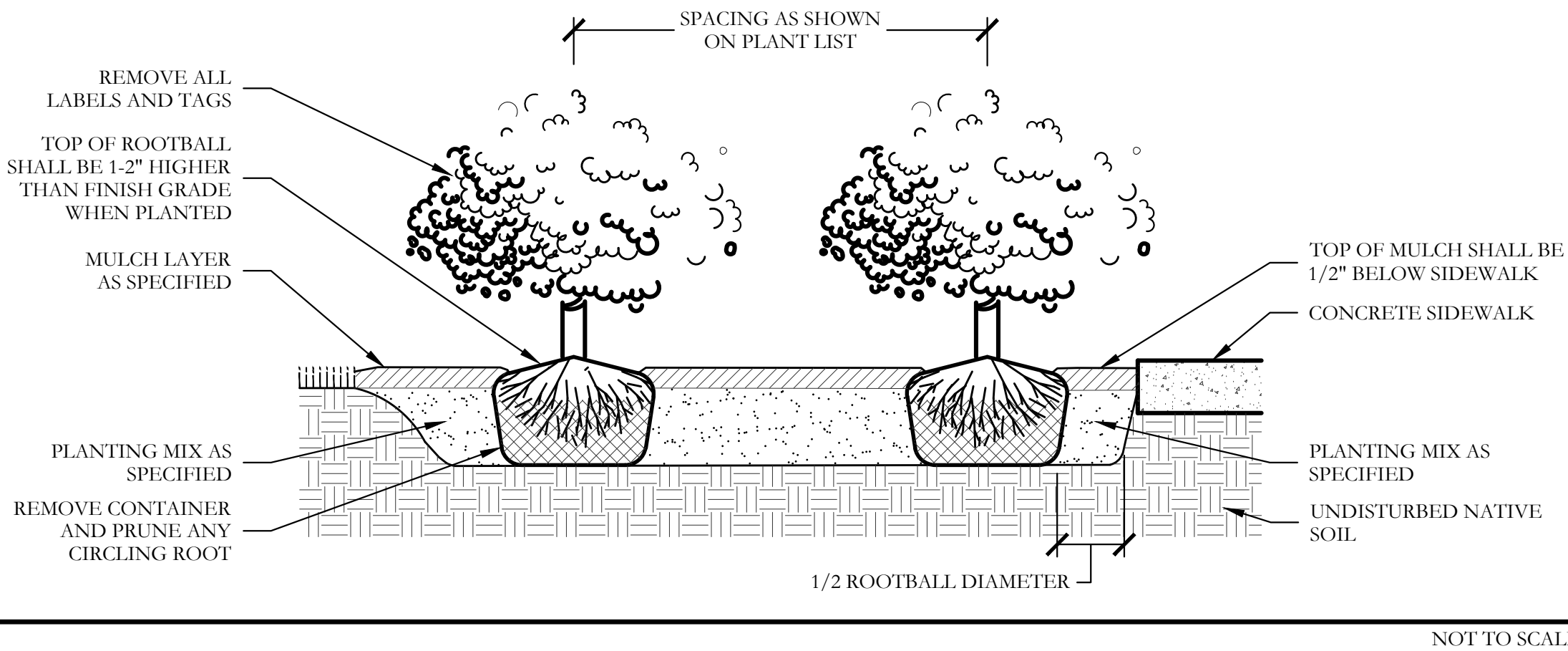
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FIRED FROM STUBBED LATERALS OR BULLHEADS A MINIMUM FIVE FOOT (5) SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



NOT TO SCALE



February 22, 2022

NORTHLAKE 35 LOGISTICS PARK
BUILDING 2
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE SCHEDULE & DETAILS

SCALE:
REFER TO
DETAILS
One Inch

JVC No GAM016C

L13 of 13

JOHNSON VOLK
CONSULTING
JBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: MARCH 1, 2022

REF DOC.: UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM);

SUBJECT: SITE PLAN OF NORTHLAKE 35 LOGISTICS PARK BUILDING 3 (SP-22-004)



GOALS/OBJECTIVES:

- Protect the public; Create a sustainable service plan (Council Goal)
- Invest in Infrastructure; Provide an adequate/functional roadway system, including associated water, sewer and storm drainage facilities. (Council Goal)

SITE PLAN INFORMATION:

Owner/Applicant:	Northlake Logistics Park, LLC
Engineer:	Goodwin and Marshall, Inc.
Zoning:	Industrial (I) which includes office and warehousing/distribution center as a permitted use.
Site:	Approximately 20.026-acre tract of land in the W.P. Harmonson and Ben Waters Survey, Abstract No. 642, to be platted as Lot 3, Block 1, Northlake 35 Logistics Park, generally located 1,200 feet north of Dale Earnhardt Way and 2,500 feet west of IH 35W.
Summary:	This application is for a site plan of Northlake 35 Logistics Park Building 3, a proposed industrial development to include a 346,322 square-foot warehouse building to go on Lot 3 to be created by the final plat item on this same agenda.
Staff Analysis:	The applicant has provided a site plan package in accordance with requirements of the Unified Development Code (UDC). The application was considered filed on February 16, 2022, and it will be approved on March 18, 2022, if no action is taken. The site plan package includes a site plan and landscape plan for the site as well as a color rendering and building elevations showing all sides of the planned building. All elements of the site plan package meet or exceed the development standards and all applicable requirements of the UDC.

P&Z ACTIONS:

- Approve site plan package as submitted



Texas Commercial Development



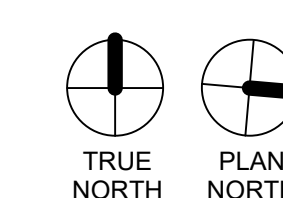
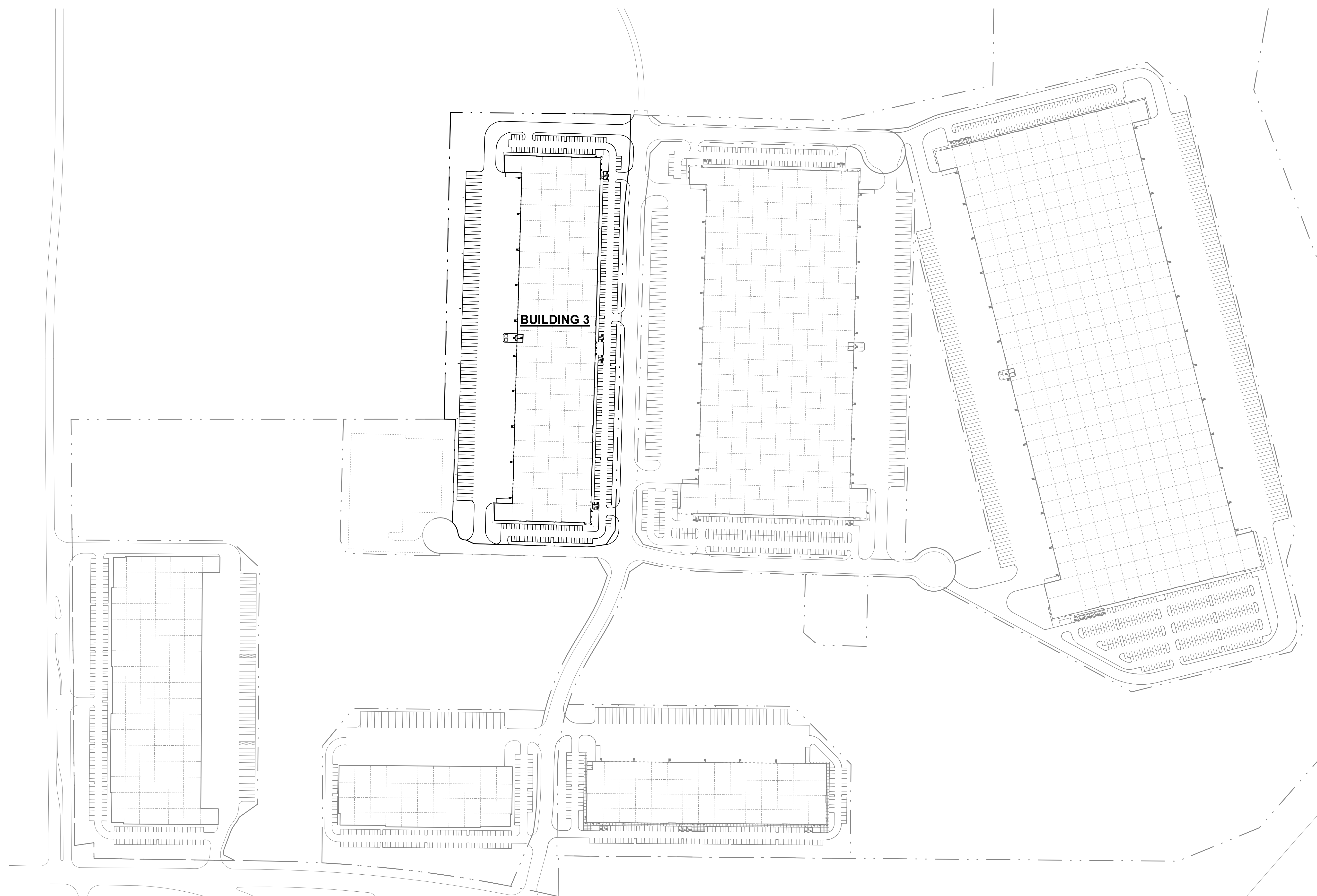
**Northlake
35
Logistics
Park**

Building 3

OVERALL SITE PLAN

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A1.00
PROJECT NO.: 2021179



1 OVERALL SITE PLAN

Expos: 47 = 100%

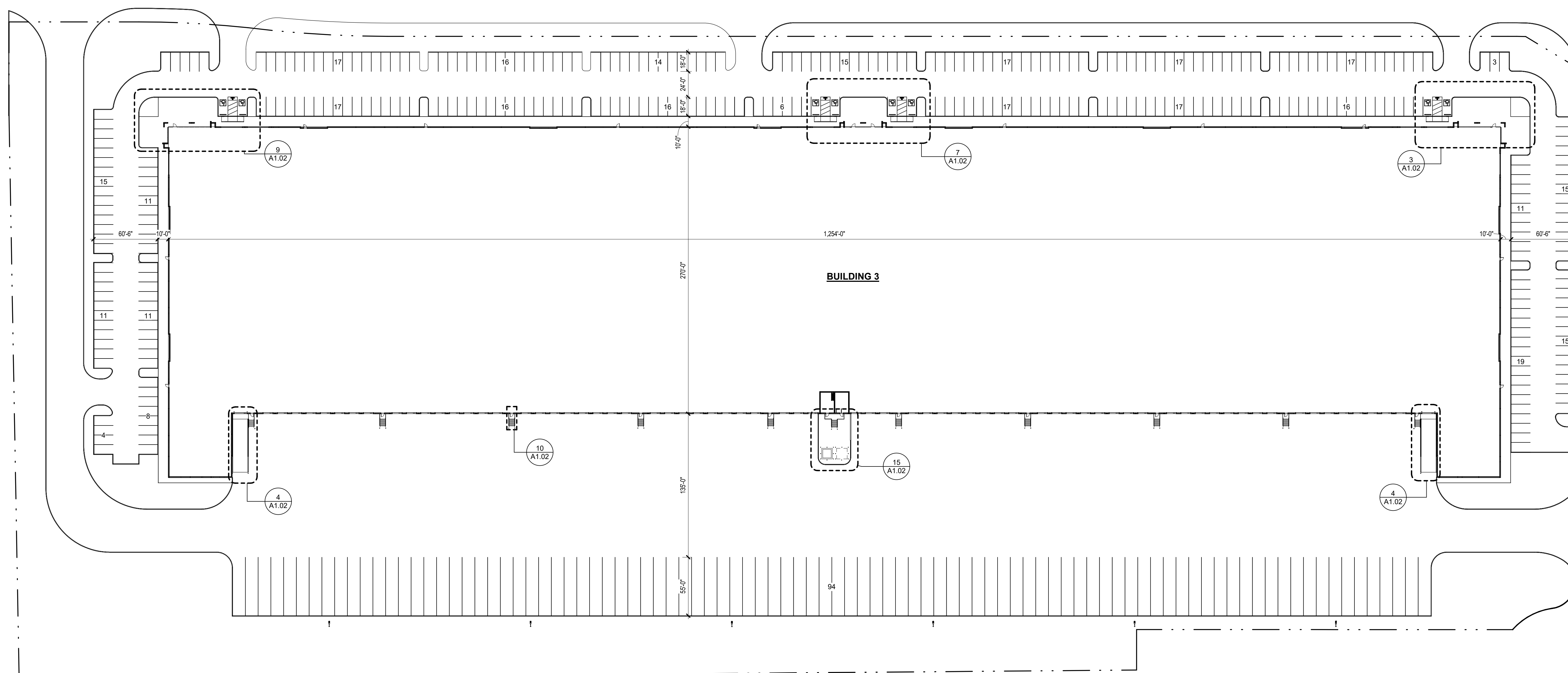
**Northlake
35
Logistics
Park**

Building 3

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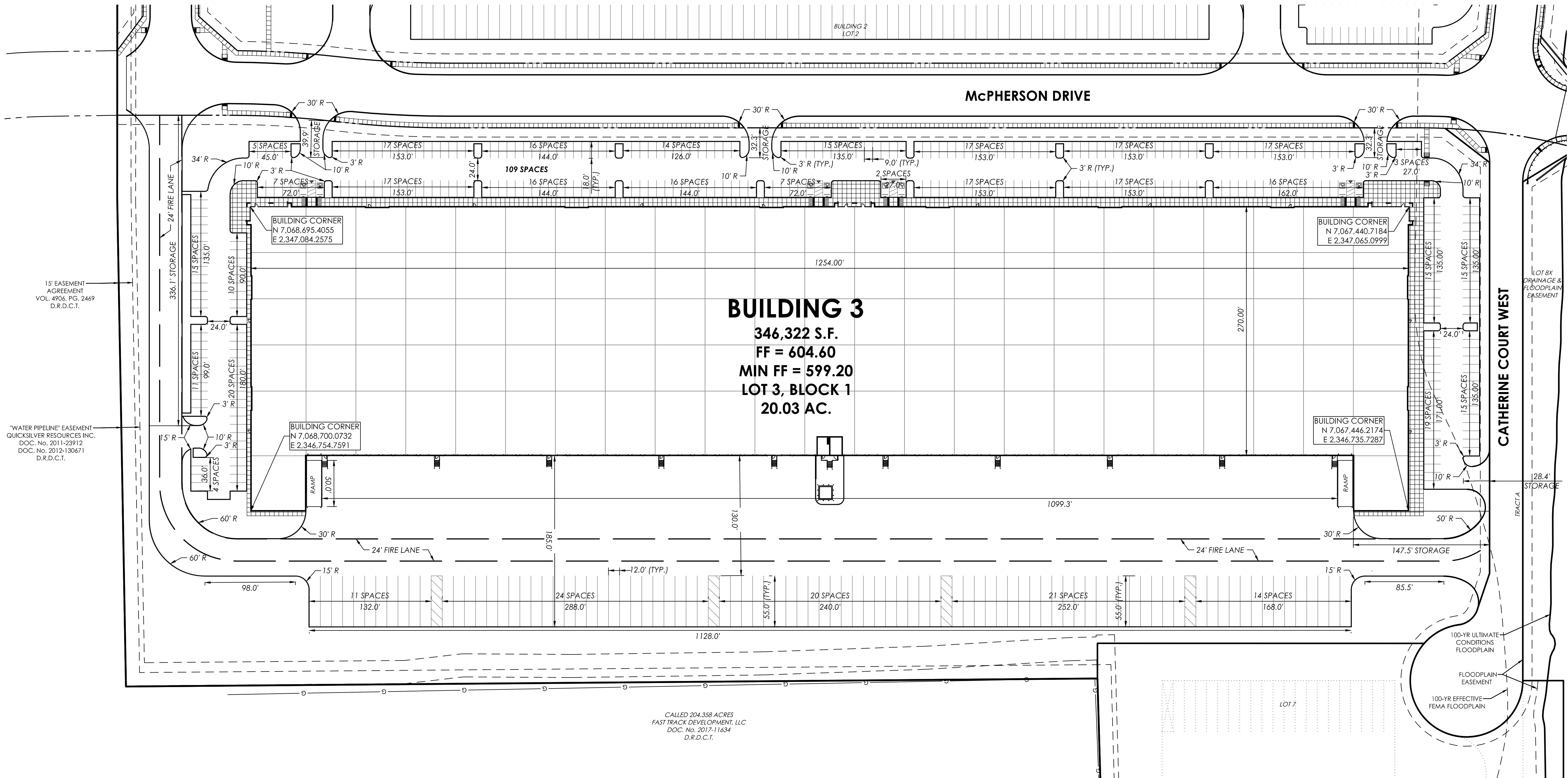
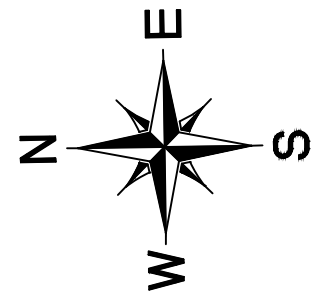
A1.01

PROJECT NO.: 2021179



ACCESSIBLE:	8
STANDARD:	346
TOTAL:	354





BUILDING 3
346,322 S.F.
FF = 604.60
MIN FF = 599.20
LOT 3, BLOCK 1
20.03 AC.

SITE DATA TABLE	
EXISTING ZONING:	I (INDUSTRIAL DISTRICT)
PROPOSED USE:	OFFICE/WAREHOUSE/ DISTRIBUTION
BUILDING AREA:	346,322 S.F.
BUILDING HEIGHT:	50'-0" MAX
IMPERVIOUS AREA:	147,181 S.F. (3.38 Ac.)
TOTAL CAR PARKING: (1 SPACE FOR EACH 5,000 SQUARE FEET OF TOTAL FLOOR AREA)	REQUIRED: 69 SPACES PROVIDED: 360 SPACES ADA SPACES: 8 SPACES
PROVIDED TRAILER PARKING:	90 SPACES
FLOOR AREA RATIO:	0.397

NOTE: SEE NORTHLAKE 35 LOGISTICS PARK MAJOR INFRASTRUCTURE PLANS FOR MCPHERSON ROAD, CATHERINE COURT WEST, AND ASSOCIATED PUBLIC UTILITIES.

CONTRACTOR NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

BENCHMARK ELEVATION : 625.74
BENCHMARK #1 IS A BOX "X" CUT ON A CONCRETE FOOTER FOR A LOW PIPE RAIL FENCE AROUND THE TEXAS MOTOR SPEEDWAY PROPERTY. IT IS LOCATED APPROXIMATELY 88 FEET SOUTH OF THE CENTERLINE OF VICTORY CIRCLE AND IS 1611 FEET WEST OF THE CENTERLINE INTERSECTION OF HARMONSON ROAD AND VICTORY CIRCLE. ELEVATION = 625.74 FEET

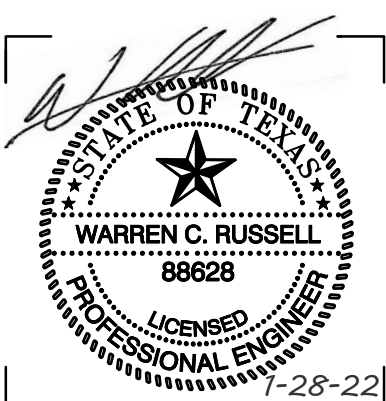
BENCHMARK ELEVATION : 613.00
BENCHMARK #5 IS A BOX "X" CUT ON A HEADWALL FOR THE ENTRANCE OF A WELL PAD. IT IS LOCATED APPROXIMATELY 25 FEET WEST OF THE CENTERLINE BOB PHINNEY DRIVE AND 168 FEET NORTH OF THE CENTERLINE INTERSECTION OF HARMONSON ROAD AND PHINNEY DRIVE. ELEVATION = 613.00 FEET

NO.	REVISION DATE
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NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

Northlake 35 LLC
5440 Harvest Hill, Suite 250
Dallas, Texas 75230

GOODWIN & MARSHALL, INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 291-4272
Toll-free 1-800-451-1000
Firm # 1002703



JOB NO.: 10880
DATE: 12/3/21
DSGN/DRFT: ANB/AJN
REVIEW: WCR

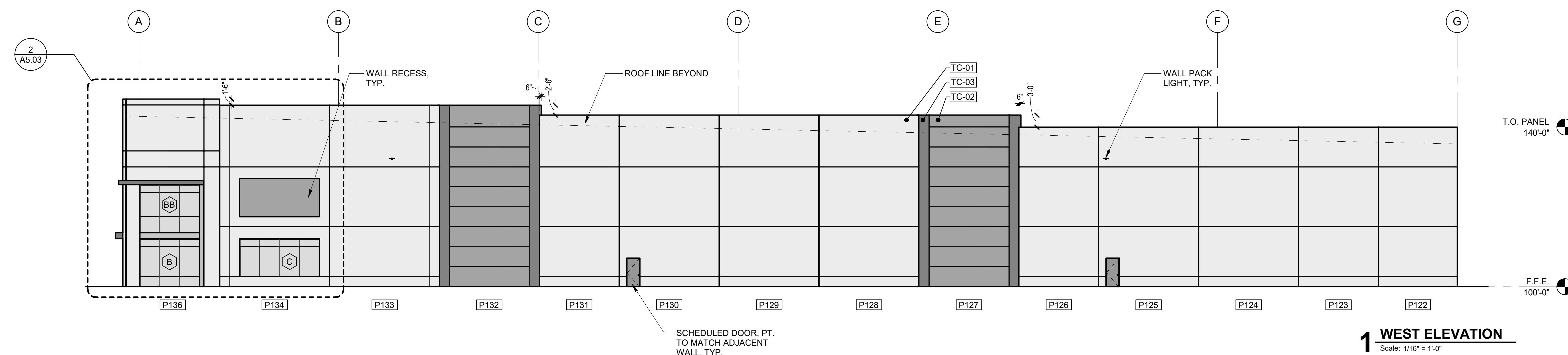
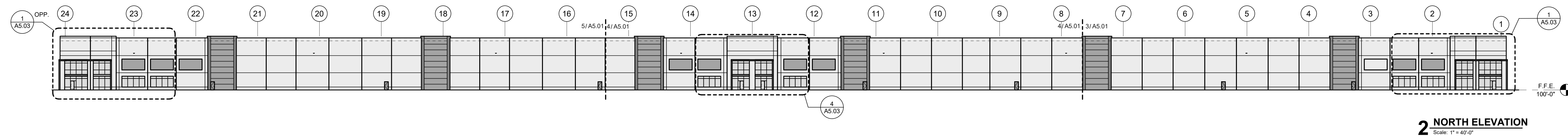
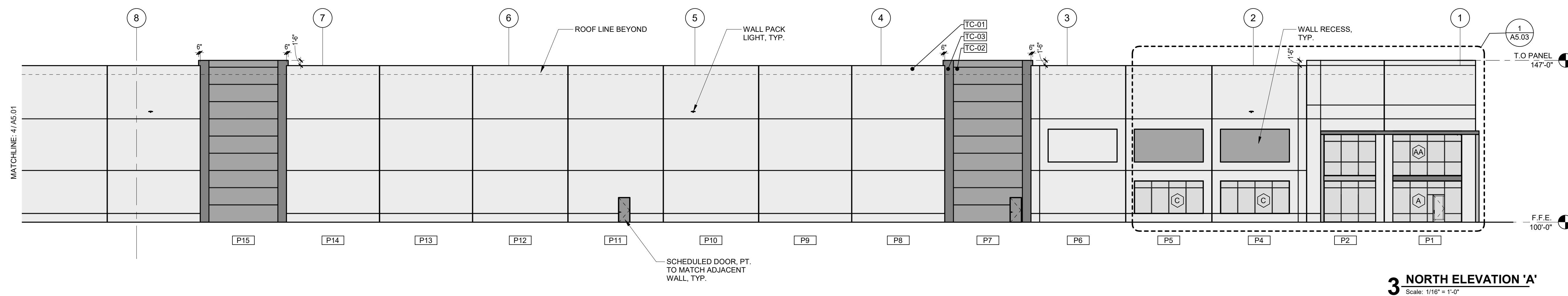
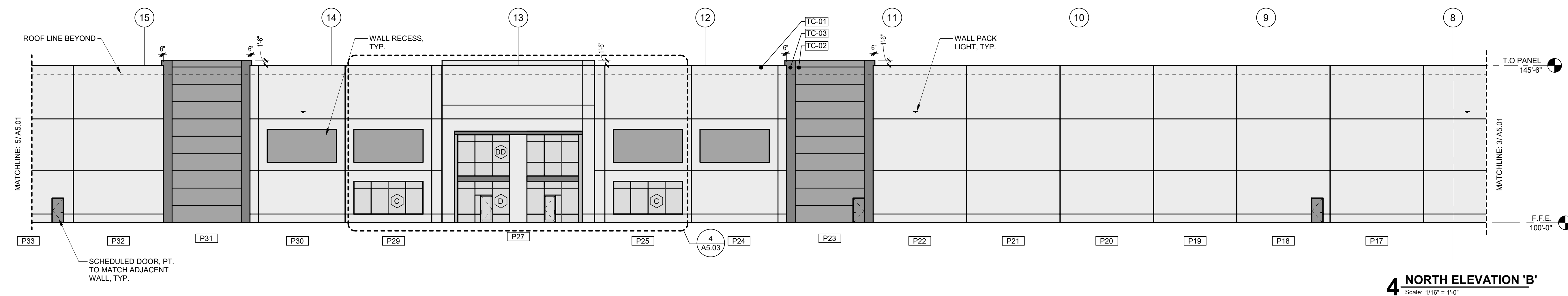
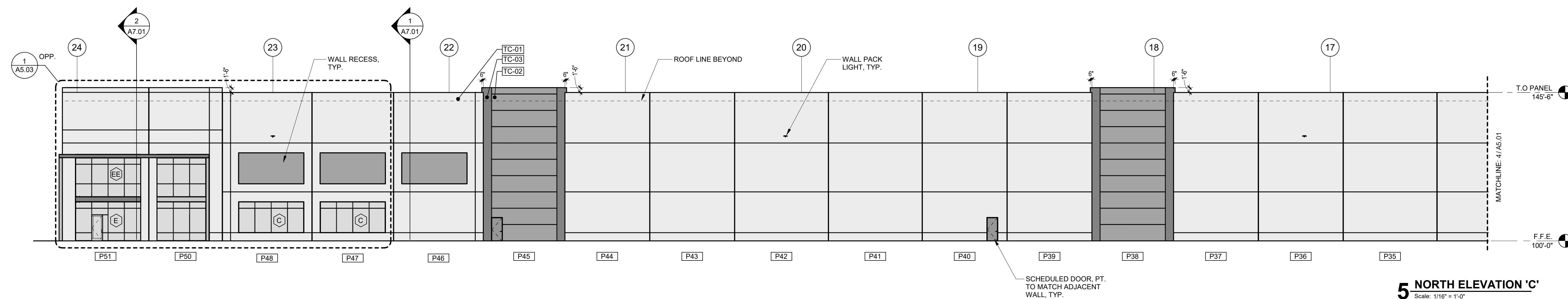
C3.00
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CONTROL PLAN



PLUMBING	ELECTRICAL	MECHANICAL	STRUCTURAL	ARCHITECTURAL	LANDSCAPE	CIVIL	CONTRACTOR	OWNER	ALLIANCE ARCHITECTS 08/30/21 NORTHLAKE 35 BUILDING 3 NORTHLAKE, TX PERMIT SET PROJECT NO.: 2021179 DATE: 08/30/21
Howard Kane Plumbing Company, Inc. 5928 Posey Lane Haltom City, Texas 76117 817.222.9177 Frank Westhoff, P.E.	Hurst Electric 229 West Hurst Blvd. Hurst, TX 76053 817.268.3000 Kevin McDonald, EIT	Venture Mechanical, INC. 1644 W. Crosby Rd. Carrollton, TX 75006 972.871.1300 Jason Stewart, P.E.	McHale Engineering 2000 Ave. G Suite 800 Plano, TX 75075 972.423.5908 Gary McHale, P.E.	Alliance Architects, Inc. 1600 N. Collins Blvd. Suite 1000 Richardson, TX 75080 972.233.0400 Chad Michel, AIA	Cody Johnson Studio, LLC. 9720 Coit Road Suite 220-333 Plano, TX 75025 903.570.0162 Cody L. Johnson, RLA, ASLA, LI	Goodwin and Marshall, Inc. 2405 Mustanf Dr. Grapevine, TX 76051 817.329.4373 Warren C. Russel, P.E.	Raymond Construction Co., Inc. 3100 Research Drive Suite 100 Richardson, TX 75082 214.206.4867 Rick Pfeil	Northlake 35 Logistics Park, LLC 15440 Harvest Hill Road Dallas, TX 75244 Doug Johnson Clarion Partners 1717 McKinney Ave. Suite 1900 Dallas, TX 75202 Casey Dillon	

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	TC-01 (FIELD) SW6252 ICE CUBE
	TC-02 (ACCENT 1) SW7074 SOFTWARE
	TC-03 (ACCENT 2) SW7663 MONORAIL SILVER
	MTL - 01 (COMPOSITE PANEL) ALUCOBOND - BRUSHED
	MTL - 02 (COMPOSITE PANEL) ALUCOBOND - BRUSHED CARBON



 CLARION PARTNERS

**Northlake
35
Logistics
Park**

Building 3

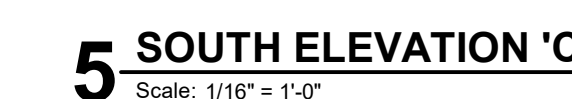
EXTERIOR BUILDING ELEVATIONS

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A5.01

PROJECT NO.: 2021179

	TC-01 (FIELD) SW6252 ICE CUBE
	TC-02 (ACCENT 1) SW7074 SOFTWARE
	TC-03 (ACCENT 2) SW7663 MONORAIL SILVER
	MTL - 01 (COMPOSITE PANEL) ALUCOBOND - BRUSHED
	MTL - 02 (COMPOSITE PANEL) ALUCOBOND - BRUSHED CARBON



Building 3

A5.02

PROJECT NO.: 20211

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: TOWN OF NORTHLAKE ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR LANDSCAPE PLAN

~NORTHLAKE 35 LOGISTICS PARK,
BUILDING 3~
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS
SUBMITTAL DATE: February 15, 2022



LOCATION MAP
NOT TO SCALE

CIVIL ENGINEER:

GOODWIN AND MARSHALL, INC.
2405 MUSTANG DRIVE
GRAPEVINE, TEXAS 76051
PH. (817) 329-4373
CONTACT: EDDIE ECKART

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

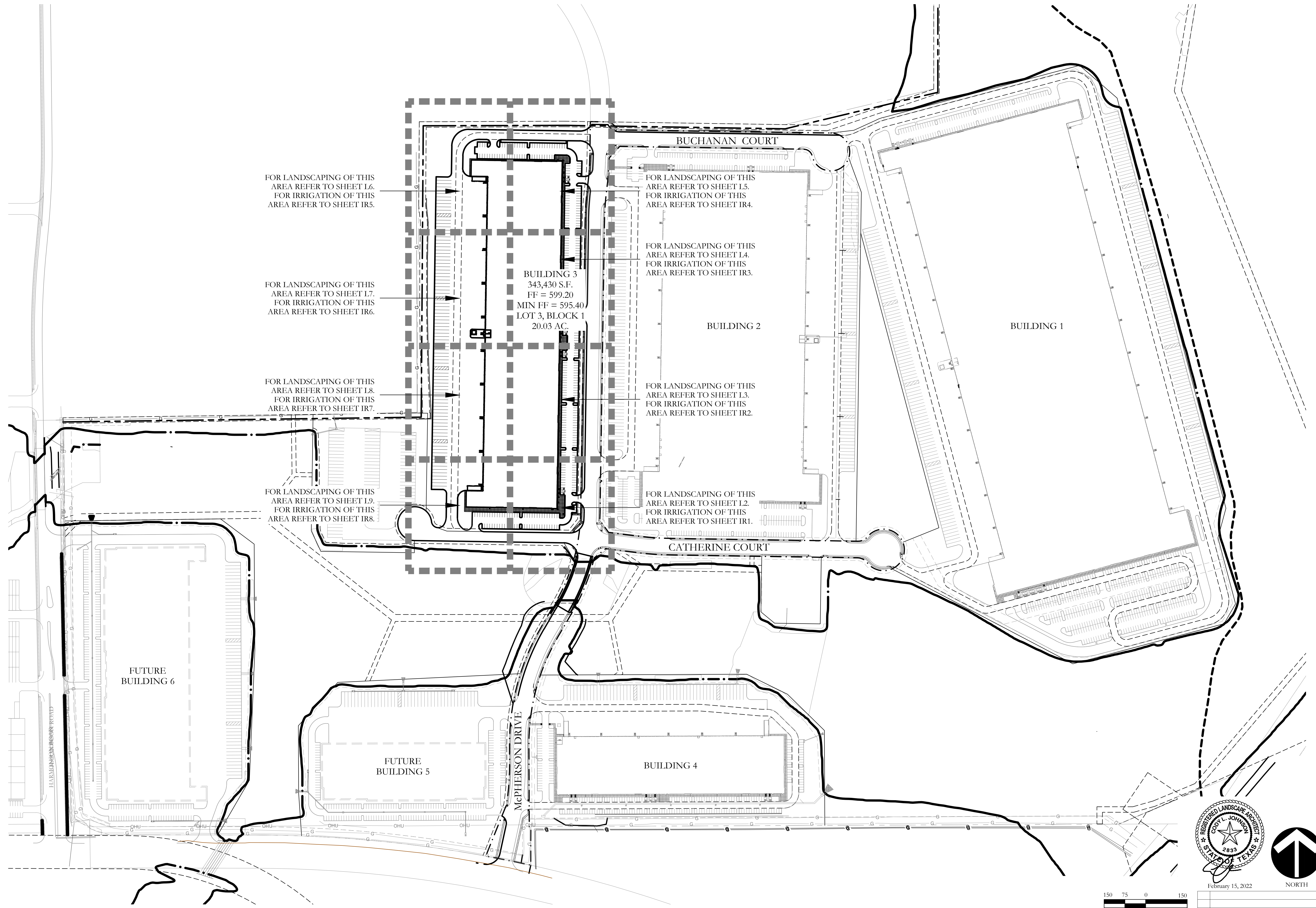
- IRRIGATION STANDARDS:
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

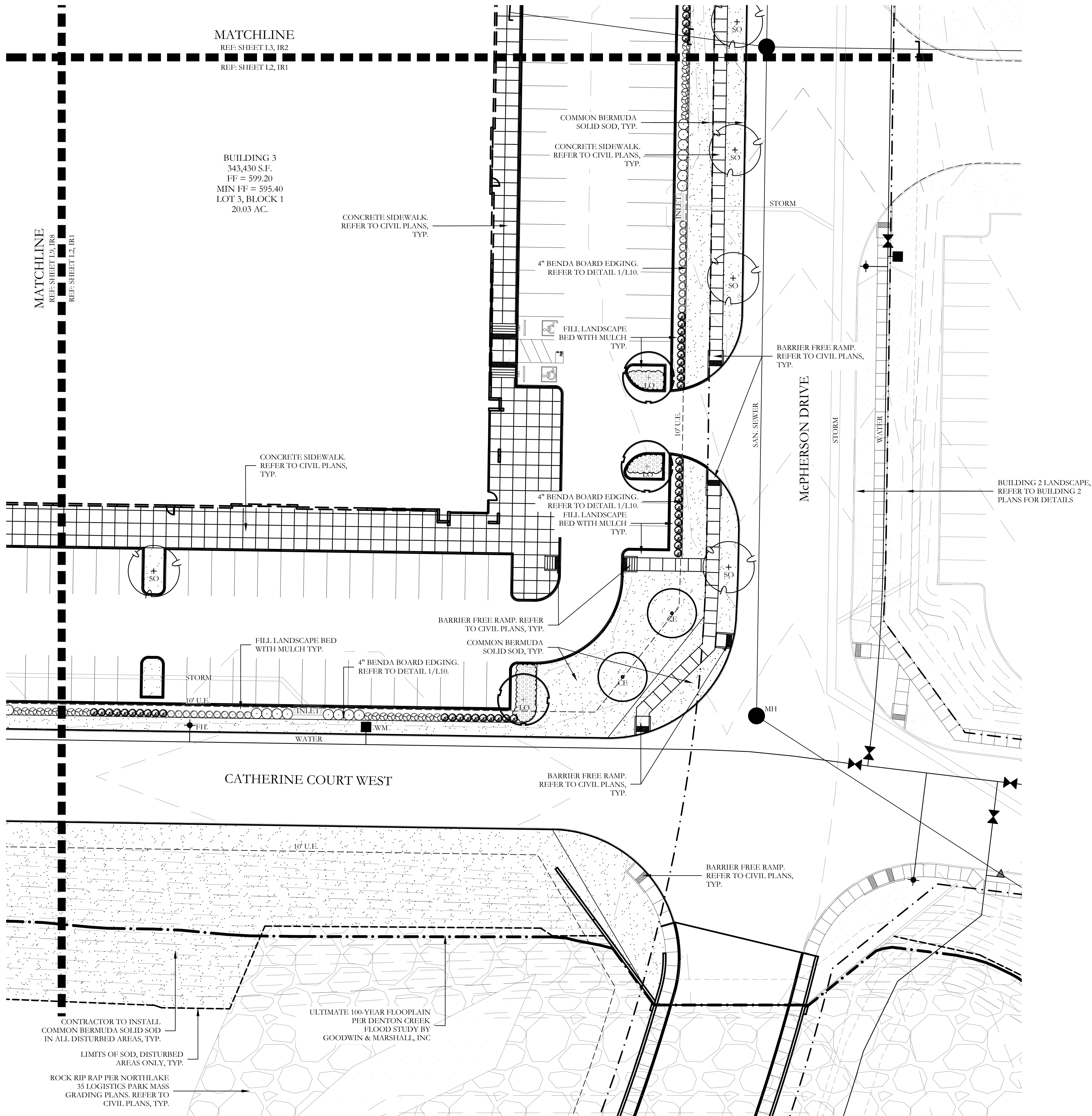
- TREE PROTECTION NOTES:
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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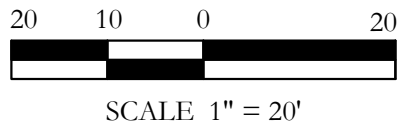


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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	CRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		DWARF GLOSSY ABELIA	LINNAEA X GRANDIFLORA	5 GALLON	36" O.C.
		ARTEMISIA	ARTEMISIA SCHMIDTIANA 'SILVER MOUND'	1 GALLON	24" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 3



SCALE:
1" = 20'

One Inch

JVC No GAM016D

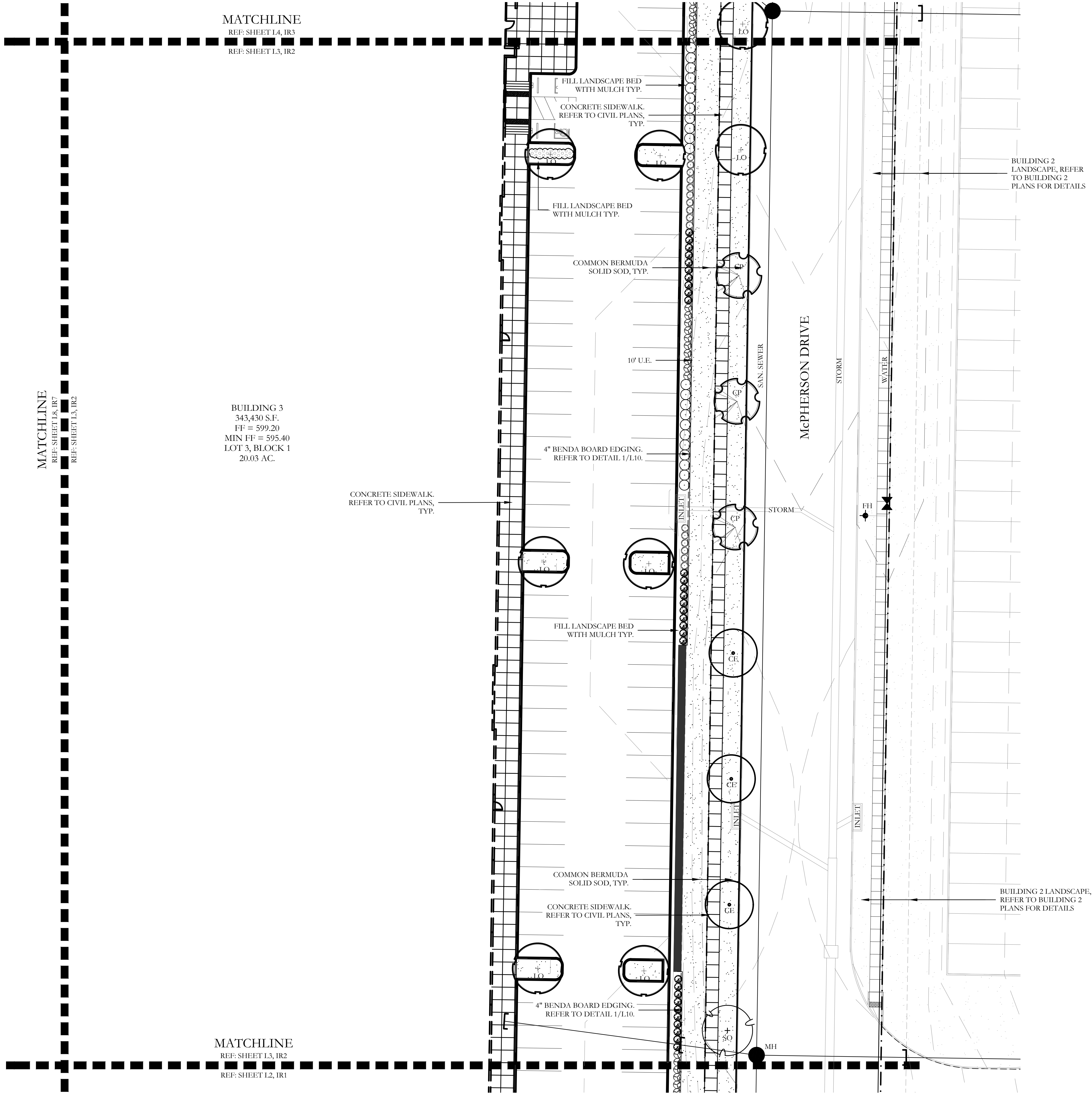
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NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

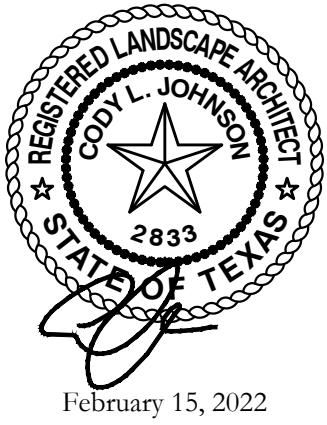
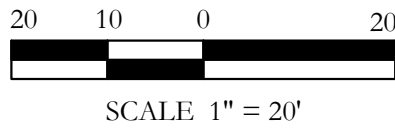
JOHNSON VOLK
CONSULTING
JBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	GRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 3



February 15, 2022



NORTH

SCALE:

1" = 20'

One Inch

JVC No GAM016D

L3 of 10

NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING

TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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MATCHLINE
REF: SHEET L7, IR6
REF: SHEET L4, IR3

MATCHLINE
REF: SHEET L5, IR4
REF: SHEET L4, IR3

BUILDING 3
343,430 S.F.
FF = 599.20
MIN FF = 595.40
LOT 3, BLOCK 1
20.03 AC.

CONCRETE SIDEWALK.
REFER TO CIVIL PLANS,
TYP.

4" BENDA BOARD EDGING.
REFER TO DETAIL 1/L10.

FILL LANDSCAPE BED
WITH MULCH TYP.

CONCRETE SIDEWALK.
REFER TO CIVIL PLANS,
TYP.

COMMON BERMUDA
SOLID SOD, TYP.

10' U.E.

BARRIER FREE RAMP.
REFER TO CIVIL PLANS,
TYP.

4" BENDA BOARD EDGING.
REFER TO DETAIL 1/L10.
FILL LANDSCAPE BED
WITH MULCH TYP.

CONCRETE
SIDEWALK. REFER
TO CIVIL PLANS, TYP.

COMMON BERMUDA
SOLID SOD, TYP.

McPHERSON DRIVE

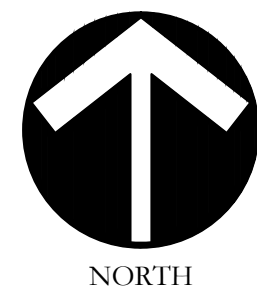
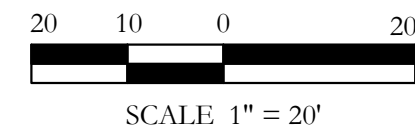
BUILDING 2
LANDSCAPE, REFER
TO BUILDING 2
PLANS FOR DETAILS

BUILDING 2 LANDSCAPE,
REFER TO BUILDING 2
PLANS FOR DETAILS

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	CM	CRAPE MYRTLE 'MUSKOGEE'	LAGERSTROEMIA X 'MUSKOGEE'	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: ALL LANDSCAPE SHOWN TO
BE INSTALLED WITH BUILDING 3



SCALE:
1" = 20'

One Inch

JVC No GAM016D

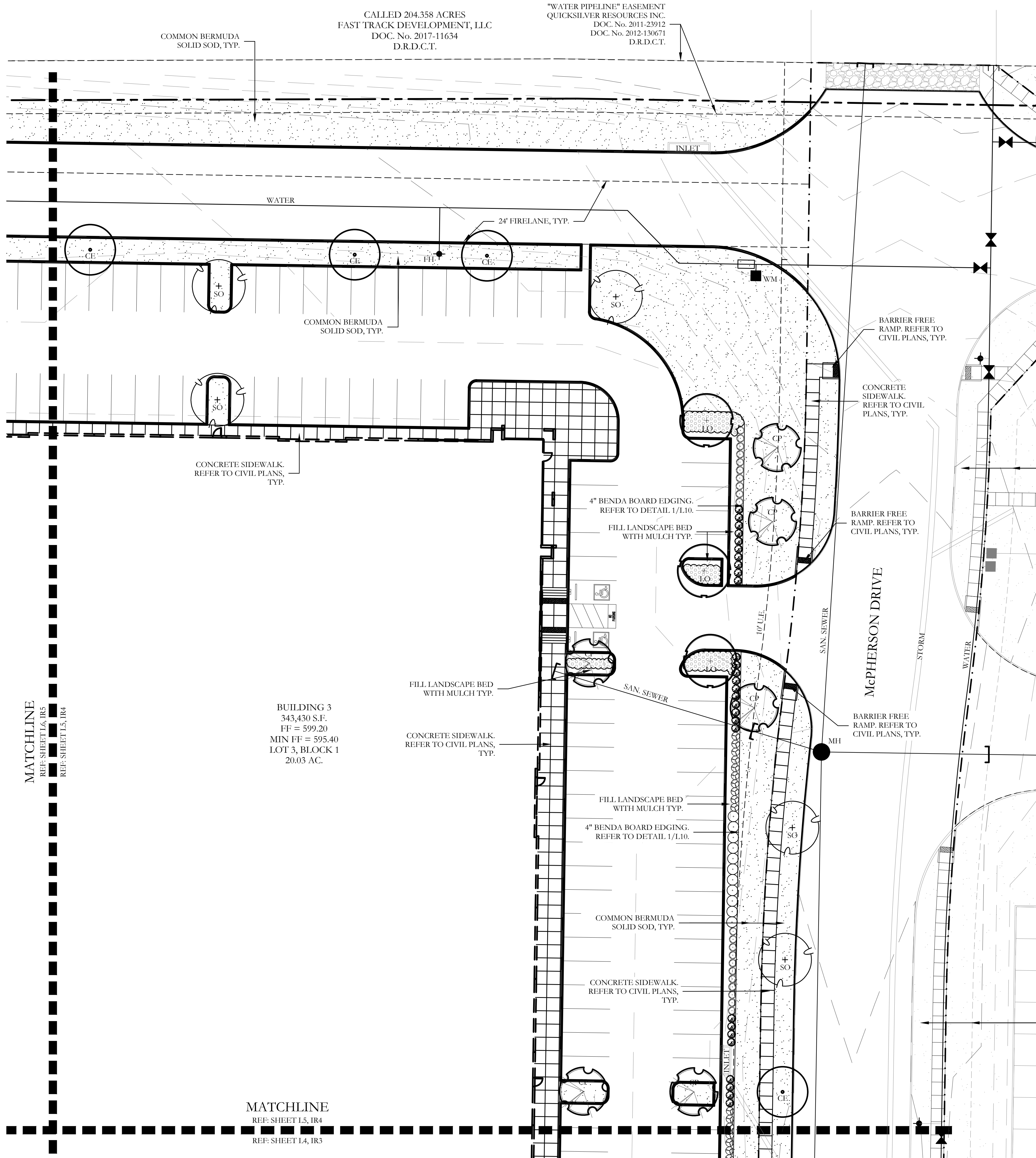
L4 of 10

NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

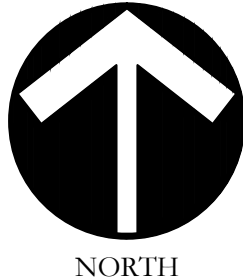
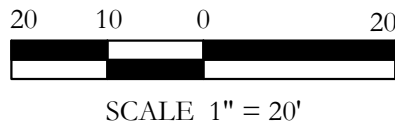
JOHNSON VOLK
CONSULTING
TBP&LS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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PLANT LEGEND					
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NOTE: ALL LANDSCAPE SHOWN TO
BE INSTALLED WITH BUILDING 3



February 15, 2022

NORTH

SCALE:

1" = 20'

One Inch

JVC No GAM016D

L5 of 10

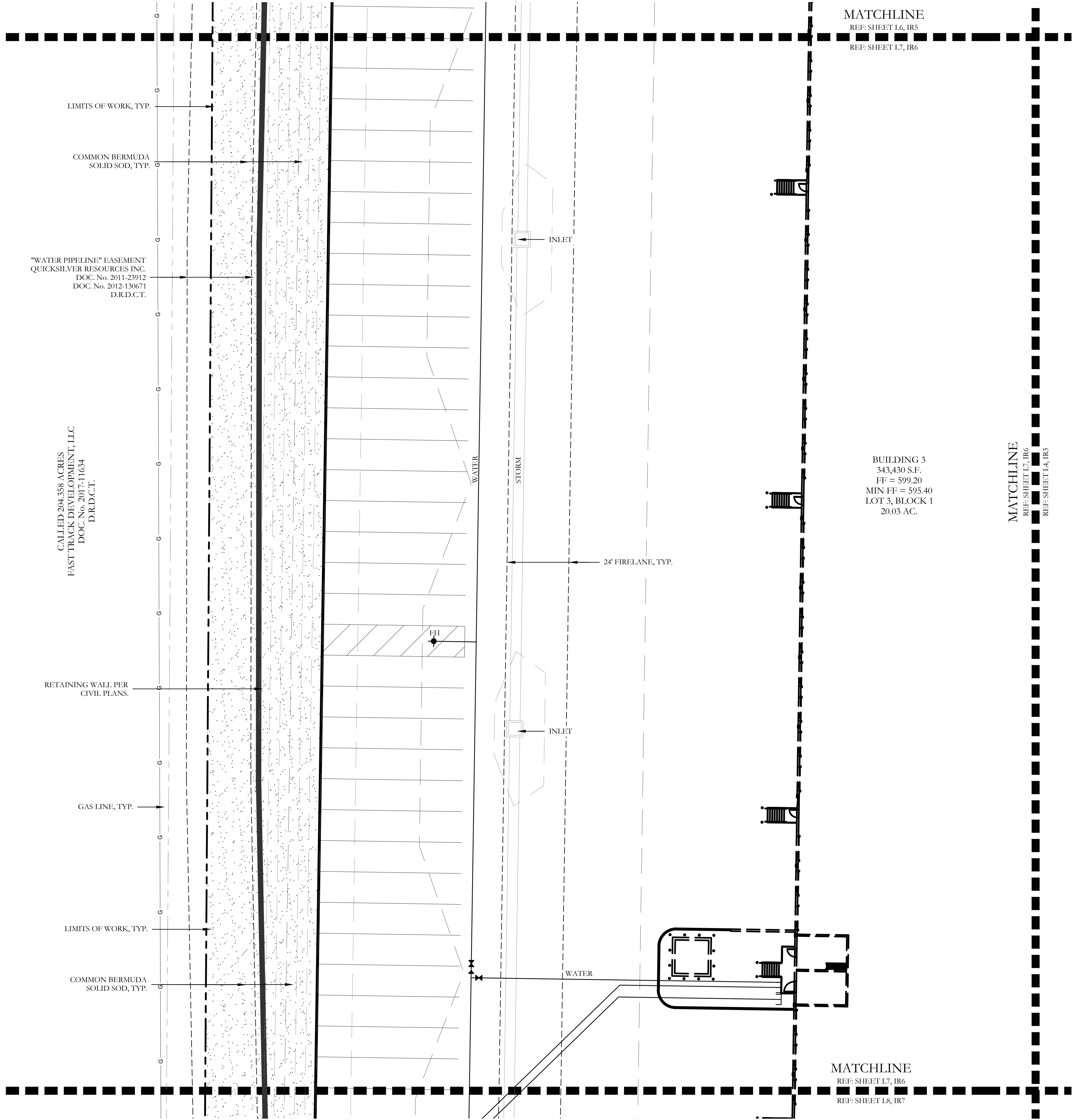
NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING

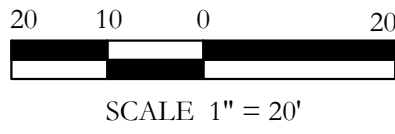
TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
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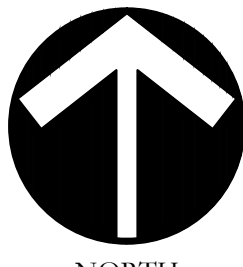


PLANT LEGEND					
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NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 3



February 15, 2022



NORTH

SCALE:

1" = 20'

One Inch

JVC No GAM016D

L7 of 10

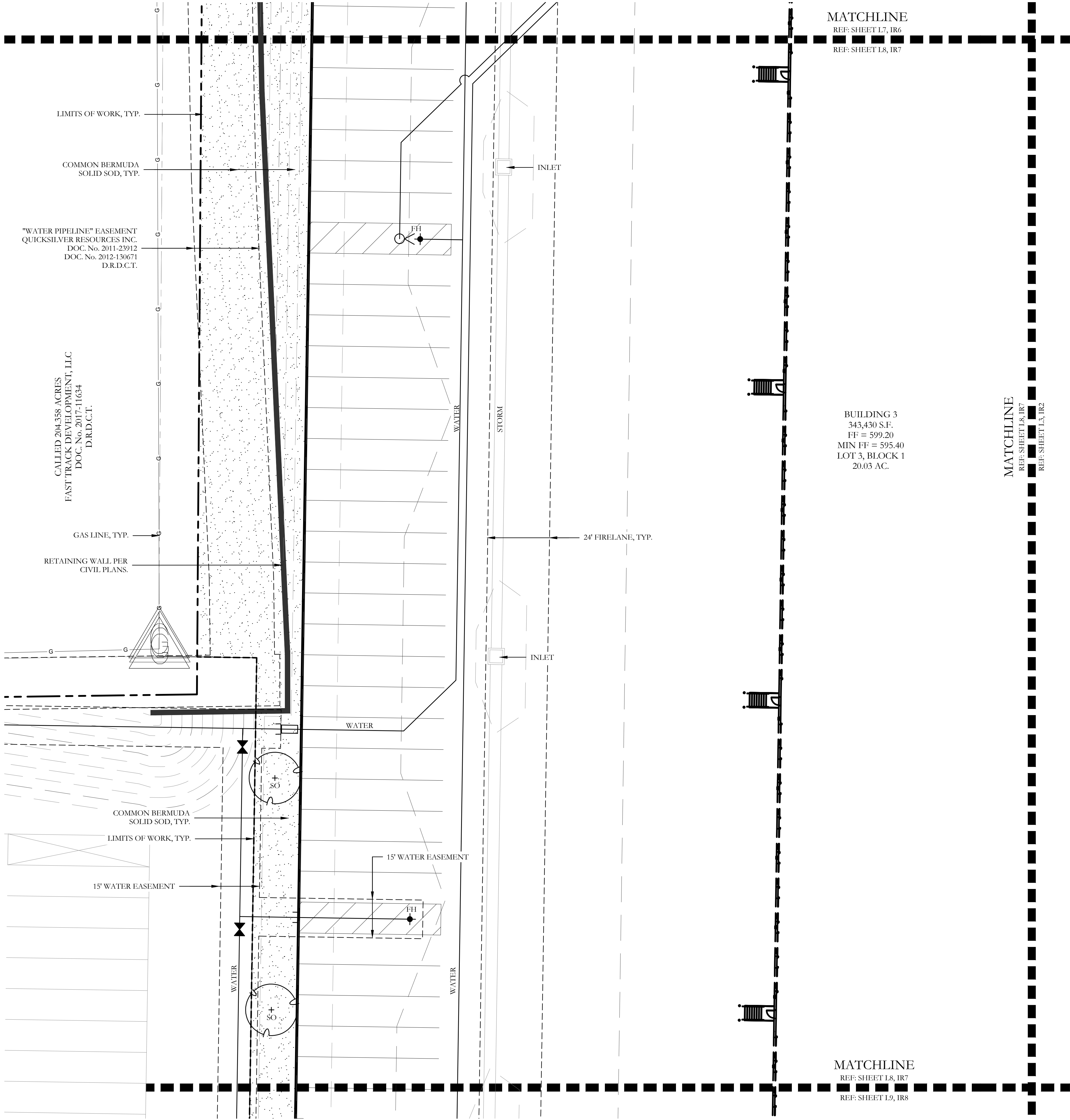
NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING

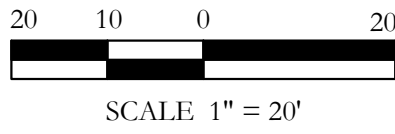
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704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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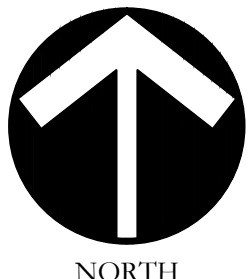


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NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 3



February 15, 2022



NORTH

SCALE:
1" = 20'

One Inch

JVC No GAM016D

L8 of 10

NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

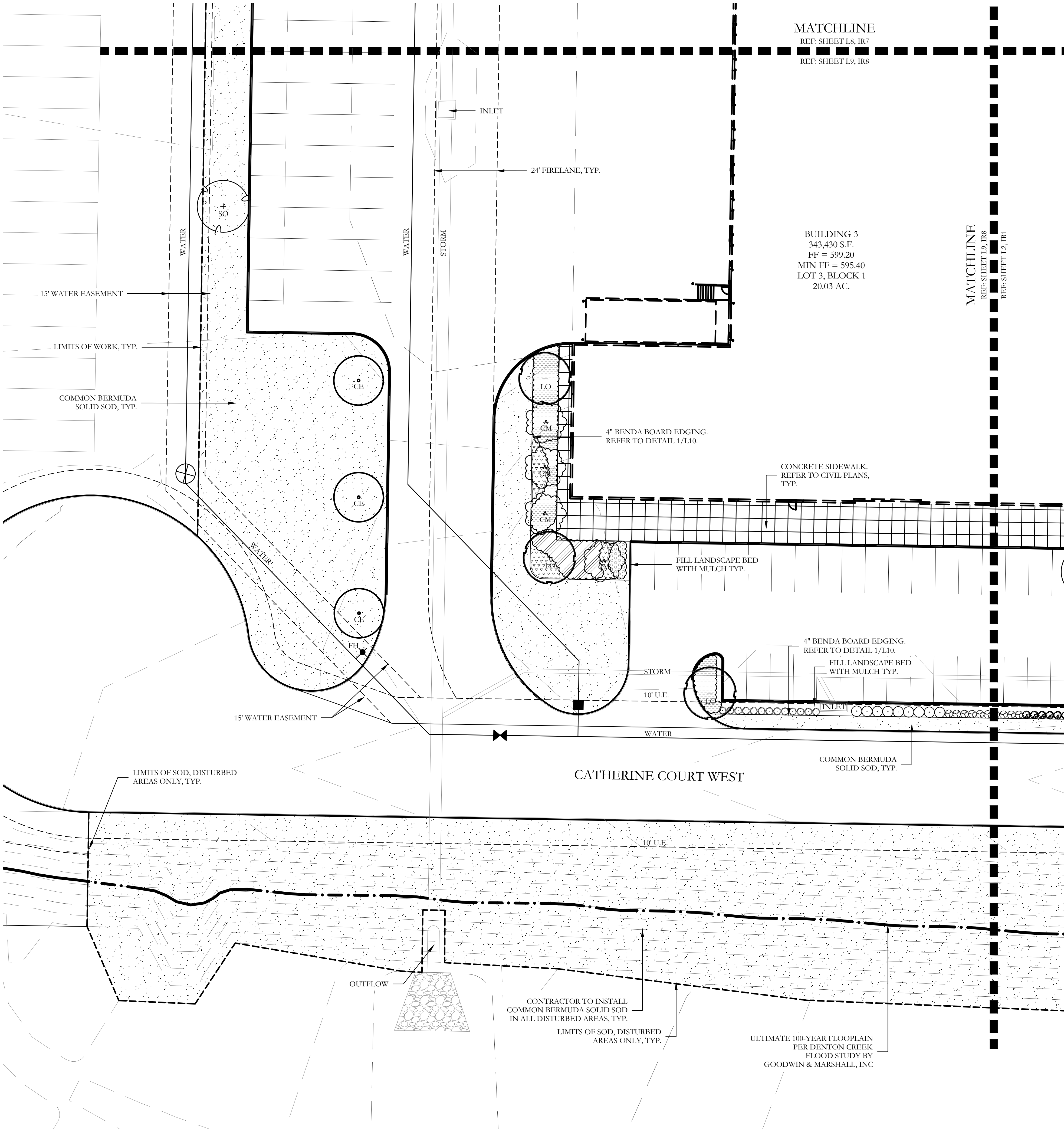
SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING



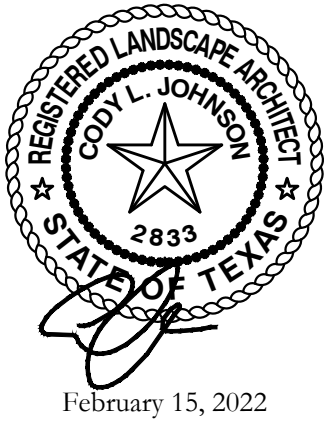
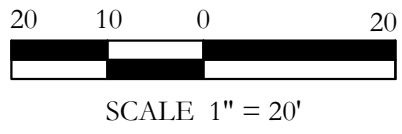
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NOTE: ALL LANDSCAPE SHOWN TO BE INSTALLED WITH BUILDING 3



February 15, 2022



NORTH

SCALE:

1" = 20'

One Inch

JVC No GAM016D

L9 of 10

NORTHLAKE 35 LOGISTICS PARK
BUILDING 3
TOWN OF NORTHLAKE
DENTON COUNTY, TEXAS

SCREENING AND BUFFERING
LANDSCAPE PLAN

JOHNSON VOLK
CONSULTING
TBP&S: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



A. MINIMUM TWENTY (20) FOOT LANDSCAPE BUFFER PROVIDED

B. 1 - 3" CALIPER SHADE TREE SHALL BE PLANTED FOR EVERY 50 LINEAR FEET OF STREET FRONTAGE.

REQUIRED: 1,277 LF OF FRONTAGE / 50 LF = 25.54 - 3" CAL. TREES REQUIRED

PROVIDED: 26 - 3" CALIPER SHADE TREES PROVIDED

A. WHERE PARKING LOTS AND DRIVES ABUT THE LANDSCAPE STRIP ALONG A STREET RIGHT-OF-WAY, A CONTINUOUS HEDGE OF EVERGREEN SHRUBS SHALL BE PROVIDED TO SCREEN THOSE AREAS FROM THE STREET. THE SHRUBS MUST BE A MINIMUM OF THREE (3) FEET IN HEIGHT AT MATURITY AND PLANTED ACCORDING TO THE SPACING SHOWN BELOW.

B. LANDSCAPING SHALL ALSO BE PROVIDED FOR THE INTERIOR EMPLOYEE AND CUSTOMER PARKING AREAS. TREES SHALL BE PLANTED IN EACH PARKING AREA TO ATTAIN A MINIMUM AVERAGE DENSITY OF ONE (1) SHADE TREE (TWO AND ONE-HALF-INCH CALIPER MINIMUM) FOR EACH TWENTY (20) PARKING SPACES PROVIDED, OR ANY FRACTION OF NINE (9) FEET. THE PLANTING AREA PER TREE SHALL BE A MINIMUM OF NINE (9) FEET WIDE AND TWENTY (20') TREE DEEP.

REQUIRED: 450 PARKING SPACES / 20 = 23 - 3" CAL. TREES REQUIRED
PROVIDED: 28 - 3" CALIPER SHADE TREES PROVIDED



1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW/VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS SIDEWALKS, UTILITY LINES, STREET LIGHTS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL OF ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE INSTALLED TO DRAIN WATER PROPERLY. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWERS, AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LAWNS, GRASS, AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TRIMMED BRANCH MATERIAL SHALL BE REMOVED AFTER (1) GROWING SEASON, OR MORE THAN (2) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE PROTECTED ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN THE PROTECTED ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

