

1. Planning & Zoning Agenda - January 4, 2022

Documents:

[PZ AGENDA 01-04-2022.PDF](#)

2. Planning & Zoning Agenda - January 4, 2022

Documents:

[PZ AGENDA PACKET - 01-04-2022.PDF](#)



Chris Amarante, Commissioner
Aaron Fowler, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

PLANNING & ZONING COMMISSION AGENDA

January 4, 2022

5:30 PM

Northlake Town Hall

1500 Commons Circle, Suite 300

Northlake, Texas 76226

A. CALL TO ORDER

B. PUBLIC INPUT

This item is available for citizens to address the Planning & Zoning Commission on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda.

C. UNFINISHED BUSINESS

1. Consider a Final Plat of Harvest, Phase 9, a proposed residential development consisting of 44 residential lots on a 32.435-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located on the north side of Old Justin Road approximately 1500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant/ developer. Jones & Carter is the engineer/surveyor. Case # FP 21-014
2. Consider a Final Plat of Harvest, Phase 10, a proposed residential development consisting of 63 residential lots on a 20.950-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located approximately 900 feet north of Old Justin Road and 1500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant/ developer. Jones & Carter is the engineer/surveyor. Case # FP 21-015

D. NEW BUSINESS

1. Consider approval of the minutes from the Planning and Zoning Commission meeting held on November 30, 2021
2. Consider a recommendation and file written comments on the proposed amendment of the Master Thoroughfare Plan, Land use Assumptions, Capital Improvements Plan, and roadway impact fees.
3. Consider a recommendation on a zoning change from C – Commercial to C-PD – Commercial Planned Development for an approximately 5.2725-acre tract of land situated in the L. Medlin Survey, Abstract No. 830, and known as Lot 3, Block 3, Northport Addition, generally located on the southwest corner of Northport Drive and Dale Earnhardt Way. Northlake Innkeepers, Ltd. is the owner. Town of Northlake is the applicant. Case # PD-21-007
 - i. Public Hearing
 - ii. Consider recommendation



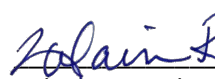
4. Consider approval of a Final Plat of Northlake Logistics Crossing, a proposed industrial development consisting of 2 lots on a 124.061-acre tract of land in the H. Anderson Survey, Abstract No. 25 and the A. Gaultney Survey, Abstract No. 500, generally located north of Victory Circle East on the west side of Harmonson Road, and zoned Industrial (I). Scannell Properties #444, LLC is the owner/applicant/developer. Goodwin and Marshall, Inc. is the engineer/surveyor. Case # FP-21-012
5. Consider approval of a Final Plat of Canyon Falls LIV Development, a proposed one-lot plat for a multifamily residential development on a 15.730-acre tract of land in the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. LIV Development, LLC is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # FP 21-018
6. Consider approval of a Site Plan of Canyon Falls LIV Development, a proposed multifamily residential development consisting of 300 units on a 15.730-acre tract of land in the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive, and zoned Mixed-Use Planned Development (MPD). NASH Canyon Falls, LLC is the owner. LIV Development, LLC is the applicant/developer. J. Volk Consulting is the engineer/surveyor. Case # SP-21-005

E. ADJOURNMENT

The Planning and Zoning Commission reserves the right to adjourn into Executive Session during the course of this meeting to discuss any item on the posted agenda as authorized by Chapter 551 of the Texas Government Code.

CERTIFICATION

I, Zolaina R. Parker, Town Secretary for the Town of Northlake, Texas, hereby certify that the above agenda was posted on the official bulletin board located at Town Hall, 1500 Commons Circle, Suite 300, Northlake, Texas 76226, on December 30, 2021, by 5:00 p.m., in accordance with Chapter 551 of the Texas Government Code.


Zolaina R. Parker
Town Secretary



NOTICE: THE TOWN OF NORTHLAKE'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA). THE TOWN WILL PROVIDE ACCOMMODATIONS, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED IF REQUESTED AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE TOWN SECRETARY'S OFFICE AT 940-242-5702 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD), BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATIONS CAN BE ARRANGED.



Chris Amarante, Commissioner
Aaron Fowler, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

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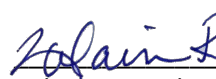
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Zolaina R. Parker
Town Secretary



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NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM); HARVEST DEVELOPMENT AGREEMENT

SUBJECT: HARVEST PHASE 9 FINAL PLAT (FP-21-014)



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)

FINAL PLAT INFORMATION:

Owner/Applicant: Belmont 407, LLC

Engineer/Surveyor: Jones & Carter, Inc.

Zoning: ETJ - No zoning. Land use governed by Development Agreement. The entire area of this final plat is within Zone 1b & 1c as identified in the Harvest Development Code.

Site: Approximately 32.435 acres out of the Patrick Rock Survey, Abstract No. 1063, generally located on the north side of Old Justin Road approximately 1500 feet east of Schober Road. The site is included in the Harvest Phase 9 & 10 preliminary plat which was approved on March 25, 2021.

Summary: This application is for a final plat of a phase of Harvest consisting of 44 residential lots and 3 non-residential open space lots.

Staff Analysis: The applicant has provided a final plat application in accordance with requirements of the Harvest Development Agreement (DA) and the Unified Development Code (UDC). The final plat conforms to the approved preliminary plat and meets all density and lot dimension standards outlined in the Harvest Development Code.

A drainage study and construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and will meet all engineering design requirements pending a few remaining comments to be addressed prior to the P&Z meeting. Staff will inform you at the meeting if all requirements have been met. The plat application will be considered filed upon approval of the drainage study and construction plans.

This plat was on the November 30th P&Z meeting agenda, but consideration was continued to this meeting due to remaining comments to be addressed on the drainage study and construction plans. The 30 day "shot clock" for plat approval does not start until the drainage study and construction plans are approved.

P&Z ACTIONS:

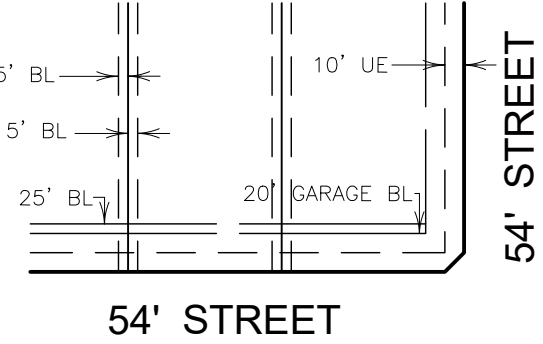
- Approve or take no action (results in approval 30 days from being filed) if remaining comments on the drainage study and construction plans are addressed
- Continue to next meeting or approve with conditions if any comments on the drainage study and construction plans remain

BOUNDARY LINE & CURVE TABLE					
CURVE TABLE					
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	402.00'	352.10'	340.95'	S 64°45'00" E	50°10'59"
C2	273.00'	92.33'	91.89'	S 33°35'44" E	19°22'40"
C3	562.00'	242.34'	240.40'	N 60°17'13" E	25°09'15"
C4	377.00'	21.12'	21.11'	N 13°49'52" W	3°12'33"
C5	323.00'	17.31'	17.30'	S 13°45'41" E	3°04'12"
C6	377.00'	33.89'	33.87'	N 01°11'22" E	5°09'00"
C7	323.00'	18.30'	18.29'	S 02°08'30" W	3°14'44"
C8	377.00'	91.27'	91.05'	N 89°44'15" E	13°52'17"
C9	323.00'	55.86'	55.79'	S 88°16'53" E	9°54'32"
C10	377.00'	26.09'	26.09'	N 04°22'45" E	3°57'56"
C11	323.00'	127.58'	126.75'	S 04°57'12" E	22°37'50"
C12	273.00'	124.21'	123.14'	S 24°21'04" W	26°04'09"
C13	527.00'	248.79'	246.48'	S 23°51'42" W	27°02'53"
C14	1277.00'	448.13'	445.83'	S 88°05'21" E	20°06'23"
C15	1223.00'	72.27'	72.26'	N 83°33'02" E	3°23'09"

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 44°33'10" W	14.21'
L2	N 0°09'30" E	5.40'
L3	N 89°50'30" W	54.00'
L4	S 0°09'30" W	5.50'
L5	S 45°09'30" W	14.14'
L6	S 89°50'30" E	85.19'
L7	S 89°50'30" E	22.33'
L8	N 38°15'40" E	98.79'
L9	N 86°05'36" E	97.80'
L10	S 88°39'49" E	14.34'
L11	N 28°39'53" E	14.22'
L12	N 77°46'25" E	54.00'
L13	S 61°08'06" E	14.11'
L14	N 73°43'53" E	238.88'
L15	N 35°41'26" E	16.23'
L16	S 86°14'08" E	54.00'
L17	S 49°03'41" E	13.29'
L18	S 83°19'36" E	59.21'
L19	N 86°45'51" E	52.25'
L20	N 44°10'11" E	14.78'

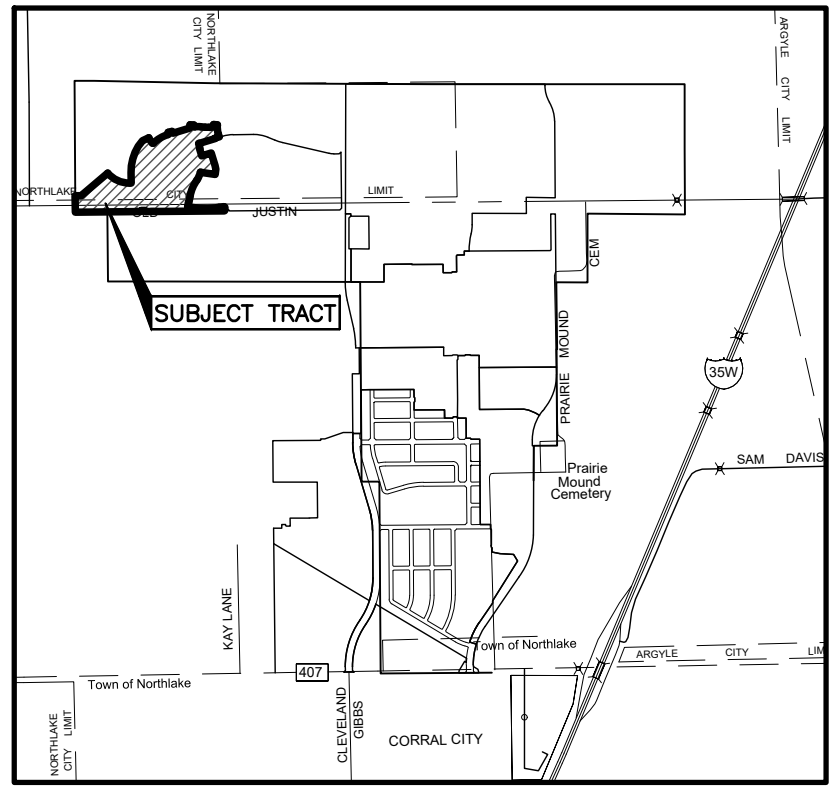
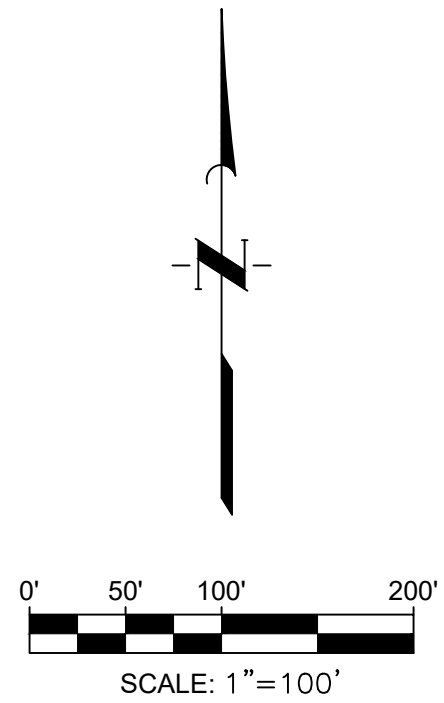
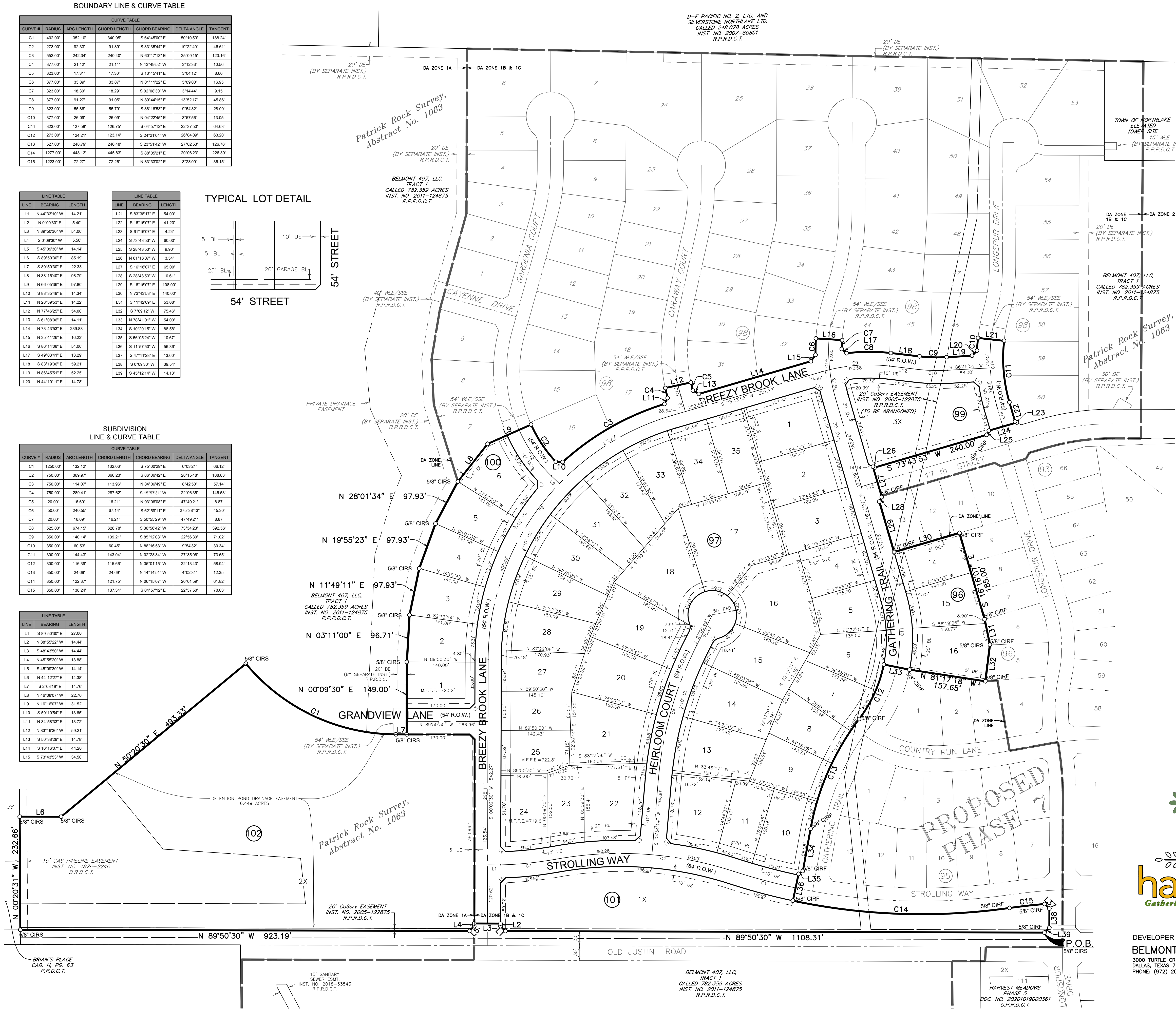
LINE TABLE		
LINE	BEARING	LENGTH
L21	S 83°38'17" E	54.00'
L22	S 16°16'07" E	41.20'
L23	S 61°16'07" E	4.24'
L24	S 73°43'53" W	60.00'
L25	S 28°43'53" W	9.90'
L26	N 61°16'07" W	3.54'
L27	S 16°16'07" E	65.00'
L28	S 28°43'53" W	10.61'
L29	S 16°16'07" E	108.00'
L30	N 73°43'53" E	140.00'
L31	S 11°42'09" E	53.68'
L32	S 7°02'10" W	75.46'
L33	N 78°41'01" W	54.00'
L34	S 10°20'15" W	88.58'
L35	S 56°05'24" W	10.67'
L36	S 11°57'50" W	56.36'
L37	S 47°11'28" E	13.60'
L38	S 0°09'30" W	39.54'
L39	S 45°12'14" W	14.13'

TYPICAL LOT DETAIL



SUBDIVISION LINE & CURVE TABLE					
CURVE TABLE					
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1250.00'	132.12'	132.06'	S 75°00'29" E	6°03'21"
C2	750.00'	369.97'	366.23'	S 86°06'42" E	28°15'48"
C3	750.00'	114.07'	113.96'	N 84°06'49" E	8°42'50"
C4	750.00'	289.41'	287.62'	S 15°57'31" W	22°08'35"
C5	20.00'	16.69'	16.21'	N 03°08'08" E	47°49'21"
C6	50.00'	240.55'	67.14'	S 62°59'11" E	275°38'43"
C7	20.00'	16.69'	16.21'	S 50°55'29" W	47°49'21"
C8	525.00'	674.15'	628.78'	S 36°56'42" W	73°34'23"
C9	350.00'	140.14'	139.21'	S 85°12'09" W	22°56'30"
C10	350.00'	60.53'	60.45'	N 88°16'53" W	9°54'32"
C11	300.00'	144.43'	143.04'	N 02°29'34" W	27°35'08"
C12	300.00'	116.39'	115.66'	N 35°01'15" W	22°13'43"
C13	350.00'	24.69'	24.69'	N 14°14'51" W	4°02'31"
C14	350.00'	122.37'	121.75'	N 06°15'07" W	20°01'59"
C15	350.00'	138.24'	137.34'	S 04°57'12" E	22°37'50"

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 89°50'30" E	27.00'
L2	N 38°55'22" W	14.44'
L3	S 48°43'50" W	14.44'
L4	N 45°55'20" W	13.88'
L5	S 45°09'30" W	14.14'
L6	N 44°12'27" E	14.36'
L7	S 2°03'19" E	14.76'
L8	N 46°08'07" W	22.76'
L9	N 16°16'07" W	31.52'
L10	S 59°10'54" E	13.65'
L11	N 34°58'33" E	13.72'
L12	N 83°19'36" W	59.21'
L13	S 50°38'29" E	14.78'
L14	S 16°16'57" E	44.20'
L15	S 73°43'53" W	34.50'



LEGEND

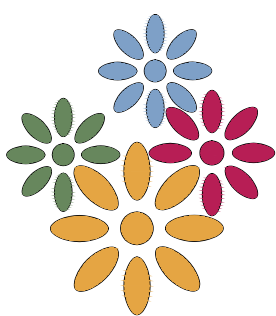
- POB POINT OF BEGINNING
- CM CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- VOL. VOLUME
- PC. PAGE
- EASMT EASEMENT
- IRF IRON ROD FOUND
- CIRF CAPPED IRON ROD FOUND
- CIRS 5/8" IRON ROD WITH CAP
- BL STAMPED "JONES CARTER" SET
- UE BUILDING LINE
- SSE UTILITY EASEMENT
- DE SANITARY SEWER EASEMENT
- WLE DRAINAGE EASEMENT
- NR WATERLINE EASEMENT
- D.R.D.C.T. NON-RADIAL LOT LINE
- R.P.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- O.R.D.C.T. REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
- C.C.F. OFFICIAL RECORDS, DENTON COUNTY, TEXAS
- FME COUNTY CLERK FILE NUMBER
- VAM FENCE MAINTENANCE EASEMENT
- DA VISIBILITY, ACCESS, & MAINTENANCE EASEMENT
- DA DENOTES CHANGE IN STREET NAME
- 1 BLOCK NUMBER
- FME 5' FENCE MAINTENANCE EASEMENT
- DA DRAINAGE AREA
- DA DA ZONE LIMITS

RESIDENTIAL LOTS
80' LOTS = 30
100' LOTS = 14
TOTAL = 44

LAND USE	ACREAGE	LOTS
RESIDENTIAL	15.711	44
HOA/OPEN SPACE	11.623	3
STREET - ROW	5.101	-
TOTAL	32.435	47

FINAL PLAT OF HARVEST PHASE 9

LOTS 14-16, BLOCK 96; LOTS 1-35, BLOCK 97; LOTS 3X, BLOCK 99; LOTS 1-6, BLOCK 100; LOT 1X, BLOCK 101; LOT 2X, BLOCK 102
BEING 32.435 ACRES
SITUATED IN THE
PATRICK ROCK SURVEY, ABSTRACT NO. 1063
IN THE
ETJ OF TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
47 LOTS BY USE
(44 RESIDENTIAL, AND 3 NON-RESIDENTIAL /OPEN SPACE LOTS)
DECEMBER 2021



DEVELOPER / OWNER:
BELMONT 407, LLC
3000 TURTLE CREEK BLVD.
DALLAS, TEXAS 75219
PHONE: (972) 201-2800

ENGINEER / SURVEYOR:
JONES CARTER
Texas Board of Professional Engineers Registration No. F-439
2805 Dallas Parkway, Suite 600 • Plano, Texas 75093
972.488.3880
Texas Board of Professional Land Surveying Registration No. 100461-03
Contact: Eddie Martinez, E-mail: emartinez@jonescarter.com

OWNER'S CERTIFICATION

STATE OF TEXAS :
COUNTY OF DENTON :

WHEREAS, Belmont 407, LLC, is the owner of a 32.435 acre tract, being part of a called 782.359 acre tract in the Patrick Rock Survey, Abstract No. 1063, described in deed to Belmont 407, LLC, as recorded in Instrument No. 2011-124875 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with cap stamped "Jones Carter" set for corner from which a 5/8" iron rod with cap stamped "Jones Carter" found for a northern right-of-way corner of Old Justin Road, as recorded in Instrument No. 2019-290, R.P.R.D.C.T., bears South 89 Degrees 50 Minutes 30 Seconds East, 1633.66 feet;

THENCE over and cross said 782.359 acre tract, the following courses:

North 89 Degrees 50 Minutes 30 Seconds West, a distance of 1108.31 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 44 Degrees 33 Minutes 10 Seconds West, a distance of 14.21 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 00 Degrees 09 Minutes 30 Seconds East, a distance of 5.40 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 89 Degrees 50 Minutes 30 Seconds West, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 00 Degrees 09 Minutes 30 Seconds West, a distance of 5.50 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 45 Degrees 09 Minutes 30 Seconds West, a distance of 14.14 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 89 Degrees 50 Minutes 30 Seconds West, a distance of 923.19 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner in the east line of Lot 36 of Brian's Place, as recorded in Cabinet H, Page 63, Plat Records Denton County, Texas (P.R.D.C.T.);

THENCE North 00 Degrees 20 Minutes 31 Seconds West, along the east line of said Lot 36, a distance of 232.66 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

THENCE departing said east line of said Lot 36, over and cross said 782.359 acre tract, the following courses:

South 89 Degrees 50 Minutes 30 Seconds East, a distance of 85.19 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 50 Degrees 20 Minutes 30 Seconds East, a distance of 493.33 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 50 Degrees 10 Minutes 59 Seconds, a radius of 402.00 feet, an arc distance of 352.10 feet and a chord bearing and distance of South 64 Degrees 45 Minutes 00 Seconds East, 340.95 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 89 Degrees 50 Minutes 30 Seconds East, a distance of 22.33 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 00 Degrees 09 Minutes 30 Seconds East, a distance of 149.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 03 Degrees 11 Minutes 00 Seconds East, a distance of 96.71 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 11 Degrees 49 Minutes 11 Seconds East, a distance of 97.93 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 19 Degrees 55 Minutes 23 Seconds East, a distance of 97.93 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 28 Degrees 01 Minutes 34 Seconds East, a distance of 97.93 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 38 Degrees 15 Minutes 40 Seconds East, a distance of 98.79 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 66 Degrees 05 Minutes 36 Seconds East, a distance of 97.80 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 19 Degrees 22 Minutes 40 Seconds, a radius of 273.00 feet, an arc distance of 92.33 feet and a chord bearing and distance of South 33 Degrees 35 Minutes 44 Seconds East, 91.89 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 88 Degrees 35 Minutes 49 Seconds East, a distance of 14.34 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Northeasterly, along said non-tangent curve to the right having a central angle of 25 Degrees 09 Minutes 15 Seconds, a radius of 552.00 feet, an arc distance of 242.34 feet and a chord bearing and distance of North 60 Degrees 17 Minutes 13 Seconds East, 240.40 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 28 Degrees 39 Minutes 53 Seconds East, a distance of 14.22 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Northwesterly, along said non-tangent curve to the right having a central angle of 03 Degrees 12 Minutes 33 Seconds, a radius of 377.00 feet, an arc distance of 21.12 feet and a chord bearing and distance of North 13 Degrees 49 Minutes 49 Seconds West, 21.11 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 77 Degrees 46 Minutes 25 Seconds East, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 03 Degrees 04 Minutes 12 Seconds, a radius of 323.00 feet, an arc distance of 17.31 feet and a chord bearing and distance of South 13 Degrees 45 Minutes 41 Seconds East, 17.30 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 61 Degrees 08 Minutes 06 Seconds East, a distance of 14.11 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 73 Degrees 43 Minutes 53 Seconds East, a distance of 239.88 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 35 Degrees 41 Minutes 26 Seconds East, a distance of 16.23 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Northeasterly, along said non-tangent curve to the right having a central angle of 05 Degrees 09 Minutes 00 Seconds, a radius of 377.00 feet, an arc distance of 33.89 feet and a chord bearing and distance of North 01 Degrees 11 Minutes 22 Seconds East, 33.87 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 86 Degrees 14 Minutes 08 Seconds East, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southwesterly, along said non-tangent curve to the left having a central angle of 03 Degrees 14 Minutes 44 Seconds, a radius of 323.00 feet, an arc distance of 18.30 feet and a chord bearing and distance of South 02 Degrees 08 Minutes 30 Seconds West, 18.29 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 49 Degrees 03 Minutes 41 Seconds East, a distance of 13.29 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Northeasterly, along said non-tangent curve to the right having a central angle of 13 Degrees 52 Minutes 17 Seconds, a radius of 377.00 feet, an arc distance of 91.27 feet and a chord bearing and distance of North 89 Degrees 44 Minutes 15 Seconds East, 91.05 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 83 Degrees 19 Minutes 36 Seconds East, a distance of 59.21 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a tangent curve to the left;

Southeasterly, along said tangent curve to the left having a central angle of 09 Degrees 54 Minutes 32 Seconds, a radius of 323.00 feet, an arc distance of 55.86 feet and a chord bearing and distance of South 88 Degrees 16 Minutes 53 Seconds East, 55.79 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 86 Degrees 45 Minutes 51 Seconds East, a distance of 52.25 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 44 Degrees 10 Minutes 11 Seconds East, a distance of 14.78 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

Northeasterly, along said non-tangent curve to the right having a central angle of 03 Degrees 57 Minutes 56 Seconds, a radius of 377.00 feet, an arc distance of 26.09 feet and a chord bearing and distance of North 04 Degrees 22 Minutes 45 Seconds East, 26.09 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 83 Degrees 38 Minutes 17 Seconds East, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 22 Degrees 37 Minutes 50 Seconds, a radius of 323.00 feet, an arc distance of 127.58 feet and a chord bearing and distance of South 04 Degrees 57 Minutes 12 Seconds East, 126.75 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 16 Degrees 16 Minutes 07 Seconds East, a distance of 41.20 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 61 Degrees 16 Minutes 07 Seconds East, a distance of 4.24 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 73 Degrees 43 Minutes 53 Seconds West, a distance of 60.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 28 Degrees 43 Minutes 53 Seconds West, a distance of 9.90 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 73 Degrees 43 Minutes 53 Seconds West, a distance of 240.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 61 Degrees 16 Minutes 07 Seconds West, a distance of 3.54 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 16 Degrees 16 Minutes 07 Seconds East, a distance of 65.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 28 Degrees 43 Minutes 53 Seconds West, a distance of 10.61 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 16 Degrees 16 Minutes 07 Seconds East, a distance of 108.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 73 Degrees 43 Minutes 53 Seconds East, a distance of 140.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 16 Degrees 16 Minutes 07 Seconds East, a distance of 185.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 11 Degrees 42 Minutes 09 Seconds East, a distance of 53.68 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 07 Degrees 09 Minutes 12 Seconds West, a distance of 75.46 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 81 Degrees 17 Minutes 18 Seconds West, a distance of 157.65 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 78 Degrees 41 Minutes 01 Seconds West, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Southwesterly, along said non-tangent curve to the right having a central angle of 26 Degrees 04 Minutes 09 Seconds, a radius of 273.00 feet, an arc distance of 124.21 feet and a chord bearing and distance of South 24 Degrees 21 Minutes 04 Seconds West, 123.14 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a reverse curve to the left;

Southwesterly, along said reverse curve to the left having a central angle of 27 Degrees 02 Minutes 53 Seconds, a radius of 527.00 feet, an arc distance of 248.79 feet and a chord bearing and distance of South 23 Degrees 51 Minutes 42 Seconds West, 246.48 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 10 Degrees 20 Minutes 15 Seconds West, a distance of 88.58 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 56 Degrees 05 Minutes 24 Seconds West, a distance of 10.67 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 11 Degrees 57 Minutes 50 Seconds West, a distance of 56.36 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 20 Degrees 06 Minutes 23 Seconds, a radius of 1277.00 feet, an arc distance of 448.13 feet and a chord bearing and distance of South 88 Degrees 05 Minutes 21 Seconds East, 445.83 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a reverse curve to the right;

Northeasterly, along said reverse curve to the right having a central angle of 03 Degrees 23 Minutes 09 Seconds, a radius of 1223.00 feet, an arc distance of 72.27 feet and a chord bearing and distance of North 83 Degrees 33 Minutes 02 Seconds East, 72.26 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 47 Degrees 11 Minutes 28 Seconds East, a distance of 13.60 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 00 Degrees 09 Minutes 30 Seconds West, a distance of 39.54 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 45 Degrees 12 Minutes 14 Seconds West, a distance of 14.13 feet to the **POINT OF BEGINNING** and containing 1,412,873 square feet or 32.435 acres of land more or less.

STATE OF TEXAS :
COUNTY OF DENTON :

Now Therefore, know all men by these presents:

That Belmont 407, acting herein by and through his (its) duly authorized officer(s), does hereby adopt this plat designating the herein above described property as **Harvest Phase 9**, an addition within the extra-territorial jurisdiction of the Town of Northlake, Texas ("Town"), and does hereby dedicate, in fee simple, to Belmont Fresh Water Supply District No. 1 of Denton County ("District") forever, the easements, streets, rights-of-way and public improvements contained therein. District does hereby dedicate for the public use forever, the easements, the streets, rights-of-way and public improvements contained therein. The streets and alleys, if any, are, dedicated for street purposes. The easements, as shown, are, dedicated, for the public use forever, for the purposes indicated on this plat. Notwithstanding the foregoing, the District does hereby dedicate to the Town of Northlake, Texas, all water and sanitary sewer improvements contained in the right-of-way and easements as shown on this plat in consideration for the Town's agreement to utilize such improvements to serve property within the District. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the District. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easements limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town's use thereof.

Belmont 407, LLC,
a Delaware limited liability company

By: _____

Name: _____

Title: _____

STATE OF TEXAS
COUNTY OF DENTON

This instrument was acknowledged before me on _____, 20____. By _____ of Belmont 407, LLC, a Delaware limited liability company, on behalf of said limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledgement to me that he executed the same for the purpose of and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, this the _____ day of _____, 20____.

Notary Public, State of Texas

My Commission expires : _____

APPROVED BY THE NORTHLAKE PLANNING AND ZONING
COMMISSION ON:

Date

Chairperson, Planning and Zoning Commission

Town Secretary, Town of Northlake

REVIEWED AND APPROVED BY
BELMONT FRESH WATER SUPPLY DISTRICT NO. 1:

Date

DISTRICT ENGINEER

BELMONT FRESH WATER SUPPLY DISTRICT NO. 1

STATE OF TEXAS
COUNTY OF DENTON

KNOW ALL MEN BY THESE PRESENTS:

That I, Eduardo Martinez, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

Signature: **PRELIMINARY
FOR REVIEW ONLY.
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE**

Date: _____

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Eduardo Martinez, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____th day of _____, 20____.

Notary Public in and for the State of Texas

GENERAL NOTES:

1. Bearings are based on the Texas State Plane Coordinate System, NAD 83, North Central Zone 4202, per monuments found for the Final Plat of Harvest Phase I, as recorded in Instrument No. 2013-166, R.P.R.D.C.T.
2. All side lot lines are perpendicular or radial to street frontage unless otherwise noted Not Radial (NR).
3. All lots shown are Single-Family residential unless otherwise designated with an "X" with the lot number. all "X" lots are open space lots.
4. 5' side and 20' rear yard setbacks required on all residential lots unless otherwise noted.
5. All common areas to be owned by the Home Owners Association, and/or by the Fresh Water Supply District. All open spaces to be maintained by the Home Owners Association, Fresh Water Supply District, and/or the Public Improvement District.
6. All Dedicated Public Roads Will Be Maintained By The Fresh Water Supply District.
7. No Direct Residential Driveway Access to Old Justin Road is Allowed.
8. All Lots Shown on this Plat are within Zone 1B & 1C as Identified in the Harvest Development Agreement as amended. All Setbacks shall conform with the Zone Requirements of Section 5.1 Residential Development Standards Table of Harvest Development Code unless a more Restrictive Setback is Identified on the Plat with a Building Line.
9. No Construction shall be allowed within FEMA Designated Flood Plain without a Hydraulic Study.
10. All floodplain information on this plat is for graphical depiction only, as scaled off of FIRM Panel No. 48121C0505G, Revised April 18, 2011 for Denton County, Texas. Portions of the property are within Zone A, areas subject to flooding by the 1% annual chance flood with no flood elevations determined, and Unshaded Zone X, areas determined to be outside of the 0.2% annual chance floodplain.

11. The Owner shall indemnify, defend, and hold harmless the Town of Northlake, its officers, employees, and agents from any direct or indirect loss, damage, liability, or expense and attorney's fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance, condition, or use of the "Detention Facility", including any non-performance of the foregoing, in from and substance ass required by the "Uniform Development Code".

FINAL PLAT
OF
HARVEST PHASE 9

LOTS 14-16, BLOCK 96; LOTS 1-35, BLOCK 97; LOTS 3X,
BLOCK 99; LOTS 1-6, BLOCK 100; LOT 1X, BLOCK 101;

LOT 2X, BLOCK 102

BEING 32.435 ACRES

SITUATED IN THE

PATRICK ROCK SURVEY, ABSTRACT NO. 1063

IN THE

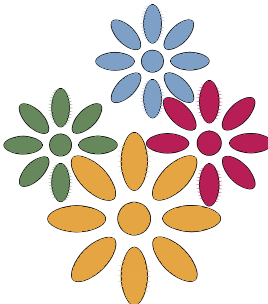
ETJ OF TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS

47 LOTS BY USE

(44 RESIDENTIAL, AND 3 NON-RESIDENTIAL

/OPEN SPACE LOTS)

DECEMBER 2021



harvest
Gathering. Growing. Living.

DEVELOPER / OWNER:
BELMONT 407, LLC
3000 TURTLE CREEK BLVD.
DALLAS, TEXAS 75219
PHONE: (972) 201-2800

ENGINEER / SURVEYOR:
JIC JONES | CARTER
Texas Board of Professional Engineers Registration No. F-439
2805 Dallas Parkway, Suite 600 • Plano, Texas 75093
972.488.3880
Texas Board of Professional Land Surveying Registration No. 100461-03
Contact: Eddie Martinez, E-mail: emartinez@jonescarter.com

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM); HARVEST DEVELOPMENT AGREEMENT

SUBJECT: HARVEST PHASE 10 FINAL PLAT (FP-21-015)



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)

FINAL PLAT INFORMATION:

Owner/Applicant: Belmont 407, LLC

Engineer/Surveyor: Jones & Carter, Inc.

Zoning: ETJ - No zoning. Land use governed by Development Agreement. The entire area of this final plat is within Zone 1b & 1c as identified in the Harvest Development Code.

Site: Approximately 20.950 acres out of the Patrick Rock Survey, Abstract No. 1063, generally located approximately 900 feet north of Old Justin Road and 1500 feet east of Schober Road. The site is included in the Harvest Phase 9 & 10 preliminary plat which was approved on March 25, 2021.

Summary: This application is for a final plat of a phase of Harvest consisting of 63 residential lots.

Staff Analysis: The applicant has provided a final plat application in accordance with requirements of the Harvest Development Agreement (DA) and the Unified Development Code (UDC). The final plat conforms to the approved preliminary plat and meets all density and lot dimension standards outlined in the Harvest Development Code.

A drainage study and construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and will meet all engineering design requirements pending a few remaining comments to be addressed prior to the P&Z meeting. Staff will inform you at the meeting if all requirements have been met. The plat application will be considered filed upon approval of the drainage study and construction plans.

This plat was on the November 30th P&Z meeting agenda, but consideration was continued to this meeting due to remaining comments to be addressed on the drainage study and construction plans. The 30 day "shot clock" for plat approval does not start until the drainage study and construction plans are approved.

P&Z ACTIONS:

- Approve or take no action (results in approval 30 days from being filed) if remaining comments on the drainage study and construction plans are addressed
- Continue to next meeting or approve with conditions if any comments on the drainage study and construction plans remain

OWNER'S CERTIFICATION

STATE OF TEXAS :
COUNTY OF DENTON :

WHEREAS, Belmont 407, LLC, is the owner of a 20.950 acre tract, being part of a called 782.359 acre tract in the Patrick Rock Survey, Abstract No. 1063, described in deed to Belmont 407, LLC, as recorded in Instrument No. 2011-124875 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.) and being more particularly described as follows:

COMMENCING at a 1/2" iron rod found for a southeast corner of Brian's Place, an addition to the town of Northlake recorded in Cabinet H, Page 63, Plat Records of Denton County, Texas (P.R.D.C.T.), and being a southeast corner of Lot 32 of said Brian's Place, said point also being the southwest corner of a called 29.574 acre tract of land described in deed to D-F Pacific No. 2, LTD. and Silverstone Northlake, LTD, as recorded in Instrument No. 2007-80858, R.P.R.D.C.T., from said point a 1/2" iron rod found for the northwest corner of said 782.359 acre tract bears North 89 Degrees 58 Minutes 17 Seconds West, a distance of 275.05 feet;

THENCE South 88 Degrees 54 Minutes 16 Seconds East, along the north line of said 782.359 ace tract and the south line of said 29.574 acre tract, a distance of 654.08 feet to a 5/8" iron rod with cap stamped "Jones Carter" set in the south line of a called 248.078 acre tract of land described in deed to D-F Pacific No. 2, LTD. and Silverstone Northlake, LTD, as recorded in Instrument No. 2007-80851, R.P.R.D.C.T., and the **POINT OF BEGINNING** of the herein tract described;

THENCE South 88 Degrees 54 Minutes 16 Seconds East, along the north line of said 782.359 acre tract and the south line of said 248.078 acre tract, a distance of 1310.87 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

THENCE departing the north line of said 782.359 acre tract and the south line of said 248.078 acre tract, over and cross said 782.359 acre tract, the following courses:

South 00 Degrees 01 Minutes 38 Seconds West, a distance of 204.52 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 89 Degrees 50 Minutes 25 Seconds West, a distance of 51.80 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 00 Degrees 09 Minutes 35 Seconds West, a distance of 516.56 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the left;

Southwesterly, along said non-tangent curve to the left having a central angle of 08 Degrees 56 Minutes 42 Seconds, a radius of 530.00 feet, an arc distance of 82.74 feet and a chord bearing and distance of South 78 Degrees 12 Minutes 15 Seconds West, 82.66 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 73 Degrees 43 Minutes 53 Seconds West, a distance of 38.63 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 61 Degrees 16 Minutes 07 Seconds West, a distance of 14.14 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 16 Degrees 16 Minutes 07 Seconds West, a distance of 41.20 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a tangent curve to the right;

Northwesterly, along said tangent curve to the right having a central angle of 22 Degrees 37 Minutes 50 Seconds, a radius of 323.00 feet, an arc distance of 127.58 feet and a chord bearing and distance of North 04 Degrees 57 Minutes 12 Seconds West, 126.75 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 83 Degrees 38 Minutes 17 Seconds West, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the left;

Southwesterly, along said non-tangent curve to the left having a central angle of 03 Degrees 57 Minutes 56 Seconds, a radius of 377.00 feet, an arc distance of 26.09 feet and a chord bearing and distance of South 04 Degrees 22 Minutes 45 Seconds West, 26.09 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 44 Degrees 10 Minutes 11 Seconds West, a distance of 14.78 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 86 Degrees 45 Minutes 51 Seconds West, a distance of 52.25 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a tangent curve to the right;

Northwesterly, along said tangent curve to the right having a central angle of 09 Degrees 54 Minutes 32 Seconds, a radius of 323.00 feet, an arc distance of 55.86 feet and a chord bearing and distance of North 88 Degrees 16 Minutes 53 Seconds West, 55.79 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 83 Degrees 19 Minutes 36 Seconds West, a distance of 59.21 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a tangent curve to the left;

Southwesterly, along said tangent curve to the left having a central angle of 13 Degrees 52 Minutes 17 Seconds, a radius of 377.00 feet, an arc distance of 91.27 feet and a chord bearing and distance of South 89 Degrees 44 Minutes 15 Seconds West, 91.05 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 49 Degrees 03 Minutes 41 Seconds West, a distance of 13.29 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the right;

Northeasterly, along said non-tangent curve to the right having a central angle of 03 Degrees 14 Minutes 44 Seconds, a radius of 323.00 feet, an arc distance of 18.30 feet and a chord bearing and distance of North 02 Degrees 08 Minutes 30 Seconds East, 18.29 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 86 Degrees 14 Minutes 08 Seconds West, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the left;

Southwesterly, along said non-tangent curve to the left having a central angle of 05 Degrees 09 Minutes 00 Seconds, a radius of 377.00 feet, an arc distance of 33.89 feet and a chord bearing and distance of South 01 Degrees 11 Minutes 22 Second West, 33.87 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 35 Degrees 41 Minutes 26 Seconds West, a distance of 16.23 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 73 Degrees 43 Minutes 53 Seconds West, a distance of 239.88 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 61 Degrees 08 Minutes 06 Seconds West, a distance of 14.11 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the right;

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South 77 Degrees 46 Minutes 25 Seconds West, a distance of 54.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner at the beginning of a non-tangent curve to the left;

Southeasterly, along said non-tangent curve to the left having a central angle of 03 Degrees 12 Minutes 33 Seconds, a radius of 377.00 feet, an arc distance of 21.12 feet and a chord bearing and distance of South 13 Degrees 49 Minutes 52 Seconds East, 21.11 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 28 Degrees 39 Minutes 53 Seconds West, a distance of 14.22 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the left;

Southwesterly, along said non-tangent curve to the left having a central angle of 25 Degrees 09 Minutes 15 Seconds, a radius of 552.00 feet, an arc distance of 242.34 feet and a chord bearing and distance of South 60 Degrees 17 Minutes 13 Seconds West, 240.40 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 88 Degrees 35 Minutes 49 Seconds West, a distance of 14.34 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the beginning of a non-tangent curve to the right;

Northwesterly, along said non-tangent curve to the right having a central angle of 19 Degrees 22 Minutes 40 Seconds, a radius of 273.00 feet, an arc distance of 92.33 feet and a chord bearing and distance of North 33 Degrees 35 Minutes 44 Seconds West, 91.89 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 66 Degrees 05 Minutes 36 Seconds West, a distance of 97.80 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

South 38 Degrees 15 Minutes 40 Seconds West, a distance of 98.79 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 17 Degrees 20 Minutes 32 Seconds West, a distance of 162.96 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 03 Degrees 23 Minutes 05 Seconds West, a distance of 91.46 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 08 Degrees 19 Minutes 05 Seconds East, a distance of 109.31 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 15 Degrees 29 Minutes 32 Seconds East, a distance of 209.00 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 00 Degrees 09 Minutes 35 Seconds East, a distance of 334.08 feet to the **POINT OF BEGINNING** and containing 912,563 square feet or 20.950 acres of land more or less.

STATE OF TEXAS :
COUNTY OF DENTON :

Now Therefore, know all men by these presents:

That Belmont 407, acting herein by and through his (its) duly authorized officer(s), does hereby adopt this plat designating the herein above described property as **Harvest Phase 10**, an addition within the extra-territorial jurisdiction of the Town of Northlake, Texas ("Town"), and does hereby dedicate, in fee simple, to Belmont Fresh Water Supply District No. 1 of Denton County ("District") forever, the easements, streets, rights-of-way and public improvements contained therein. District does hereby dedicate for the public use forever, the easements, the streets, rights-of-way and public improvements contained therein. The streets and alleys, if any, are dedicated for street purposes. The easements, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. Notwithstanding the foregoing, the District does hereby dedicate to the Town of Northlake, Texas, all water and sanitary sewer improvements contained in the right-of-way and easements as shown on this plat in consideration for the Town's agreement to utilize such improvements to serve property within the District. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the District. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easements limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town's use thereof.

Belmont 407, LLC,
a Delaware limited liability company

By: _____

Name: _____

Title: _____

STATE OF TEXAS
COUNTY OF DALLAS

This instrument was acknowledged before me on _____, 20____. By _____ of Belmont 407, LLC, a Delaware limited liability company, on behalf of said limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledgement to me that he executed the same for the purpose of and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, this the _____ day of _____, 20____.

Notary Public, State of Texas

My Commission expires : _____

APPROVED BY THE NORTHLAKE PLANNING AND ZONING
COMMISSION ON:

Date

Chairperson, Planning and Zoning Commission

Town Secretary, Town of Northlake

REVIEWED AND APPROVED BY
BELMONT FRESH WATER SUPPLY DISTRICT NO. 1:

Date

DISTRICT ENGINEER
BELMONT FRESH WATER SUPPLY DISTRICT NO. 1

STATE OF TEXAS
COUNTY OF DENTON

KNOW ALL MEN BY THESE PRESENTS:

That I, Eduardo Martinez, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

PRELIMINARY
FOR REVIEW ONLY.
Signature: _____
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE.

Date: _____

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Eduardo Martinez, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____th day of _____, 20____.

Notary Public in and for the State of Texas

GENERAL NOTES:

- Bearings are based on the Texas State Plane Coordinate System, NAD 83, North Central Zone 4202, per monuments found for the Final Plat of Harvest Phase I, as recorded in Instrument No. 2013-166, R.P.R.D.C.T.
- All side lot lines are perpendicular or radial to street frontage unless otherwise noted Not Radial (NR).
- All lots shown are Single-Family residential unless otherwise designated with an "X" with the lot number. all "X" lots are open space lots.
- 5' side and 20' rear yard setbacks required on all residential lots unless otherwise noted.
- All common areas to be owned by the Home Owners Association, and/or by the Fresh Water Supply District. All open spaces to be maintained by the Home Owners Association, Fresh Water Supply District, and/or the Public Improvement District.
- All Dedicated Public Roads Will Be Maintained By The Fresh Water Supply District.
- All Lots Shown on this Plat are within Zone 1B & 1C as Identified in the Harvest Development Agreement as amended. All Setbacks shall conform with the Zone Requirements of Section 5.1 Residential Development Standards Table of Harvest Development Code unless a more Restrictive Setback is Identified on the Plat with a Building Line.
- No Construction shall be allowed within FEMA Designated Flood Plain without a Hydraulic Study.
- All floodplain information on this plat is for graphical depiction only, as scaled off of FIRM Panel No. 48121C0505G, Revised April 18, 2011 for Denton County, Texas. Portions of the property are within Zone A, areas subject to flooding by the 1% annual chance flood with no flood elevations determined, and Unshaded Zone X, areas determined to be outside of the 0.2% annual chance floodplain.
- Temporary Private Drainage Easement to be maintained by the Fresh Water Supply District #1 or the HOA. The easement will become void upon the filing of a final plat of the property north of this easement.

FINAL PLAT
OF
HARVEST PHASE 10

LOTS 1-60, BLOCK 98; LOTS 7-9, BLOCK 100
BEING 20.950 ACRES

SITUATED IN THE
PATRICK ROCK SURVEY, ABSTRACT NO. 1063

IN THE
ETJ OF TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS

63 LOTS BY USE
(63 RESIDENTIAL LOTS)
NOVEMBER 2021



EVELOPER / OWNER:
BELMONT 407, LLC
3000 TURTLE CREEK BLVD.
DALLAS, TEXAS 75219
PHONE: (972) 201-2800

ENGINEER / SURVEYOR:
JC JONES | CARTER
Texas Board of Professional Engineers Registration No. F-439
2805 Dallas Parkway, Suite 600 • Plano, Texas 75093
972.488.3880
Texas Board of Professional Land Surveying Registration No. 100461-03
Contact: Eddie Martinez, E-mail: emartinez@jonescarter.com



Chris Amarante, Commissioner
Aaron Fowler, Commissioner

Michaela Monson, Chairperson

Kristen Dixon, Commissioner
Jeff Nichols, Vice Chairperson
Danny Simpson, Commissioner

PLANNING & ZONING COMMISSION MINUTES

November 30, 2021

5:30 PM

Northlake Town Hall

1500 Commons Circle, Suite 300

Northlake, Texas 76226

- A. Chairperson Michaela Monson called the meeting to order at 5:30 p.m., quorum present.

Michaela Monson
Kristin Dixon - Absent
Chris Amarante

Jeff Nichols - Absent
Aaron Fowler
Danny Simpson

B. BRIEFING

1. Master Thoroughfare Plan Update: Land Use Assumptions and Capital Improvement Plan (CIP) Briefing – Consider and provide guidance to staff for land use assumption and CIP in relation to the five-year Master Thoroughfare Plan update. Consider schedule and future actions to adopt amended Master Thoroughfare Plan and Impact Fees

Dennis Haar, Halff Associates; Louis Cutaia, Halff Associates; Drew Corn, Town Manager; and Nathan Reddin, Development Director walked the Commission through the Land Use Assumptions and the CIP to get their input for the five year update. They reviewed the timeline and next steps for adoption.

C. PUBLIC INPUT

This item is available for citizens to address the Planning & Zoning Commission on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda.

There were no speakers.

D. NEW BUSINESS

1. Consider the minutes from the Special Called Planning and Zoning Commission meeting held on October 26, 2021

Motion was made by Commissioner Amarante and second by Commissioner Fowler to approve the minutes from the Special Called Planning and Zoning Commission meeting held on October 26, 2021. Motion passed 4-0. Commissioners Dixon and Nichols absent.



2. Consider a Final Plat of Harvest, Phase 9, a proposed residential development consisting of 44 residential lots on a 32.435-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located on the north side of Old Justin Road approximately 1500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant/ developer. Jones & Carter is the engineer/surveyor. Case # FP 21-014
3. Consider a Final Plat of Harvest, Phase 10, a proposed residential development consisting of 63 residential lots on a 20.950-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located approximately 900 feet north of Old Justin Road and 1500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant/ developer. Jones & Carter is the engineer/surveyor. Case # FP 21-015

By unanimous consent the Final Plat of Harvest, Phase 9 and the Final Plat of Harvest Phase 10 were continued to the January 4, 2022, Planning and Zoning Commission meeting.

4. Consider a Final Plat of Harvest, Phase 11A, a proposed residential development consisting of 98 residential lots on a 19.220-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of 17th Street and east of Sunflower Avenue in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant. Jones & Carter is the engineer/surveyor. Case # FP 21-010

Motion was made by Commissioner Fowler and second by Commissioner Amarante to approve the Final Plat of Harvest, Phase 11A, a proposed residential development consisting of 98 residential lots on a 19.220-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of 17th Street and east of Sunflower Avenue in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant. Jones & Carter is the engineer/surveyor. Case # FP 21-010 Motion passed 4-0. Commissioners Dixon and Nichols absent.

5. Consider a Final Plat of Harvest, Phase 11B, a proposed residential development consisting of 46 residential lots on a 8.704-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of 19th Street and east of Cleveland-Gibbs Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant. Jones & Carter is the engineer/surveyor. Case # FP 21-011

Motion was made by Commissioner Fowler and second by Commissioner Simpson to approve the Final Plat of Harvest, Phase 11B, a proposed residential development consisting of 46 residential lots on a 8.704-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of 19th Street and east of Cleveland-Gibbs Road in the extraterritorial jurisdiction of the Town of Northlake. Belmont 407, LLC is the owner/applicant. Jones & Carter is the engineer/surveyor. Case # FP 21-011. Motion passed 4-0. Commissioners Dixon and Nichols absent.

6. Consider a Preliminary Plat of Harvest, Phase 14, a proposed residential development consisting of 44 residential lots on a 18.588-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally



located on the south side of Old Justin Road approximately 300 feet east of Flanagan Farm Drive in the extraterritorial jurisdiction of the Town of Northlake. Toll Southwest, LLC and Taylor Morrison of Texas, Inc. are the owner/applicants. Hillwood Communities is the developer. Jones & Carter is the engineer/surveyor. Case # PP 21-008

Motion was made by Commissioner Amarante and second by Commissioner Simpson to approve a Preliminary Plat of Harvest, Phase 14, a proposed residential development consisting of 44 residential lots on a 18.588-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located on the south side of Old Justin Road approximately 300 feet east of Flanagan Farm Drive in the extraterritorial jurisdiction of the Town of Northlake. Toll Southwest, LLC and Taylor Morrison of Texas, Inc. are the owner/applicants. Hillwood Communities is the developer. Jones & Carter is the engineer/surveyor. Case # PP 21-008. Motion passed 4-0. Commissioners Dixon and Nichols absent.

7. Consider a Preliminary Plat of Harvest, Phase 15, a proposed residential development consisting of 16 residential lots on a 28.457-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of Old Justin Road approximately 500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Toll Southwest, LLC and Taylor Morrison of Texas, Inc. are the owner/applicants. Hillwood Communities is the developer. Jones & Carter is the engineer/surveyor. Case # PP 21-009

Motion was made by Commissioner Simpson and second by Commissioner Fowler to approve the Preliminary Plat of Harvest, Phase 15, a proposed residential development consisting of 16 residential lots on a 28.457-acre tract of land in the Patrick Rock Survey, Abstract No. 1063, generally located north of Old Justin Road approximately 500 feet east of Schober Road in the extraterritorial jurisdiction of the Town of Northlake. Toll Southwest, LLC and Taylor Morrison of Texas, Inc. are the owner/applicants. Hillwood Communities is the developer. Jones & Carter is the engineer/surveyor. Case # PP 21-009. Motion passed 4-0. Commissioners Dixon and Nichols absent.

E. Chair Monson adjourned the meeting at 6:23 p.m.

Passed and approved on this the 4th day of January, 2022.

Northlake Planning & Zoning Commission

Michaela Monson, Chairperson

Attest:

Zolaina Parker, Town Secretary

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF #: NORTHLAKE COMPREHENSIVE PLAN (AS AMENDED); MASTER THOROUGHFARE PLAN UPDATE (AS AMENDED); LOCAL GOVERNMENT CODE (LGC), CHAPTER 395

SUBJECT: ROADWAY IMPACT FEE UPDATE



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)
- Systematically Invest in Infrastructure: Maintain and improve public roadways (Council Goal)

BACKGROUND INFORMATION:

- In 2016, Town Council adopted a Roadway Impact Fee ordinance per Chapter 395 of LGC
- Roadway impact fees required to be reviewed and updated every five years
- Roadway impact fees derived from:
 - o Master Thoroughfare Plan (MTP)
 - o Capital improvement plan (CIP)
 - o Land Use Assumptions (LUA)
- Council contracted with Halff Associates to update the LUA, CIP and impact fees
- Council designated the P&Z to serve as the Capital Improvements Advisory Committee (CIAC)
 - o Reviews and recommends updates to MTP, CIP, LUA, and impact fees
 - o Files written comments to Town Council on proposed amendments
- Draft CIP & LUA presented to P&Z on November 30, 2021
- Update of the roadway impact fees proposed based on updated CIP & LUA

P&Z ACTION:

- Review proposed updates and provide written comments to the Town Council on the proposed amendments to the land use assumptions, capital improvements plan, and impact fees before January 22nd

NEXT STEPS:

- January 27, 2022 Town Council meeting
 - o Hold public hearing
 - o Act on proposed MTP, LUA, CIP and roadway impact fee schedule

ATTACHMENTS:

- Master Thoroughfare Plan Update (draft)
- Roadway Impact Fee Report (draft) – includes updated LUA, CIP & impact fees
- Template letter for written comments

MASTER THOROUGHFARE PLAN

Master Thoroughfare Plan Update Northlake, Texas

December 2021

Prepared for
Town of Northlake



1201 North Bowser Road
Richardson, Texas 75081

Firm Registration No. 312

INTRODUCTION

The Master Thoroughfare Plan (MTP) serves as a guide for the identification and implementation of long-range transportation investments in the Town of Northlake. The MTP is intended to preserve necessary rights-of-way (ROW) needed for development of long-range transportation system improvements. The following MTP is an update to the 2016 Master Thoroughfare Plan.

As one of the most vital and visible elements of a city, transportation provides access to housing, employment, entertainment, and other resources through various modes. The following plan was developed to improve connectivity within the Town of Northlake, better accommodate for planned growth and development, and improve travel conditions. The MTP was coordinated with other adopted city planning documents as well as adjacent cities and regional planning documents and will help inform the Roadway Impact Fee and 10-year Capital Improvement Plan.

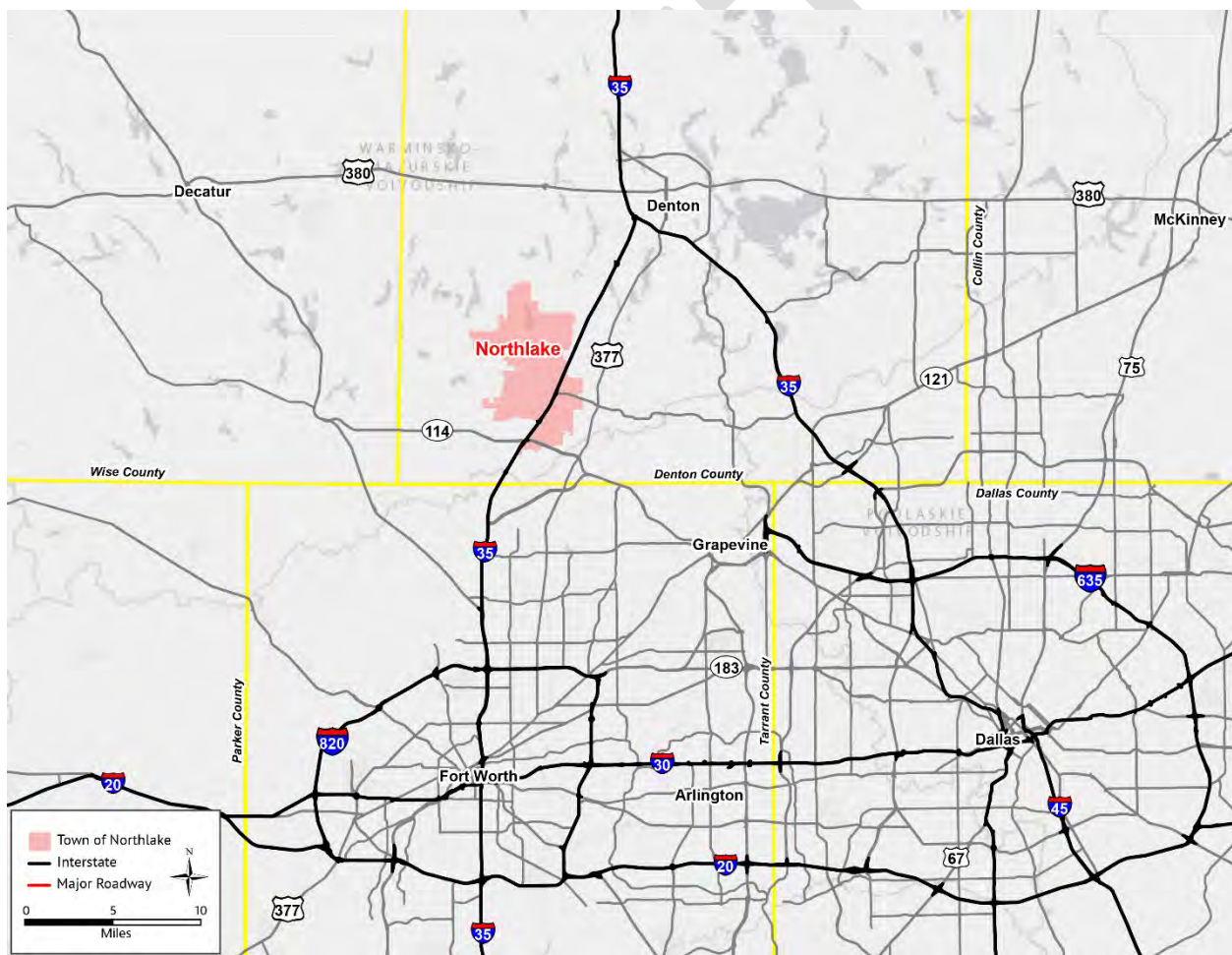


Figure 1 – Regional Map

DEMOGRAPHIC OVERVIEW

Located in the southwestern portion of Denton County in the Dallas-Fort Worth Metroplex, the Town of Northlake is poised for strategic growth in population and employment and provides optimal opportunity for commercial and industrial development. Since 2000, according to the U.S. Census Bureau, the Town of Northlake has increased in population by more than 400%, far greater than surrounding communities in Denton County and major cities like Fort Worth and Dallas.

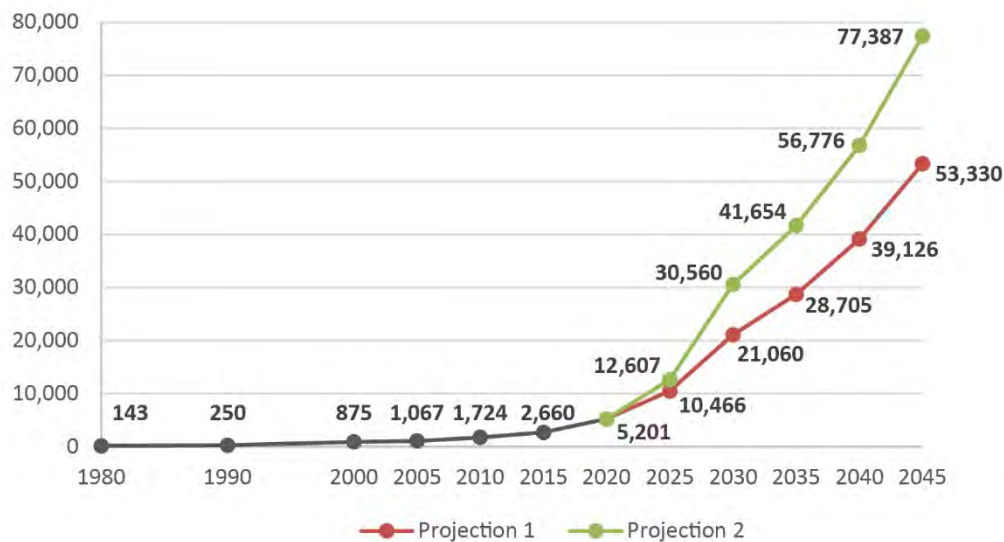


Figure 2 – Northlake Population Projection

Population	2000	2010	2020	% Change '00-'20
Northlake	921	1,724	4,930	435%
Fort Worth	534,694	741,206	873,130	63%
Denton	80,537	113,383	138,250	72%
Justin	1,891	3,246	4,620	144%
Dallas	1,188,580	1,197,816	1,304,379	10%

Table 1 – Population Change

By 2045, based on Traffic Survey Zones (TSZs) provided by the North Central Texas Council of Governments (NCTCOG), population projections are expected to increase by 396%. Employment and number of households are also expected to increase significantly, particularly along and adjacent to SH 114 and I-35W.

Approximately 90.3% of residents within the Town of Northlake travel to work by driving alone, higher than surrounding communities. Roughly 3% of residents commute to work by either walking or bicycling. The mean travel time to work is 28 minutes with most residents leaving between 6:30 a.m. and 7:30 a.m.

According to the U.S. Census Longitudinal Employer-Household Dynamics (LEHD), few residents live and work within the city limits with many residents commuting between 10 to 24 miles for employment. High employment locations include industrial areas along SH 114 and I-35W and commercial/office/retail locations in Grapevine, Westlake, and Denton.

EXISTING TRANSPORTATION SYSTEM

The major transportation facilities serving Northlake in southwest Denton County are Interstate Highway 35W and State Highway 114. Interstate Highway 35 (I-35) is a major international trade route providing connectivity through Texas connecting Mexico and the Great Lakes. Due to this interstate connectivity, I-35 handles high volumes of both vehicular and truck traffic. Several segments of I-35 throughout the state of Texas are designated on the 'Top 100 Congested Roadways' with future traffic volumes expected to make this situation worse. SH 114 provides east-west connectivity from the Dallas-Fort Worth Metroplex to New Mexico. Other major transportation routes that serve the Town of Northlake include several Farm-to-Market routes such as FM 1171, FM 407, and FM 156.

Traffic Volumes

Information regarding both historical, current, and projected traffic volumes is important for economic development purposes as well as providing input to roadway maintenance and improvement programs. Traffic Counts were collected from the Texas Department of Transportation (TxDOT) Statewide Planning Map that provides both current Annual Average Daily Traffic (AADT) volume information as well as historical and projected counts. This data is primarily available along major corridors at near major intersections. **Figure 3** represents not only the existing transportation system that services the Town of Northlake but also the existing traffic counts along major roadways.

Since 2010, major roadways that serve the Town of Northlake have experienced a 45% average increase in traffic volume. The highest traffic volume percentage growth has occurred along FM 407 and FM 1171 at 207% and 85% respectively. As master planned communities adjacent to these roadways continue to be built out, this traffic volume increase will only be exacerbated.

Future traffic volume projections were derived from the North Central Texas Council of Governments (NCTCOG) 2045 Traffic Volume Projections. The 2045 roadway network is expected to increase by 32% with traffic volumes also expected to increase by 210%.

Traffic Safety

In addition to roadway volumes, a safety analysis was also conducted along Town of Northlake roadways to determine design elements that should be considered as part of this plan to increase safety for all road users. Crash data was obtained from the TxDOT Crash Records Information System (CRIS) database for the years 2016 – 2021. **Figure 4** represents the crash density and hotspot locations along Town of Northlake roadways. Since 2016, there have been 795 total crashes with an average of 130 crashes per year. Crash totals for year 2021 are already higher than the previous five years with only three-quarters of the year contained in the data. 69% of crashes occurred along the Interstate or along US and State Highway roadway facilities. 32% of crashes were rear-end related while 23% were crashes involving one motor vehicle. 43% of crashes were either at an intersection or were intersection-related while 6% of crashes were due to driveway access locations.

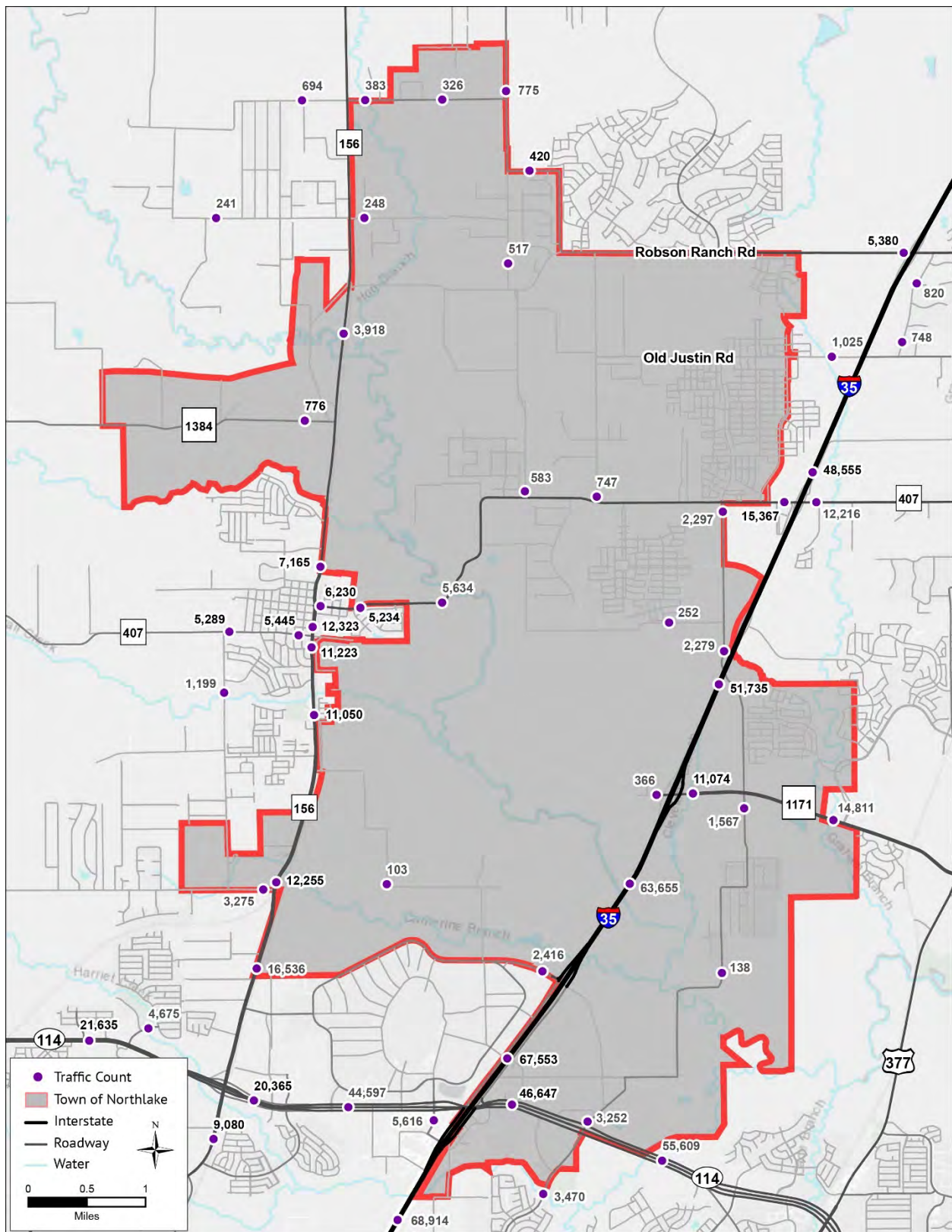


Figure 3 – Transportation System/Traffic Count Map

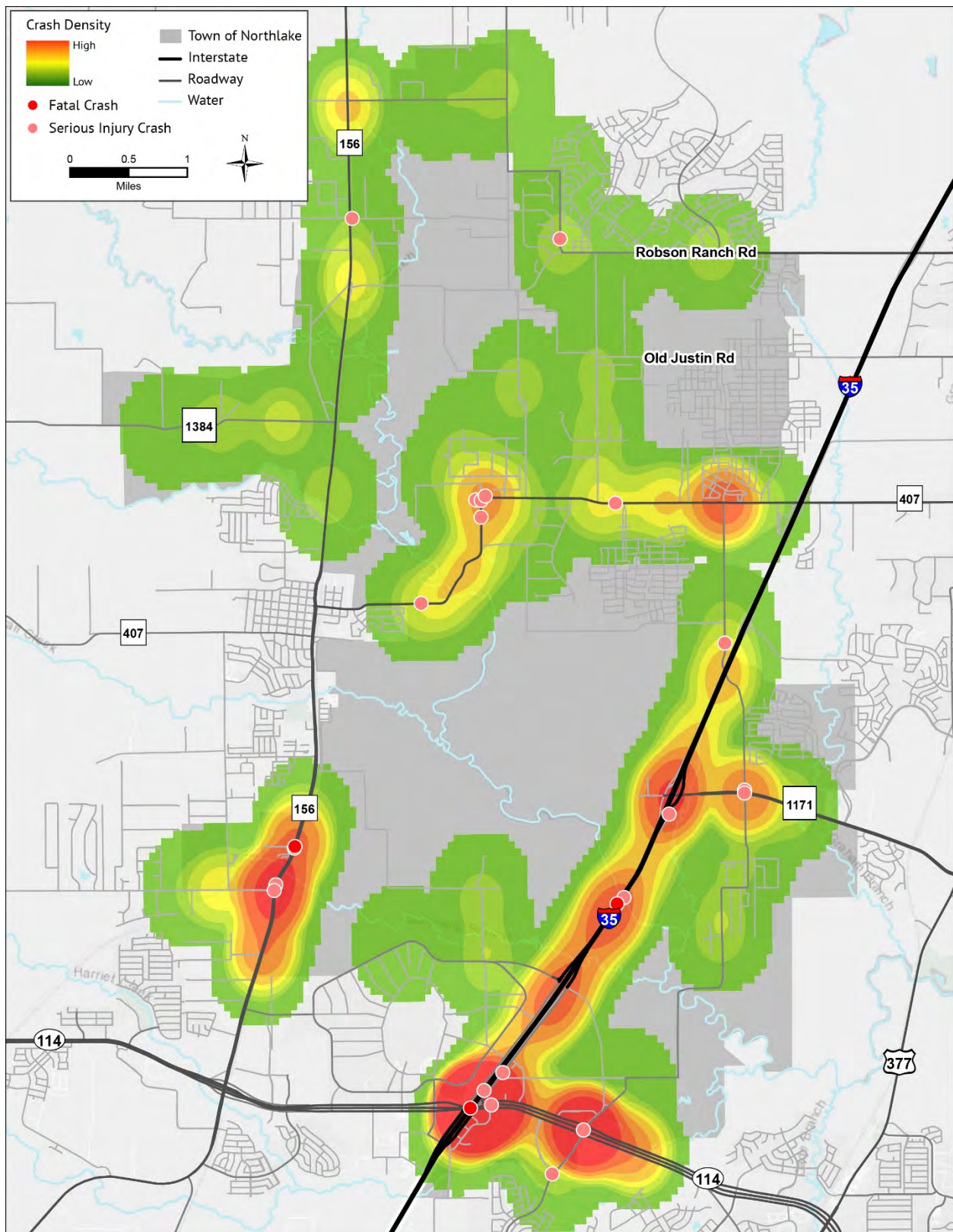


Figure 4 – Crash Density Map

THOROUGHFARE PLAN UPDATE

Functional Classification

Functional classification not only dictates the function and relationship between roadways in a transportation network but also provides minimum design standards for implementation. Most cities use a traditional functional classification system to group roadways according to the type of service they are intended to provide. This organized system assists citizens and developers in understanding the types of roadways that are planned for the City's transportation system and what those roadways might look like. The following section describes the general functional classifications of roadways in Northlake.

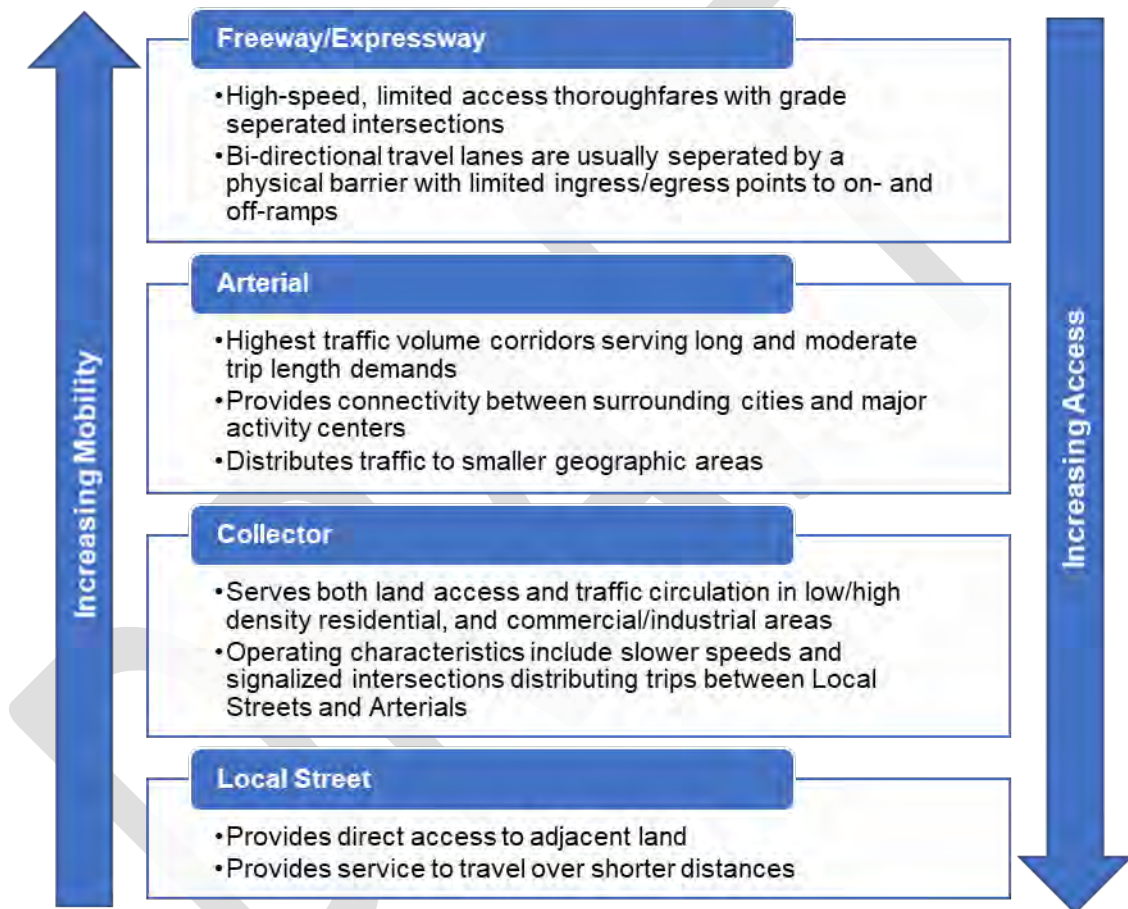


Figure 5 – Street Functional Classification

Freeway/Expressway

This classification is designated for facilities that provide long distance travel between cities and destinations usually with grade separated interchanges and physical barriers between bi-directional travel. Interstate 35 and State Highway 114 are examples of these types of facilities in Northlake.

Arterial

Arterial roadways are intended to provide connectivity to surrounding cities and major activity centers. They usually have high traffic volumes and serve moderate to long trip length demands. Arterial roadways are further subdivided into two classifications: primary arterial and minor arterial.

Primary arterials are multi-lane facilities that serve both traffic from the local municipality and through traffic from adjacent cities. Primary arterial streets in Northlake include FM 1171, FM 407, FM 1384, and FM 156.

Minor arterials provide traffic for movement from neighborhoods to commercial areas and other major traffic generators (e.g. schools and municipal buildings). They may also serve as routes for through traffic from adjacent cities. In Northlake, minor arterials can be either divided or undivided with a median. Examples of minor arterial streets include Cleveland-Gibbs Road, Florance Road, Robson Ranch Road, and Strader Road.

Collector

Collector roadways provide the transition from local neighborhood roadways to arterials. Collectors serve both land access and traffic circulation in low/high density residential and commercial/industrial areas. Depending on context, driveway densities should be limited to reduce the number of potential conflict points and safety issues. Typical operating characteristics include slower speeds and signalized intersections.

Local Streets

Although not classified in the MTP Update, local roadways generally make up the majority of the streets in a community, providing direct access to properties and prioritizing accessibility over mobility. They are often designed to discourage through traffic.

The updated Master Thoroughfare Plan Map is represented in **Figure 6**.

THOROUGHFARE DESIGN STANDARDS

The MTP provides guidance of the general alignment of a roadway as well as the design standards that proposed roadways should be constructed. These design standards provide specifications related to right-of-way, pavement width, number of lanes, and the design of sidewalks and trails. **Table 2** represents the updated street and arterial classifications and dimensions. The only change from the previous MTP includes the addition of sidewalk facilities in the urban context for all roadway classification types.

Although standard dimensions are identified in the Town of Northlake Engineering Design Manual, alternative designs may be appropriate based on context and adjacent land use.

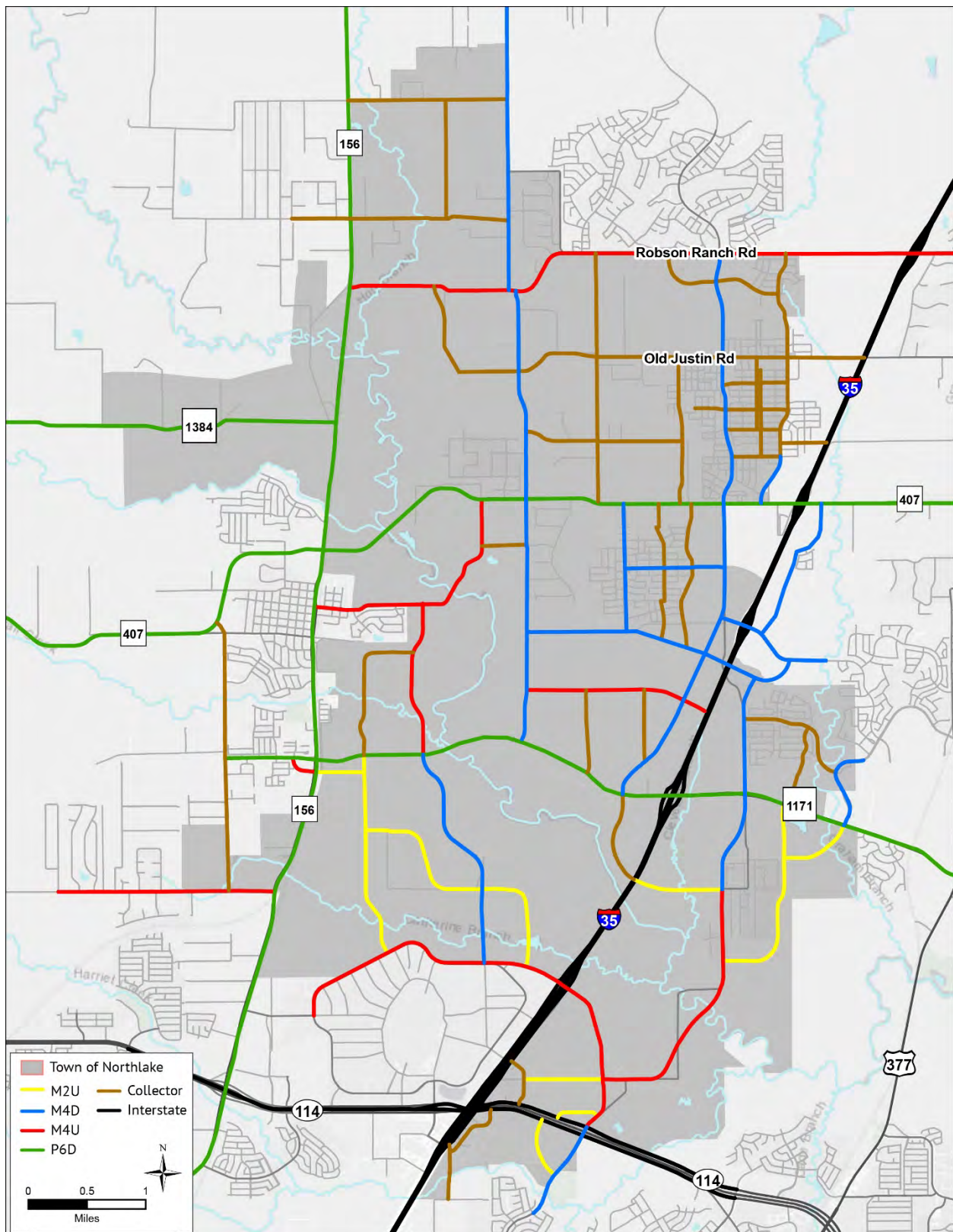


Figure 6 – Master Thoroughfare Plan

Northlake Design Manual										
Street Type	Description	Pavement Width	Min. ROW Width	Lanes	Shoulder Width	Min. Parkway Width	Median Width	Min. Pavement Thickness	Design Speed	Sidewalks
Alley	Alley	10'	15'	1-10'	N.A.	2.5'	N.A.	7"	10	-
Urban Standards										
L2U-U	Local Residential	31'	50'	2-15'	N.A.	9.5'	N.A.	6"	30	5'
C2U-U	Collector	37'	60'	2-18'	N.A.	11.5'	N.A.	7"	35	5'
M2U-U*	Minor Arterial (undivided)	41'	60'	2-20'	N.A.	9.5'	N.A.	8"	40	5'
M4U-U	Minor Arterial (undivided)	55'	80'	2-15' & 2-12'	N.A.	12.5'	N.A.	8"	40	5'
M4D-U	Minor Arterial (divided)	2-28'	100'	2-15' & 2-12'	N.A.	11.5'	21'	8"	45	5'
P6D-U	Primary Arterial (divided)	2-40'	120'	2-15' & 4-12'	N.A.	9.5'	21'	8"	45	5'
*For Industrial Areas Only										
Rural Standards										
L2U-R	Local Residential	24'	60'	2-11'	2-1'	18'	N.A.	6"	30	-
C2U-R	Collector	36'	70'	2-12'	2-6'	17'	N.A.	7"	35	-
M4U-R	Minor Arterial (undivided)	64'	100'	4-12'	2-8'	18'	N.A.	8"	40	-
M4D-R	Minor Arterial (divided)	2-32.5'	120'	4-12'	2-8'	17'	21'	8"	45	-
P6D-R	Primary Arterial (divided)	2-44.5'	140'	6-12'	2-8'	15'	21'	8"	45	-

Table 2 – Design Standards

ALIGNMENT REVIEW

Since the previous MTP was completed in 2016, development and infrastructure conditions have changed throughout Northlake. An initial alignment review was conducted to determine any physical and development constraints as well as alignments that were no longer practical to construct. This MTP update takes into account future thoroughfare alignments and subdivision developments that have been changed. Although not in Townlake, FM 156 north of Seaborn Road was changed from 'Major Road' classification to 'Primary Arterial P6D'. **Figure 7** represents the major changes included as part of this MTP Update.

Although proposed collector roadways are identified on the MTP, these roadways are subject to the most volatility based on developer buildout. While critical elements to the roadway network, city staff should work with developers to identify opportunities for enhanced connectivity and mobility. Limiting number of access points to a community or development can inhibit traffic flow, cause congestion hotspots, and lengthen emergency response times. If a development abuts adjacent vacant land, stub streets should be required to be platted to ensure later connections. Block lengths should also be considered to ensure multiple access points and better connectivity within larger developments.

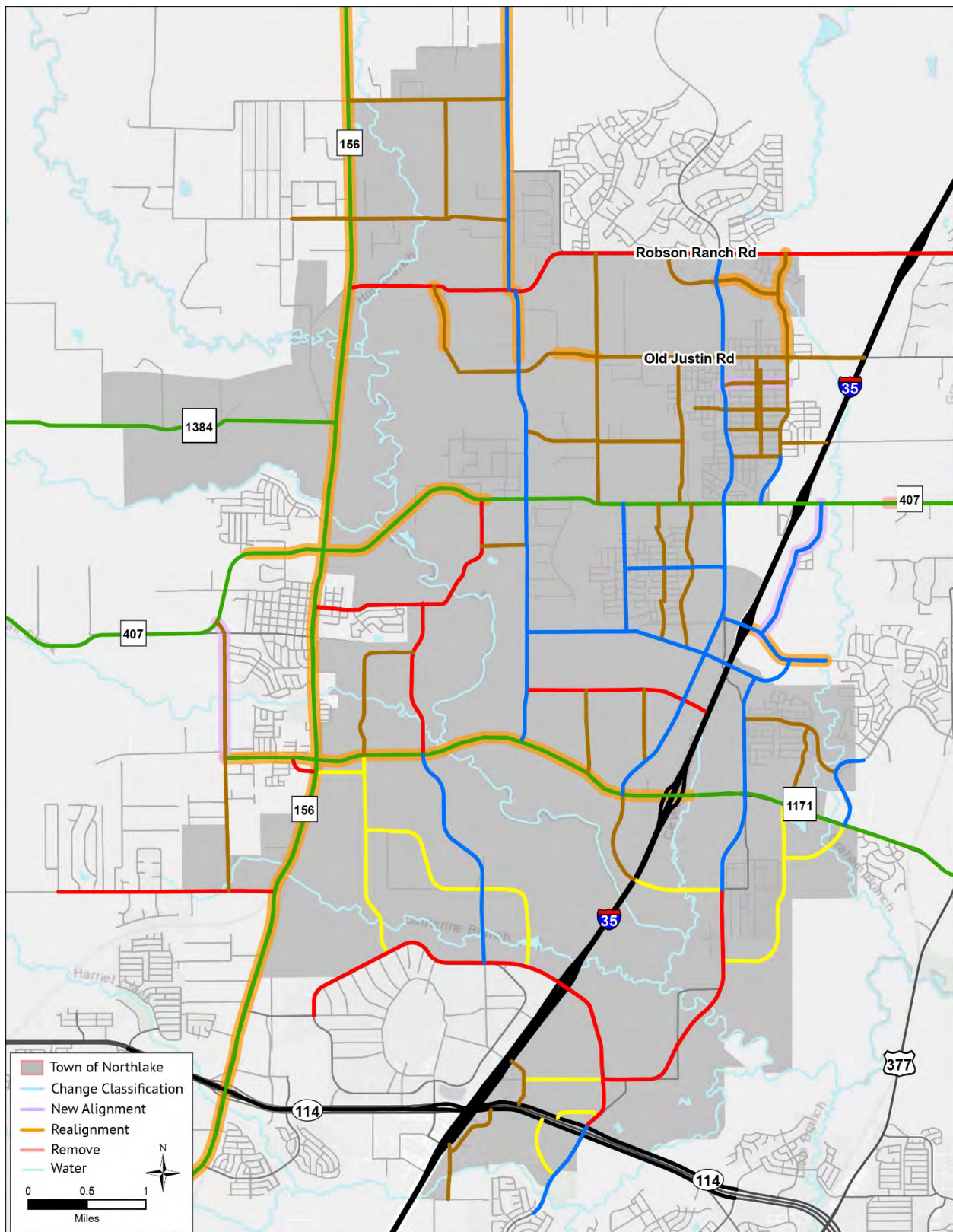


Figure 7 – MTP Update Alignment Review

CONTEXT TYPES – URBAN VS. RURAL

Cross sections are the preferred starting point for new roadway construction, however, based on existing and proposed surrounding land use and development type, roadway elements should be adapted to fit the context of the area. Adapting street design to the surrounding context is supported by national design guidance, including the Institute of Transportation Engineers (ITE) Designing Walkable Urban Thoroughfares.

The Context Zone Map represented in **Figure 8** is based on the predominant future land use in the Pathway to 2040 Comprehensive Plan. For purposes of the MTP, the urban context type is defined as areas that densely populated with a mix of housing and commercial development types and a well-connected roadway network. Rural context type is defined as areas that re sparsely populated and include large lot, single family homes, agricultural uses, large recreational areas, and undeveloped land.

MUTLIMODAL ELEMENTS

Multimodal elements as part of the MTP include transit and non-motorized transportation elements. While no transit service is provided by Northlake, several operators provide service to the community including Denton County Transportation Authority (DCTA), Trinity Metro and Span Denton County Transit. According to the North Central Texas Council of Governments (NCTCOG) Mobility 2045 Plan, high-intensity bus service is proposed for the I-35 corridor between Forth Worth and Denton. High-intensity bus is a service that incorporates premium operating characteristics including real-time arrival information, comfortable and plentiful seating, Wi-Fi, and proximity to various services.

Throughout much of the Northlake area, the primary focus for non-motorized travel and active transportation are sidewalk facilities and shared use trails. The use of sidewalks, trails, and bicycles is a transportation choice that benefits personal health, reduces traffic congestion, and air pollution, and enhances quality of life by creating opportunities for cost savings and social interaction. Currently, there is only one existing on-street bike lane located along Canyon Falls Drive in Northlake. While there are no proposed routes, bicycle facilities should be constructed within master planned communities and provide connectivity to adjacent areas throughout Northlake.

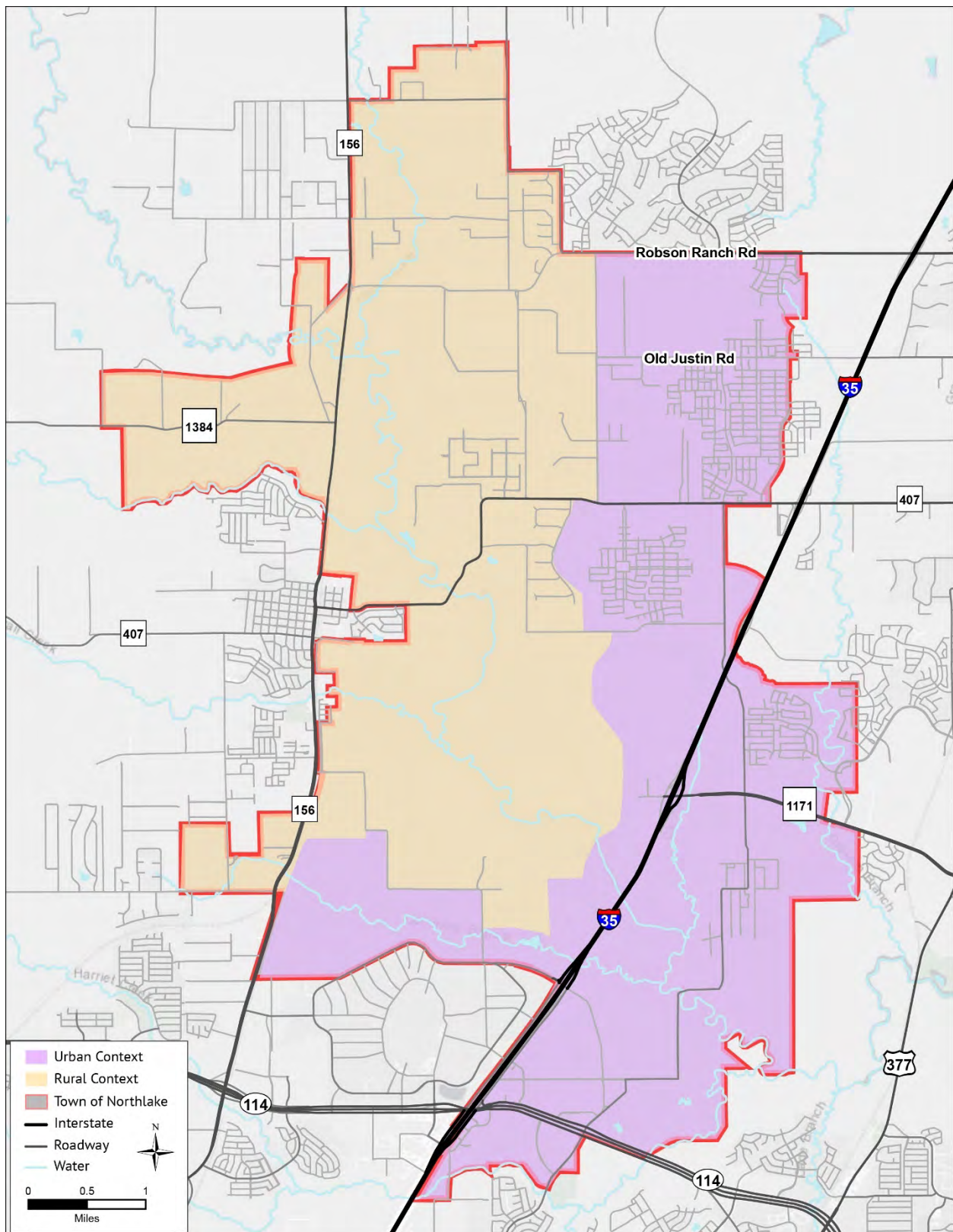


Figure 8 – Context Type

MASTER THOROUGHFARE PLAN

Roadway Impact Fee Update Northlake, Texas

December 2021

PRELIMINARY

FOR REVIEW ONLY

This document is not for permit or construction.

Name: Stephen M. Moore, PE

License #: 95814

Date: 12/17/2021

Prepared for

Town of Northlake



1201 North Bowser Road
Richardson, Texas 75081

Firm Registration No. 312

INTRODUCTION

The following report summarizes the methodology behind the development of the Roadway Impact Fee Update for the Town of Northlake. Roadway Impact Fees were initially developed in the summer of 2016. This report addresses updates to the Roadway Impact Fees, including discussions on updates to the Master Thoroughfare Plan, Land Use Assumptions, the 10-Year Capital Improvement Plan (CIP), roadway capacity calculations, and maximum impact fee by service unit.

THOROUGHFARE PLAN

In February of 2016, the Town of Northlake adopted an updated Master Thoroughfare Plan (MTP). The MTP was designed to provide for the future travel needs of the community by ensuring the orderly development of the street system. It was also designed to ensure that adequate rights-of-way were preserved with general alignments and sufficient width to allow for the efficient expansion and improvement of the street system over time. The Town's MTP has been updated to reflect current transportation needs. The proposed amended MTP map for the Town of Northlake is shown in **Exhibit 1** in the Appendix.

CAPITAL IMPROVEMENT PLAN

The first step in the process of determining roadway impact fees is the development of a 10-year Capital Improvement Plan (CIP) for the roadways and streets serving the Town of Northlake. The CIP includes roadway projects recommended / intended for construction in the next ten (10) years designed to serve both existing and future development needs in those same 10 years. The initial Roadway Impact Fees were based on the CIP developed in 2016. This report addresses updates to the CIP.

Existing Facilities

The thoroughfare system serving the Town of Northlake has improved since the initial Roadway Impact Fee calculation in 2016. Collector and arterial streets have been constructed in the Harvest and Pecan Square developments, north and south of FM 407. Plans are underway to improve FM 407 west of IH 35W. And FM 1171 has been improved to a six-lane divided curb and gutter road. Other roads in the Town are minimally developed at this time, with many being two-lane asphalt and gravel roadways (approximately 20 feet wide) with open ditch drainage (rural cross-section design). Other arterials are dirt roadways or are non-existent.

Projected 10-Year Development Growth

Working with Town staff, existing and projected development growth was established. **Table 1** below summarizes the existing land use and projected growth (cumulative) for five basic development types, which are single family housing, multi-family housing, commercial (which include retail uses), industrial/warehousing, and hotel.

Table 1 – Summary of Existing and Projected Development in Northlake

Land Use/Development Type	Existing	10-Year*	Build-Out*
Single Family Housing	2,696 units	7,792 units	12,143 units
Multi-Family Housing	1,197 units	2,022 units	2,120 units
Commercial	195,000 sqft	3,200,000 sqft	6,641,809 sqft
Industrial/Warehousing	5,200,000 sqft	10,400,000 sqft	12,994,603 sqft
Hotel	555 rooms	855 rooms	1,011 rooms

* Cumulative development amount shown in table

As can be seen in the table above, significant growth within the Town of Northlake (this does not include development within the town's extra-territorial jurisdiction [ETJ]) is anticipated in the next 10 years. As such, the thoroughfare system will continue to need improvements to support the projected development growth.

Proposed Facilities and CIP Costs

The Town of Northlake MTP was updated based on a projected build-out of development within both the town's actual limits and the town's ETJ. For the purpose of determining the needed infrastructure over the next ten years, it was assumed that there would be growth within the town's ETJ similar to that which is projected with the actual town limits.

The thoroughfare facilities selected for inclusion in the 10-year Roadway CIP are listed in **Table 2** and are shown graphically in **Exhibit 2** of the Appendix. The list includes a description of the planned improvements, the approximate project length, and an engineer's opinion of probable cost to construct. This list includes the town's share of the cost for TxDOT facilities, which under existing State Statute can be financed with impact fees.

The engineer's opinion of probable costs were utilizing standard cost estimating practices. These practices include using past and recent unit bid prices from publicly bid street / roadway projects from surrounding communities, as well as TxDOT average low bid unit prices for the Dallas District.

Financing costs for the projects listed in the CIP are included in the total estimated cost as well as an assumed interest rate of 5.0%.

Table 2 – 10-Year Roadway Capital Improvement Program

Project Number	Roadway	Impact Fee Zone	Description		Limits		Project Length (ft)
			Existing	Proposed	From	To	
1	Strader Rd	1	2-In Chip Seal	1/2 4-In Divided Concrete	FM 156	Florance Rd	7,550
2	Mulkey LN	1	2-In Chip Seal	2-In Collector Asphalt	FM 407	Florance Rd	2,000
3	Florance Rd	2, 3	New Alignment	1/2 4-In Divided Concrete	FM 407	Future M4U	8,600
4	Faught Rd	2	2-In Asphalt	2-In Concrete	Robson Ranch	FM 407	11,200
5	Cleveland Gibbs (W)	2	New Alignment	1/2 4-In Divided Concrete	Robson Ranch	Town Limit	2,860
6	Cleveland Gibbs (W)	2	2-In Gravel/ New Alignment	1/2 4-In Divided Concrete	FM 407	Future M4U	2,650
7	FM 407	2	2-In Asphalt w/Shoulders	4-In Divided Concrete (w/Wide Median)	Florance Rd	Harvest Way (IH 35W)	10,900
8	Mulkey Rd	2, 3	2-In Gravel	1/2 4-In Divided Concrete	Florance Rd	Cleveland Gibbs	9,000
9	Future M4U	3	New Alignment	4-In Undivided Concrete	Florance Rd	Cleveland Gibbs	7,400
10	Cleveland Gibbs (E)	3	Varies 2-In Asphalt/Concrete	1/2 4-In Divided Concrete	TxDOT Maintained Section	FM 1171	5,720
11	Harmonson Rd	3	2-In Asphalt	1/2 4-In Divided Concrete	Dale Earnhardt Way	McPherson Dr	3,300
12	McPherson Dr	3	New Alignment	2-In Concrete	Harmonson Rd	Town Limit	6,800
13	Cleveland Gibbs (E)	4	2-In Asphalt	1/2 4-In Divided Concrete	FM 1171	Town Limit	3,370
14	Whyte Rd	4	New Alignment	2-In Concrete	IH 35W	Cleveland Gibbs	4,000
15	Cleveland Gibbs (E)	4	2-In Gravel	1/2 4-In Divided Concrete	Whyte Rd	Cleveland Gibbs Bridge	5,280
16	Cleveland Gibbs Bridge	4	Washed Out	4-In Undivided	at Denton Creek	n/a	n/a
17	Cleveland Gibbs (S)	4	2-In Gravel	1/2 4-In Divided Concrete	Old Cleveland-Gibbs	Bridge	4,175

IMPACT FEE CALCULATION

With the 10-year CIP complete, the next step is to determine the maximum fee per service unit that can be charged by the Town for new development within the corporate boundaries. In general, the fee is calculated by dividing the 10-year CIP cost (described in the above section) by the forecasted growth in service units related to development. The specific steps are:

- 1) Identification of roadway impact fee service areas / zones within the Town
- 2) Calculation of the standard service unit
- 3) Determination of the portion of the 10-year CIP necessary to serve the projected 10-year growth
- 4) Examination of total roadway capacity, current level of roadway capacity usage, and future usage of roadway capacity for existing and proposed improvements

Each of the specific steps listed above are described in detail in the subsequent sections of the report.

Service Areas

The collection and expenditure of roadway impact fees is governed by State Statute. This State Law states, regarding the collection and expenditure of these fees; *“For roadway facilities, the service area is limited to an area within the corporate boundaries of the political subdivision and shall not exceed six miles.”* Therefore, it was necessary to divide the Town of Northlake into four (4) areas or zones. **Exhibit 3** in the Appendix shows the boundaries of the four impact fee zones. The impact fee zones incorporate the developable land located within the corporate limits of Northlake. The existing development, projected 10-year development growth, and ultimate build-out of development for each of the five land use types was then detailed for each zone. A summary of the development (both existing and projected) is shown below in **Table 3**. Note that the table below shows the cumulative totals for the development types. Therefore, the totals shown in the column for ultimate build-out are the full amount, which includes any existing development and the projected development growth in the next 10 years.

Table 3 – Summary of Existing and Projected Development by Impact Fee Zone

Zone	Single Family (units)			Multi-Family (units)			Commercial (1,000 sqft)			Ind/Warehouse (1,000 sqft)			Hotel (rooms)		
	Ex	10 Yr	Ult	Ex	10 Yr	Ult	Ex	10 Yr	Ult	Ex	10 Yr	Ult	Ex	10 Yr	Ult
1	405	557	632	-	-	-	-	-	-	-	-	-	-	-	-
2	969	2,295	2,834	-	-	-	43	752	1,203	-	-	-	-	-	-
3	1,137	4,368	7,541	229	630	660	84	1,447	3,217	12	159	187	-	214	300
4	185	572	1,136	968	1,392	1,460	68	1,001	2,222	5,188	10,241	12,808	555	641	711
Total	2,696	7,792	12,143	1,197	2,022	2,120	195	3,200	6,642	5,200	10,400	12,995	555	855	1,011

Service Unit

For the purpose of calculating the roadway impact fee rate, the “**PM Peak Hour Vehicle-Miles**” was selected to be the standard service unit. This service unit is calculated by multiplying the trips generated in the PM peak hour for a specific land use type (vehicles) by the average trip length (miles) for that land use. Trip generation for the PM peak hour is based on information contained in the Institute of Transportation Engineers (ITE) *Trip Generation Manual – Eleventh Edition*, which is the standard reference for land use trip rates. **Table 4** below summarizes the trip generation rates for the five general land use types

Table 4 – ITE PM Peak Hour Trip Generation Rates

Land Use/Development Type (ITE Code)	Variable	PM Trip Rate
Single Family Housing (210)	Dwelling Units	0.94
Multi-Family Housing (Low-Rise) (220)	Dwelling Units	0.51
Commercial (820)	1,000 square feet	3.40
Industrial / Warehousing (110/150)*	1,000 square feet	0.34*
Hotel (310)	Occupied Rooms	.59

* Study assumes a 1 to 2 ratio of industrial to warehouse uses

Information used in determining the average trip length comes from the North Central Texas Council of Governments (NCTCOG). **Table 5** below summarizes the average trip lengths for each of the five uses based on the information provided by NCTCOG developed for this area.

Table 5 – NCTCOG Average Trip Lengths

Land Use/Development Type (ITE Code)	Average Trip Length
Single Family Housing (210)	10.24
Multi-Family Housing (220)	10.24
Commercial (820)	8.4
Industrial / Warehousing (110/150)	11.4
Hotel (310)	9.0

Based on the NCTCOG data, most trips at the average length shown would result in travel beyond the corporate limits of the Town of Northlake. Therefore, it was determined to set a maximum trip length for each of the impact fee zones that would be more representative of the distance a trip would travel on roadways within those designated zones in the Town of Northlake. These maximum trip lengths are shown in **Table 6**.

Table 6 – Maximum Trip Lengths by Zone

Land Use/Development Type (ITE Code)	Average Trip Length
Zone 1 (NW Quadrant)	4.58
Zone 2 (NE Quadrant)	5.74
Zone 3 (SW Quadrant)	4.97
Zone 4 (SE Quadrant)	5.18

Combining the trip generation rates shown in **Table 4** with the maximum trip lengths for each zone contained in **Table 6** yields the service unit measurements for each zone and land use type. This is summarized below in **Table 7**.

Table 7 – Service Unit Calculations by Impact Fee Zone (Zonal Service Unit Rate)

Land Use Type	PM Peak Trip Rate	Zone 1 (NW)		Zone 2 (NE)		Zone 3 (SW)		Zone 4 (SE)	
		Max Trip Length	Veh-Mi (SU)	Max Trip Length	Veh-Mi (SU)	Max Trip Length	Veh-Mi (SU)	Max Trip Length	Veh-Mi (SU)
Single Family Housing	0.94	4.58	4.31	5.74	5.40	4.97	4.67	5.18	4.87
Multi-Family Housing	0.51	4.58	2.34	5.74	2.93	4.97	2.53	5.18	2.64
Commercial	3.40	4.58	15.57	5.74	19.52	4.97	16.90	5.18	17.61
Industrial/Warehousing	0.34	4.58	1.56	5.74	1.95	4.97	1.69	5.18	1.76
Hotel	0.73	4.58	3.34	5.74	4.20	4.97	3.63	5.18	3.78

Proportion of 10-year CIP Costs Attributed to 10-Year Growth

Using data provided by the Town of Northlake, the eligible costs of the 10-year CIP related to the projected growth over the 10 year period were calculated. These costs included the following assumptions and data:

- 1) All proposed improvements will serve and benefit both existing and future traffic within the town, including future traffic that will occur beyond the 10 year period. Therefore, the costs associated with the 10-year growth period have been proportioned as a percentage of the service units calculated at ultimate build-out.
- 2) Costs of existing facilities constructed to serve new development have been included as identified by the Town of Northlake staff.
- 3) If bonds are issued to pay for projects listed in the CIP, then the interest cost can be included. The financing costs were based on a 5.0% annual interest rate over a 20 year term with typical fees assumed at 2.0% of the project cost (issuance fee, legal, etc.).

A summary of the 10-year CIP projects and projected costs is shown in **Table 8** below.

Table 8 – Projected 10-Year CIP Costs

Roadway	Impact Fee Zone	Description		Limits		Project	Cost		
		Existing	Proposed	From	To	Length (ft)	Construction	Financing	Total
Strader Rd	1	2-In Chip Seal	1/2 4-In Divided Concrete	FM 156	Florance Rd	7,550	\$ 9,620,000.00	\$6,050,000.00	\$15,670,000.00
Mulkey LN	1	2-In Chip Seal	2-In Collector Asphalt	FM 407	Florance Rd	2,000	\$ 1,751,450.00	\$1,101,550.00	\$2,853,000.00
Florance Rd	2, 3	New Alignment	1/2 4-In Divided Concrete	FM 407	Future M4U	8,600	\$ 5,538,400.00	\$3,482,600.00	\$9,021,000.00
Faught Rd	2	2-In Asphalt	2-In Concrete	Robson Ranch	FM 407	11,200	\$ 11,040,000.00	\$6,943,000.00	\$17,983,000.00
Cleveland Gibbs (W)	2	New Alignment	1/2 4-In Divided Concrete	Robson Ranch	Town Limit	2,860	\$ 1,841,840.00	\$1,158,160.00	\$3,000,000.00
Cleveland Gibbs (W)	2	2-In Gravel/ New Alignment	1/2 4-In Divided Concrete	FM 407	Future M4U	2,650	\$ 5,226,600.00	\$3,287,400.00	\$8,514,000.00
FM 407	2	2-In Asphalt w/Shoulders	4-In Divided Concrete (w/ Wide Median)	Florance Rd	Harvest Way (IH 35W)	10,900	\$ 14,039,200.00	\$8,828,800.00	\$22,868,000.00
Mulkey Rd	2, 3	2-In Gravel	1/2 4-In Divided Concrete	Florance Rd	Cleveland Gibbs	9,000	\$ 5,796,000.00	\$3,645,000.00	\$9,441,000.00
Future M4U	3	New Alignment	4-In Undivided Concrete	Florance Rd	Cleveland Gibbs	7,400	\$ 9,361,000.00	\$5,887,000.00	\$15,248,000.00
Cleveland Gibbs (E)	3	Varies 2-In Asphalt/Concrete	1/2 4-In Divided Concrete	TxDOT Maintained Section	FM 1171	5,720	\$ 3,683,680.00	\$2,316,320.00	\$6,000,000.00
Harmonson Rd	3	2-In Asphalt	1/2 4-In Divided Concrete	Dale Earnhardt Way	McPherson Dr	3,300	\$ 4,830,000.00	\$3,038,000.00	\$7,868,000.00
McPherson Dr	3	New Alignment	2-In Concrete	Harmonson Rd	Town Limit	6,800	\$ 8,050,000.00	\$5,063,000.00	\$13,113,000.00
Cleveland Gibbs (E)	4	2-In Asphalt	1/2 4-In Divided Concrete	FM 1171	Town Limit	3,370	\$ 6,724,050.00	\$4,228,950.00	\$10,953,000.00
Whyte Rd	4	New Alignment	2-In Concrete	IH 35W	Cleveland Gibbs	4,000	\$ 11,379,250.00	\$7,156,750.00	\$18,536,000.00
Cleveland Gibbs (E)	4	2-In Gravel	1/2 4-In Divided Concrete	Whyte Rd	Cleveland Gibbs Bridge	5,280	\$ 10,540,000.00	\$6,629,000.00	\$17,169,000.00
Cleveland Gibbs Bridge	4	Washed Out	4-In Undivided	at Denton Creek	n/a	n/a	\$ 11,500,000.00	\$7,232,000.00	\$18,732,000.00
Cleveland Gibbs (S)	4	2-In Gravel	1/2 4-In Divided Concrete	Old Cleveland- Gibbs	Bridge	4,175	\$ 2,688,700.00	\$1,691,300.00	\$4,380,000.00
TOTAL							\$ 123,610,170.00	\$ 77,738,830.00	\$201,349,000.00

From **Table 8**, the CIP costs for the individual impact fee zones was calculated. For projects that are located within two zones, the CIP costs were split relative to the percentage of the project located within a given zone. For example, the Florance Road project is located in or adjacent to zones 1 and 2. Therefore, the cost of the project was allocated to the relative percentage of the project length within / abutting each zone, 70% to zone 2 and 30% to zone 3. Table 9 summarizes the CIP costs by impact fee zone.

Table 9 – 10-Year CIP Cost by Impact Fee Zone

Impact Fee Zone	Total CIP Cost
1	\$ 18,523,000.00
2	\$ 61,512,000.00
3	\$ 51,544,000.00
4	\$ 69,770,000.00
Total	\$ 201,349,000.00

Using the development growth data provided by the Town, the total vehicle-miles for each zone and the Town as a whole were calculated by multiplying the development projections (existing, 10-year, and ultimate) by the service units (SU) calculated in **Table 7** (pg 6). **Table 10** shows the portion of vehicle-miles (service units) that are existing, attributable to the growth within the next 10 years, and beyond to ultimate build-out.

Table 10 – Vehicle-Mileage (SU) Distribution by Zone and Development Period

Impact Fee Zone	Existing		10-Year Growth		To Ultimate Build-out		Ultimate Veh-Mi
	Existing Vehicle-Miles	Percent of Ultimate	Vehicle-Miles Added	Percent of Ultimate	Vehicle-Miles Added	Percent of Ultimate	
1	1,746	64.1%	655	24.0%	323	11.9%	2,724
2	6,072	15.7%	21,000	54.1%	11,714	30.2%	38,786
3	7,329	7.8%	40,163	43.5%	45,167	48.7%	92,659
4	15,883	21.3%	28,653	39.1%	29,210	39.6%	73,746
Total	31,030	14.9%	90,471	43.5%	86,414	41.6%	207,915

Combining the CIP costs from **Table 9** with the percent of vehicle-miles from the 10-year growth period located in **Table 10**, a summary of the CIP cost for each impact fee zone based on the projected 10-year growth can be calculated. This is shown in **Table 11**.

Table 11 – Summary of 10-Year CIP Cost by Impact Fee Zone

Impact Fee Zone	Total CIP Cost per Zone	Percent of Vehicle-Miles (SU) Attributed to 10-Year Growth	CIP Cost Attributed to 10-Year Growth
1	\$ 18,523,000.00	24.0%	\$ 4,445,520.00
2	\$ 61,512,000.00	54.1%	\$ 33,277,992.00
3	\$ 51,544,000.00	43.5%	\$ 22,421,640.00
4	\$ 69,770,000.00	39.1%	\$ 27,280,070.00
Total	\$ 201,349,000.00		\$ 87,425,222.00

Cost per Service Unit

The last step in the process is take the totals from **Table 11** and convert them to a cost per service unit. This is accomplished by dividing the CIP cost for a zone, attributed to the projected growth in next 10 years, by the growth in service units (SU) or vehicle-miles anticipated for the next 10 years for the same zone. This is shown in **Table 12** below.

Table 12 – Summary of Cost per Service Unit (SU) by Impact Fee Zone

Impact Fee Zone	CIP Cost Attributed to 10-Year Growth	New Vehicle-Miles (Service Unit) (10-Year Growth)	Cost Per Service Unit	Cost Per Service Unit (Rounded)
1	\$ 4,445,520.00	655	\$ 6,787.05	\$ 6,787
2	\$ 33,277,922.00	21,000	\$ 1,584.66	\$ 1,585
3	\$ 22,421,640.00	40,163	\$ 558.27	\$ 558
4	\$ 27,280,070.00	28,653	\$ 952.08	\$ 952
Total	\$ 87,425,222.00	90,471		

SAMPLE CALCULATION OF ROADWAY IMPACT FEE

The following section details a sample calculation of the roadway impact fee for a sample development.

Proposed Development

For the purpose of the sample calculation, it is assumed that there is retail / commercial development with a total of 1,000,000 gross square feet of space being proposed in impact fee zone 3.

The first step is to determine the number of service units (SU), or vehicle-miles, generated by the proposed development. The equation would be:

$$SU = \text{Development Units} \times \text{Zonal Service Unit Rate}$$

In the above equation, the number of development units is a measure of the amount of development. For retail/commercial development, the number of units are per 1,000 gross square feet (see **Table 4**). So for the example development, 1,000,000 square feet of retail development is equivalent to 1,000 units of commercial development.

$$\frac{1,000,000 \text{ sqft}}{1,000 \text{ sqft}} = 1,000 \text{ units}$$

The zonal service unit rate comes from **Table 7**. For a commercial development in zone 3, the zonal service unit rate is 16.88. Multiplying the development units by the zonal service unit rate yields the total number of service units for the example development.

$$1,000 \text{ units} \times 16.90 \frac{SU}{unit} = 16,900 \text{ SU}$$

Once the service units related to a development have been calculated, the service units (SU) are multiplied by the cost per service unit for the given zone. For this example, 16,900 SU would be multiplied by the impact fee cost per service unit for zone 3 (\$558), which is located in **Table 12**.

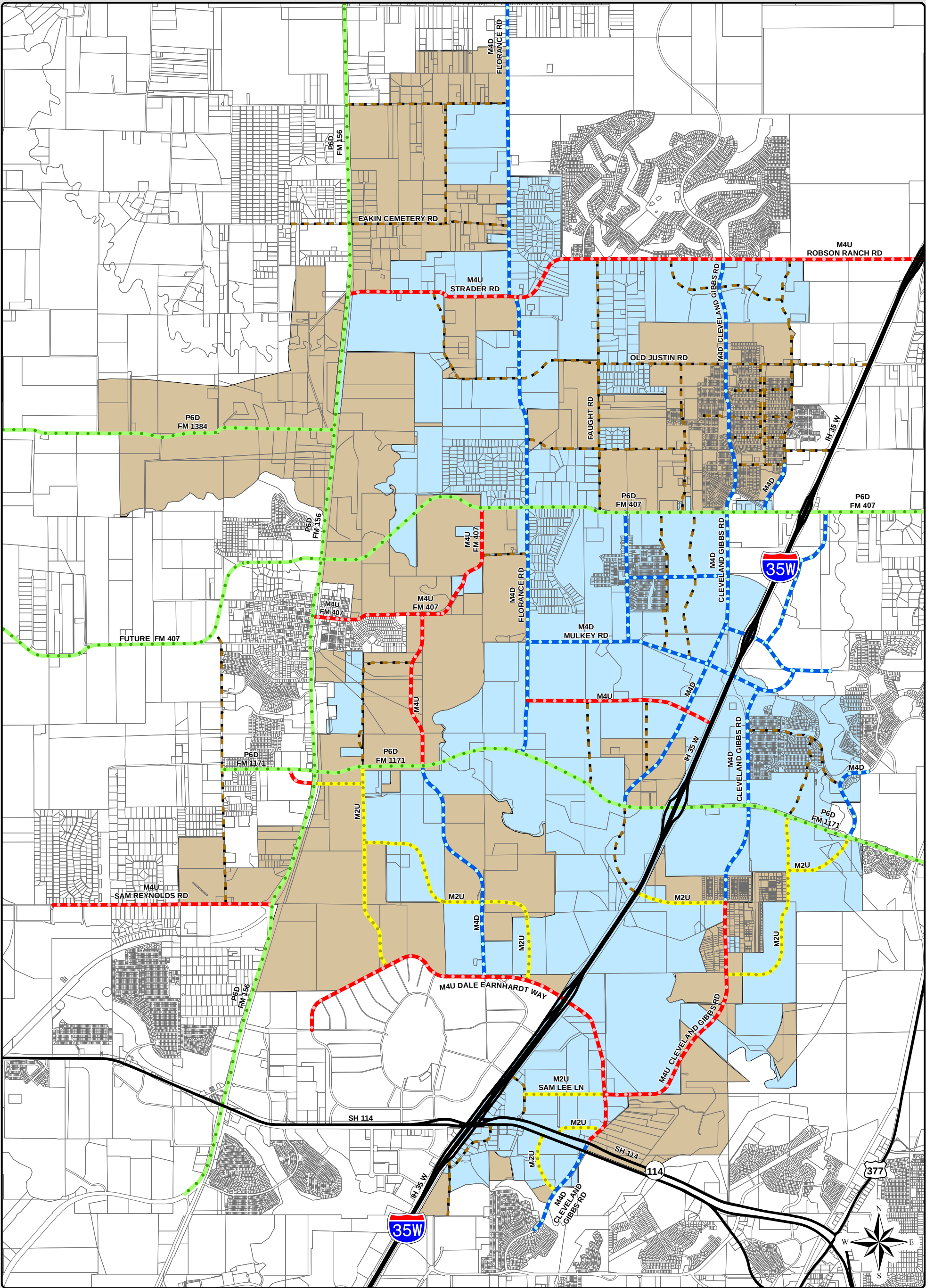
$$16,900 \text{ SU} \times \frac{\$558}{SU} = \$9,430,200$$

For the given sample project of 1,000,000 square feet of retail located in zone 3, the impact fee would be \$9,430,200. But by statute, the Town of Northlake can only collect 50% without preparing detailed cost analyses for the projects. So the adjusted impact fee total would be \$4,715,100.

APPENDIX A

Exhibits

DRAFT



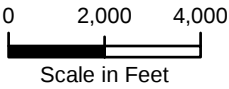
Map Features

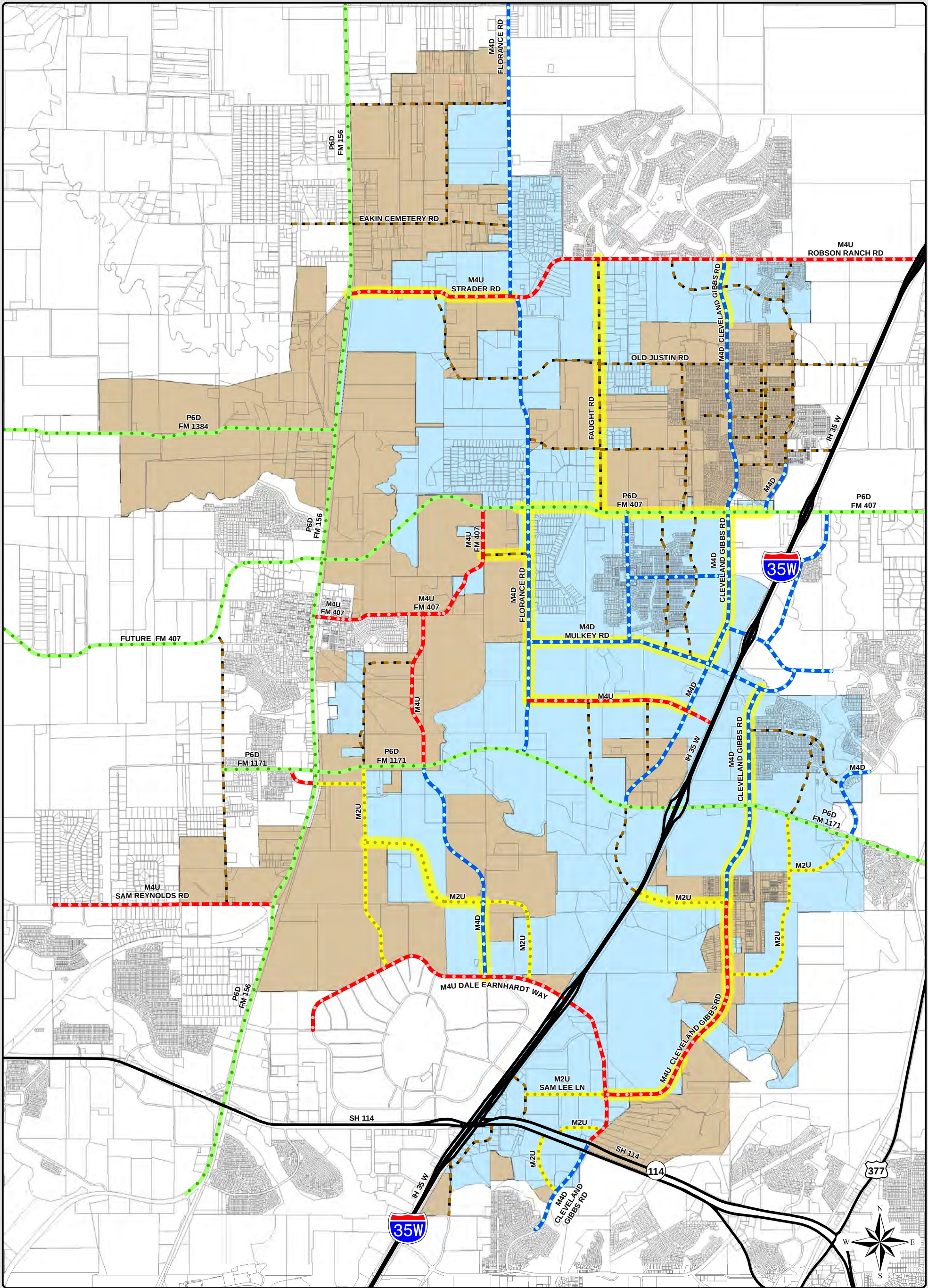
- Thoroughfare Type
- M2U
 - M4D
 - M4U
 - P6D
 - Collector Road
 - Major Roads
- Town of Northlake Incorporated Area
- Town of Northlake Extraterritorial Jurisdiction



DENTON COUNTY, TEXAS
MASTER THOROUGHFARE PLAN
MTP Update Adopted by Ordinance 21-1028-B on October 28, 2021

The MTP plan identifies existing and future roadways for the Town and its ETJ. It is recognized that classifications and/or locations of arterials may change based on future conditions. In areas, particularly in the ETJ, where the streets are not in place, the street alignments reflect corridors and not exact locations.





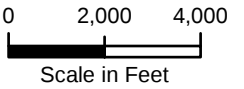
Map Features

- Thoroughfare Type**
- M2U
 - M4D
 - M4U
 - P6D
 - Collector Road
 - Major Roads
 - 10 Year CIP Streets
- Town of Northlake Incorporated Area
- Town of Northlake Extraterritorial Jurisdiction



EXHIBIT
10-Year Roadway Capital Improvement Program

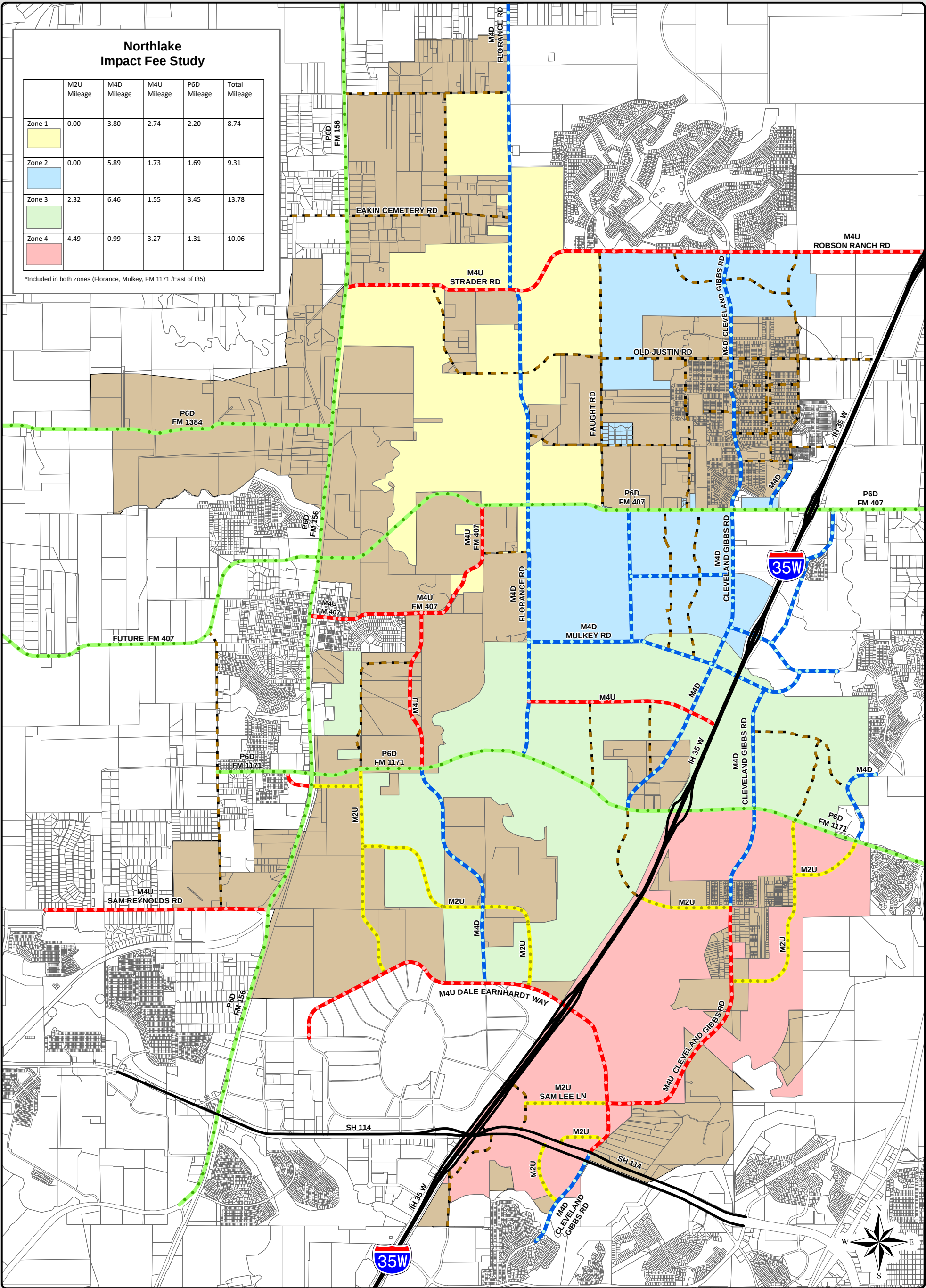
The MTP plan identifies existing and future roadways for the Town and its ETJ. It is recognized that classifications and/or locations of arterials may change based on future conditions. In areas, particularly in the ETJ, where the streets are not in place, the street alignments reflect corridors and not exact locations.



Northlake
Impact Fee Study

	M2U Mileage	M4D Mileage	M4U Mileage	P6D Mileage	Total Mileage
Zone 1	0.00	3.80	2.74	2.20	8.74
Zone 2	0.00	5.89	1.73	1.69	9.31
Zone 3	2.32	6.46	1.55	3.45	13.78
Zone 4	4.49	0.99	3.27	1.31	10.06

*Included in both zones (Florance, Mulkey, FM 1171 /East of I35)



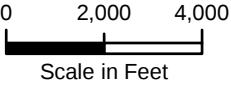
Map Features

- Thoroughfare Type
- M2U
 - M4D
 - M4U
 - P6D
 - Collector Road
 - Major Roads
- Town of Northlake Incorporated Area
- Town of Northlake Extraterritorial Jurisdiction



EXHIBIT
Impact Fee Zones

The MTP plan identifies existing and future roadways for the Town and its ETJ. It is recognized that classifications and/or locations of arterials may change based on future conditions. In areas, particularly in the ETJ, where the streets are not in place, the street alignments reflect corridors and not exact locations.



[Date]

Northlake Mayor and Town Council
1500 Commons Circle, Suite 300
Northlake, Texas 76226

RE: Northlake Impact Fee Study

Honorable Mayor Rettig and Northlake Town Council:

We, the Planning & Zoning Commission, acting as the Capital Improvements Advisory Committee for the Roadway Impact Fee update, hereby provide our comments on the Roadway Impact Fee Update. These comments are provided in accordance with the requirements of Chapter 395 of the Texas Local Government Code, which establishes the rules for impact fees in Texas. The Committee has reviewed drafts of the Roadway Impact Fee Update, and the project consultant has met with us to present the land use assumptions, capital improvement plans, and proposed impact fees. Our comments are based on our review of the draft of the Roadway Impact Fee Update, dated December 17, 2021, and the committee presentation on January 4, 2022.

Land Use Assumptions:

The land use assumptions developed for the capital improvement plan substantially correspond with the Northlake Comprehensive Plan. The land use assumptions accurately reflect the anticipated growth of the Town as outlined in the Comprehensive Plan. [The committee has no additional comments relating to the Land Use Assumptions.] [The committee has the following comments on the land use assumptions in the draft of the Roadway Impact Fee Update, dated December 17, 2021.

- Comment 1...
- Comment 2...]

[These comments do not require further revisions to the Roadway Impact Fee Update.] [We recommend that these comments be addressed in the Final Roadway Impact Fee Update before the council adopts an ordinance or resolution approving the land use assumptions and capital improvements plan.]

Capital Improvements Plan:

The CIP developed for the Roadway Impact Fee Update reasonably corresponds with the land use assumptions and accurately reflects the infrastructure needs to meet projected Town demands over the next 10 years. [The committee has no additional comments relating to the capital improvements plan.] [The committee has the following comments on the capital improvements plan in the draft of the Roadway Impact Fee Update, dated December 17, 2021.

- Comment 1...
- Comment 2...]

[These comments do not require further revisions to the Roadway Impact Fee Update.] [We recommend that these comments be addressed in the Final Roadway Impact Fee Update before the council adopts an ordinance or resolution approving the land use assumptions and capital improvements plan.]

Proposed Impact Fee:

The committee believes the impact fee development has been performed correctly and in conformance with the requirements of Chapter 395 of the Texas Local Government Code as we understand them. [The committee has no additional comments relating to the impact fee development.] [The committee has the following comments on the impact fee developed in the draft of the Roadway Impact Fee Update, dated December 17, 2021.

- Comment 1...
- Comment 2...]

[These comments do not require further revisions to the Roadway Impact Fee Update.] [We recommend that these comments be addressed in the Final Roadway Impact Fee Update before the council adopts an ordinance or resolution approving the land use assumptions and capital improvements plan.]

Sincerely,

Michaela Monson
Chairperson
Northlake Planning & Zoning Commission

C:

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); THE PATHWAY
TO 2040 NORTHLAKE COMPREHENSIVE PLAN UPDATE

SUBJECT: PLANNED DEVELOPMENT ZONING CHANGE REQUEST C -
COMMERCIAL TO C-PD - COMMERCIAL PLANNED DEVELOPMENT



GOALS/OBJECTIVES:

- Define & Strengthen our Identity; Build an event/conference center (Council Goal)
- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)
- Diversify the Tax Base (Council Goal)

ZONING CHANGE REQUEST INFORMATION:

Site: Approximately 5.2725-acre tract of land situated in the L. Medlin Survey, Abstract No. 830, and known as Lot 3, Block 3, Northport Addition, generally located on the southwest corner of Northport Drive and Dale Earnhardt Way

Applicant: Town of Northlake

Owner: Northlake Innkeepers, Ltd.

Current Zoning: Commercial (C)

Proposed Zoning: Commercial Planned Development (C-PD)

Future Land Use: Business Park Character Area & Highway Corridors Special Area

Background: The purpose of this PD zoning change is to provide for the development of a hotel and conference center as shown on the attached concept plan. The development is a partnership between hotel developer, Lodging Host Hotel Corp, and the Town of Northlake to build a full-service hotel and conference center. The Town of Northlake is funding the conference center with hotel occupancy tax funds and will retain ownership of it while contracting with Lodging Host to manage it. The hotel and conference center will be connected but located on separate lots due to separate ownership requiring that there be no building setbacks between the lots as typically required in the C zoning district.

Summary: The UDC states that a "Planned Development (PD) District may be used to permit new or innovative concepts in land utilization not [otherwise] permitted" and "to allow special conditions or restrictions, which would not otherwise allow the development to occur." The attached hotel and conference center is a unique development that warrants a PD. A concept site plan for the development is provided along with development standards.

Public Hearing: A public hearing is required prior to acting on the zoning change request. Public hearing notices were mailed to Northlake property owners within 200 feet ten days before the hearing as required. Notice was also published in the Denton Record Chronicle and on the Town's website. As of December 30, 2021, no written comments have been received.

Staff Analysis: The PD has been drafted in accordance with the requirements of the Unified Development Code (UDC) and staff finds it to meet the requirements to be considered by the P&Z and Town Council. The P&Z, in considering this PD, should consider the following criteria outlined in the UDC:

1. Whether the proposed PD implements the policies of the adopted Comprehensive Plan and other adopted master plans of the Town;
2. Whether the proposed PD promotes the health, safety, or general welfare of the Town and the safe, orderly, efficient and healthful development of the Town;
3. Whether the uses permitted by the proposed change in zoning district classification and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified;
4. Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers or other public services and utilities to the area;
5. The extent to which the proposed PD will result in a superior development than could be achieved through conventional zoning; or
6. Other criteria which, at the discretion of the Town Council [or P&Z] are deemed relevant and important in the consideration of the PD.

P&Z ACTIONS:

- Hold public hearing
- Recommend approval, approval with conditions, or disapproval of the PD zoning change request

NEXT STEPS:

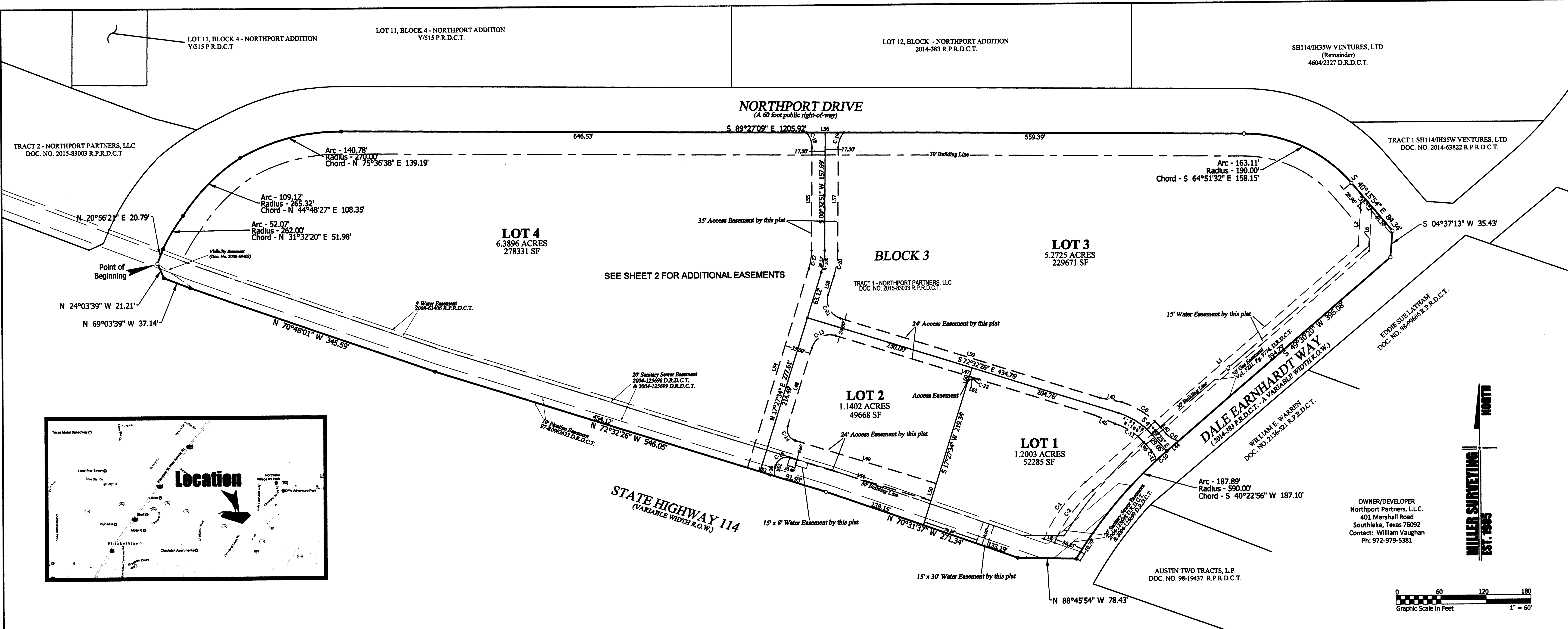
- January 13th Town Council meeting
 - o Hold public hearing
 - o Consider approval, approval with conditions, or disapproval of the PD zoning change

ATTACHMENTS:

- Exhibit A – Legal Description
- Exhibit B – Concept Plan
- Exhibit C – Development Standards

EXHIBIT A
Legal Description of Property

Lot 3, Block 3, Northport Addition
[See following page]



STATE OF TEXAS:
COUNTY OF DENTON:

WHEREAS Northport Partners, LLC, acting by and through the undersigned, their duly authorized agent are the owners of the following described tract of land to wit:

Being a tract of land out of the L. Medlin Survey, Abstract No. 830 and situated in the Town of Northlake, Denton County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in April 2017, said tract being the same tract of land described as "TRACT 1" in the deed to Northport Partners, LLC recorded as Instrument No. 2015-83003 in the Real Property Records of Denton County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch "MILLER 5665" capped steel rod set for the most westerly corner of said Tract 1, said rod being the northerly end of a corner clip for the northerly right-of-way line of SH 114 and the easterly right-of-way line of Northport Drive;

Thence North 20 degrees 56 minutes 21 seconds East with the northerly boundary line of said Tract 1 and with said easterly right-of-way line a distance of 20.79 feet to a 1/2 inch capped steel rod found for the beginning of a curve to the right with a radius of 262.00 feet and whose chord bears North 31 degrees 32 minutes 20 seconds East at 51.98 feet;

Thence northeasterly continuing with said northerly boundary line and with the southerly right-of-way line of said Northport Drive and with said curve along an arc length of 52.07 feet to a 1/2 inch capped steel rod found for the beginning of a curve to the right with a radius of 265.32 feet and whose chord bears North 44 degrees 48 minutes 27 seconds East at 108.35 feet;

Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 109.12 feet to a 1/2 inch capped steel rod found for the beginning of a curve to the right with a radius of 270.00 feet and whose chord bears North 75 degrees 36 minutes 38 seconds East at 139.19 feet;

Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 140.78 feet to a 1/2 inch capped steel rod found for the end of said curve;

Thence South 89 degrees 27 minutes 09 seconds East easterly continuing with said northerly boundary line and said southerly right-of-way line a distance of 1205.92 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the beginning of a curve to the right with a radius of 190.00 feet and whose chord bears South 64 degrees 51 minutes 32 seconds East at 158.15 feet;

Thence easterly continuing with said northerly boundary line and said southerly right-of-way line and with said curve along an arc length of 163.11 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the end of said curve;

Thence South 40 degrees 15 minutes 54 seconds East a distance of 84.34 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the most northerly northeast corner of said Tract 1, said rod being the northerly end of a corner clip for said southerly right-of-way line and the westerly right-of-way line of Dale Earnhardt Way;

Thence South 04 degrees 37 minutes 13 seconds West with said corner clip a distance of 35.43 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence South 49 degrees 30 minutes 20 seconds West with the easterly boundary line of said Tract 1 and with said westerly right-of-way line a distance of 395.08 feet to a 1/2 inch capped steel rod found for the beginning of a curve to the left with a radius of 590.00 feet and whose chord bears South 40 degrees 22 minutes 56 seconds West at 187.10 feet;

Thence southwesterly continuing with said easterly boundary line and said westerly right-of-way line and with said curve along an arc length of 187.89 feet to a 1/2 inch capped steel rod found for the most easterly southeast corner of said Tract 1, said rod being the easterly end of a corner clip for said westerly right-of-way line and said northerly right-of-way line of SH 114;

Thence North 88 degrees 45 minutes 54 seconds West with said corner clip a distance of 78.43 feet to a 1/2 inch capped steel rod found;

Thence North 70 degrees 31 minutes 37 seconds West with the southerly boundary line of said Tract 1 and with said northerly right-of-way line a distance of 271.34 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence North 72 degrees 32 minutes 26 seconds West continuing with said southerly boundary line and said northerly right-of-way line a distance of 546.05 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence North 70 degrees 48 minutes 01 seconds West continuing with said southerly boundary line and said northerly right-of-way line a distance of 345.59 feet to a 1/2 inch capped steel rod found;

Thence North 69 degrees 03 minutes 39 seconds West continuing with said southerly boundary line and said northerly right-of-way line a distance of 37.14 feet to a 1/2 inch capped steel rod found;

Thence North 24 degrees 03 minutes 39 seconds West a distance of 21.21 feet to the point of beginning and containing 14.0026 acres of land, more or less;

AND THAT Northport Partners, LLC does hereby adopt this plat designating the herein described property as NORTH PORT ADDITION, LOTS 1 thru 4, BLOCK 3, an addition to the Town of Northlake, Denton County, Texas and do hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using the same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with the construction, maintenance, or efficiency or its respective systems on any of these easement strips and any public utility shall, at all times, have the right of ingress and egress to and from and upon the said strips for the purpose of construction reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective systems without the necessity at any time procuring the permission of anyone;

William Vaughn
William Vaughn, Managing Partner
Northport Partners, LLC

STATE OF TEXAS:
COUNTY OF TARRANT:

Before me, the undersigned, a Notary Public in and for said county and state on this date appeared William Vaughn, Managing Partner of Northport Partners, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 21 day of December, 2017 A.D.

Brooke Betzen
Notary Public for the State of Texas

That I, Jason B. Rawlings, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

Jason B. Rawlings
Date 12-21-17

STATE OF TEXAS:
COUNTY OF TARRANT:

Before me, the undersigned, a Notary Public in and for said county and state on this date appeared Jason B. Rawlings, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 21st day of December, 2017 A.D.

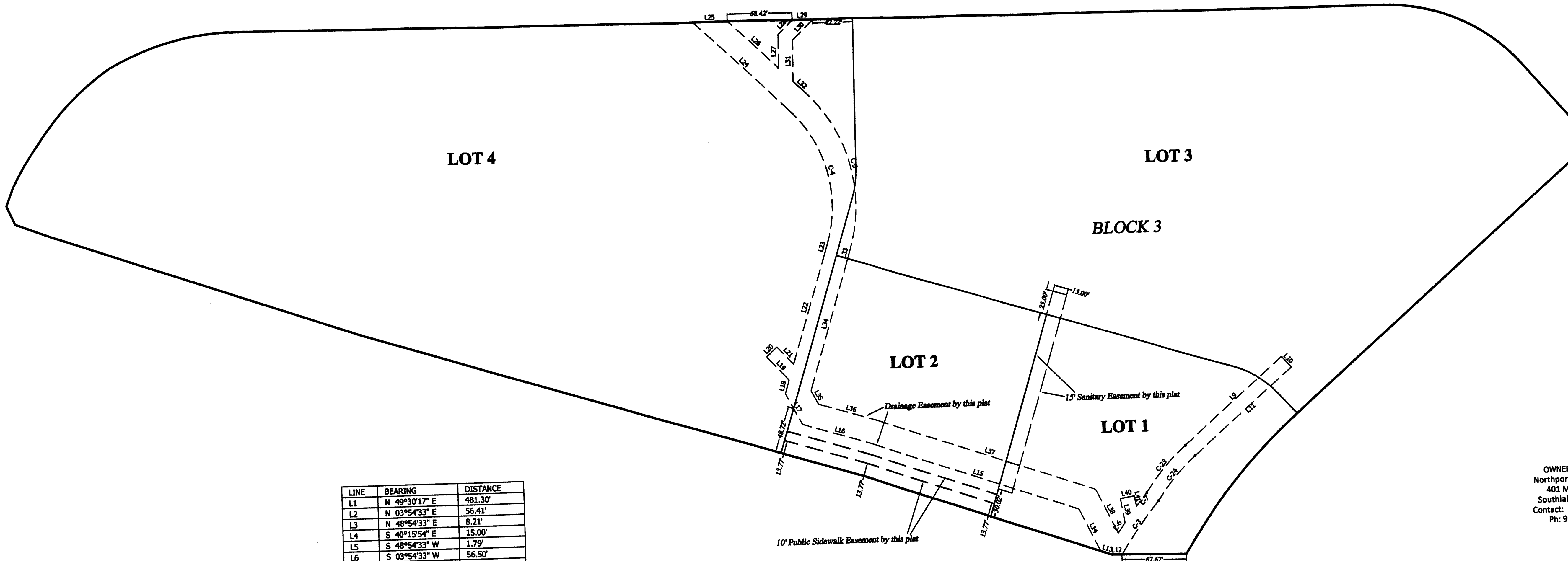
Charles D. Mansueto
Notary Public for the State of Texas

Final Plat
NORTHPORT ADDITION
LOTS 1 THRU 4, BLOCK 3
An addition to the Town of Northlake, Denton County, Texas
Being 14.0026 Acres out of the L. Medlin Survey, Abstract No. 830
Containing 4 Lots • Zoned Commercial (C)
Date of Preparation - April 2017
Sheet 1 of 2

○ = 1/2" "MILLER 5665" capped steel rod set
● = 1/2" capped steel rod found

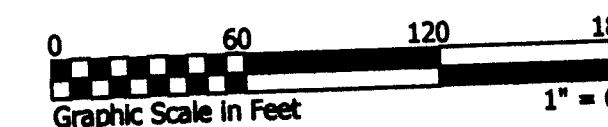
MILLER
Surveying, Inc.
Commercial • Residential • Municipal
430 Mid Cities Blvd.
Hurst, Texas 76054
817-577-1052
TxLSF No. 10100400
MillerSurvey.net

Filed for Record
in the Official Records Of:
Denton County
On: 1/22/2018 11:53:41 AM
In the PLAT Records
NORTHPORT ADDITION
Doc Number: 2018-2
Number of Pages: 2
Amount: 100.00
Order#: 20180102000309
By: BF

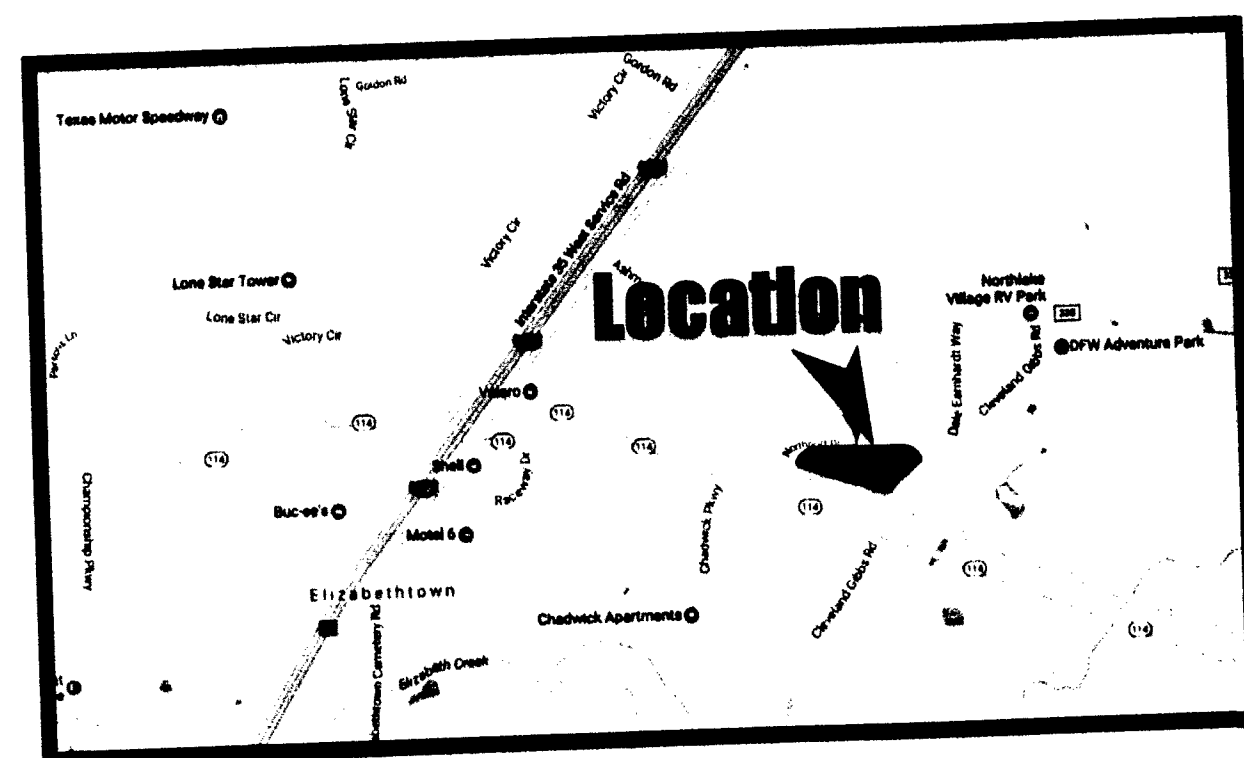


OWNER/DEVELOPER
Northport Partners, L.L.C.
401 Marshall Road
Southlake, Texas 76092
Contact: William Vaughan
Ph: 972-979-5381

MILLER SURVEYING
EST. 1965



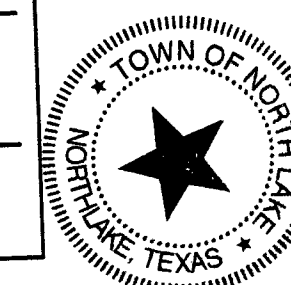
○ = 1/2" "MILLER 5665" capped steel rod set
● = 1/2" capped steel rod found



LINE	BEARING	DISTANCE
L1	N 49°30'17" E	481.30'
L2	N 03°54'33" E	56.41'
L3	N 48°54'33" E	8.21'
L4	S 40°15'54" E	15.00'
L5	S 48°54'33" W	1.79'
L6	S 03°54'33" W	56.50'
L7	S 49°30'17" W	487.60'
L8	N 70°31'33" W	15.03'
L9	N 49°30'17" E	137.16'
L10	S 40°29'43" E	15.00'
L11	S 49°30'17" W	117.89'
L12	N 88°45'54" W	10.76'
L13	N 70°31'37" W	12.17'
L14	N 25°31'33" W	49.50'
L15	N 70°31'33" W	224.61'
L16	N 72°32'26" W	79.00'
L17	N 27°32'26" W	37.08'
L18	N 17°27'34" E	14.77'
L19	N 42°32'26" W	33.73'
L20	N 47°27'34" E	15.00'
L21	S 42°32'26" E	25.07'
L22	N 17°27'34" E	121.18'
L23	N 17°27'34" E	10.00'
L24	N 46°05'24" W	136.92'
L25	S 89°27'09" E	36.41'
L26	S 46°05'24" E	72.97'
L27	N 00°58'43" E	35.23'
L28	N 45°58'43" E	21.20'
L29	S 89°27'09" E	21.37'
L30	S 45°58'43" W	30.21'
L31	S 00°58'43" W	42.97'
L32	S 46°05'24" E	16.98'
L33	S 17°27'34" W	10.00'
L34	S 17°27'34" W	142.92'
L35	S 27°32'26" E	16.37'
L36	S 72°32'26" E	69.09'
L37	S 70°31'33" E	235.41'
L38	S 25°31'33" E	51.64'
L39	N 08°57'32" W	25.53'
L40	N 81°02'28" E	15.00'
L41	S 08°57'32" E	10.85'
L42	S 78°15'04" E	30.15'
L43	S 41°19'25" E	11.15'
L44	S 49°30'20" W	21.16'
L45	N 41°19'25" W	14.46'
L46	N 66°49'48" W	30.15'
L47	N 72°32'26" W	362.26'
L48	S 17°27'34" W	109.15'
L49	S 72°32'26" E	197.50'
L50	S 17°27'34" W	24.00'
L51	N 72°32'26" W	197.50'
L52	S 17°27'34" W	2.03'
L53	N 72°32'26" W	37.64'
L54	N 17°27'34" E	277.61'
L55	N 00°32'51" E	137.56'
L56	S 89°27'09" E	50.24'
L57	S 00°32'51" W	137.87'
L58	S 17°27'34" W	26.12'
L59	S 72°32'26" E	362.26'
L60	N 17°27'34" E	5.57'
L61	S 72°32'20" E	15.02'

Curve	Arc	Radius	Central Angle	Chord	Ord. Dist.
C-1	95.25'	207.50'	26°18'01"	N 36°21'17" E 94.41'	
C-2	87.38'	192.50'	26°00'32"	S 36°30'01" W 86.64'	
C-3	68.13'	492.50'	7°55'32"	S 36°13'55" W 68.07'	
C-4	152.51'	137.50'	63°32'58"	N 14°18'55" E 144.81'	
C-5	180.24'	162.50'	63°32'58"	S 14°18'55" E 171.14'	
C-6	13.00'	507.50'	1°28'06"	N 34°57'18" E 13.00'	
C-7	18.00'	507.50'	2°01'56"	S 39°04'00" E 18.00'	
C-8	62.66'	115.00'	31°13'01"	S 56°55'56" E 61.88'	
C-9	19.57'	30.00'	37°22'22"	S 60°00'37" E 19.22'	
C-10	18.80'	590.27'	1°49'30"	S 48°37'16" W 18.80'	
C-11	15.26'	30.00'	29°09'09"	N 26°44'51" W 15.10'	
C-12	46.31'	85.00'	31°13'01"	N 56°55'56" W 45.74'	
C-13	39.27'	25.00'	90°00'00"	S 62°27'34" W 35.36'	
C-14	23.56'	15.00'	90°00'00"	S 27°32'26" E 21.21'	
C-15	23.56'	15.00'	90°00'00"	S 62°27'34" W 21.21'	
C-16	12.69'	30.00'	24°13'59"	S 05°20'35" W 12.59'	
C-17	24.35'	82.50'	16°54'43"	N 09°00'12" E 24.26'	
C-18	22.07'	30.00'	42°09'19"	N 20°31'49" W 21.58'	
C-19	21.66'	30.00'	41°21'40"	S 21°13'41" W 21.19'	
C-20	34.68'	117.50'	16°54'43"	S 09°00'12" W 34.56'	
C-21	39.27'	25.00'	90°00'00"	S 27°32'26" E 35.36'	
C-22	16.45'	20.73'	45°27'33"	S 87°05'55" W 16.02'	
C-23	64.70'	222.50'	16°39'57"	N 41°10'18" E 64.50'	
C-24	61.30'	207.50'	16°55'32"	N 41°02'31" E 61.05'	

APPROVAL BY THE TOWN COUNCIL
May 11, 2017
Date
Mayor, Town of Northlake
Shirley Rogers
Town Secretary, Town of Northlake



MILLER
Surveying, Inc.
Commercial • Residential • Municipal
430 Mid Cities Blvd.
Hurst, Texas 76054
MillerSurvey.net

Final Plat

NORTHPORT ADDITION

LOTS 1 THRU 4, BLOCK 3

An addition to the Town of Northlake, Denton County, Texas
Being 14.0026 Acres out of the L. Medlin Survey, Abstract No. 830
Containing 4 Lots • Zoned Commercial (C)

Date of Preparation - April 2017

Sheet 2 of 2

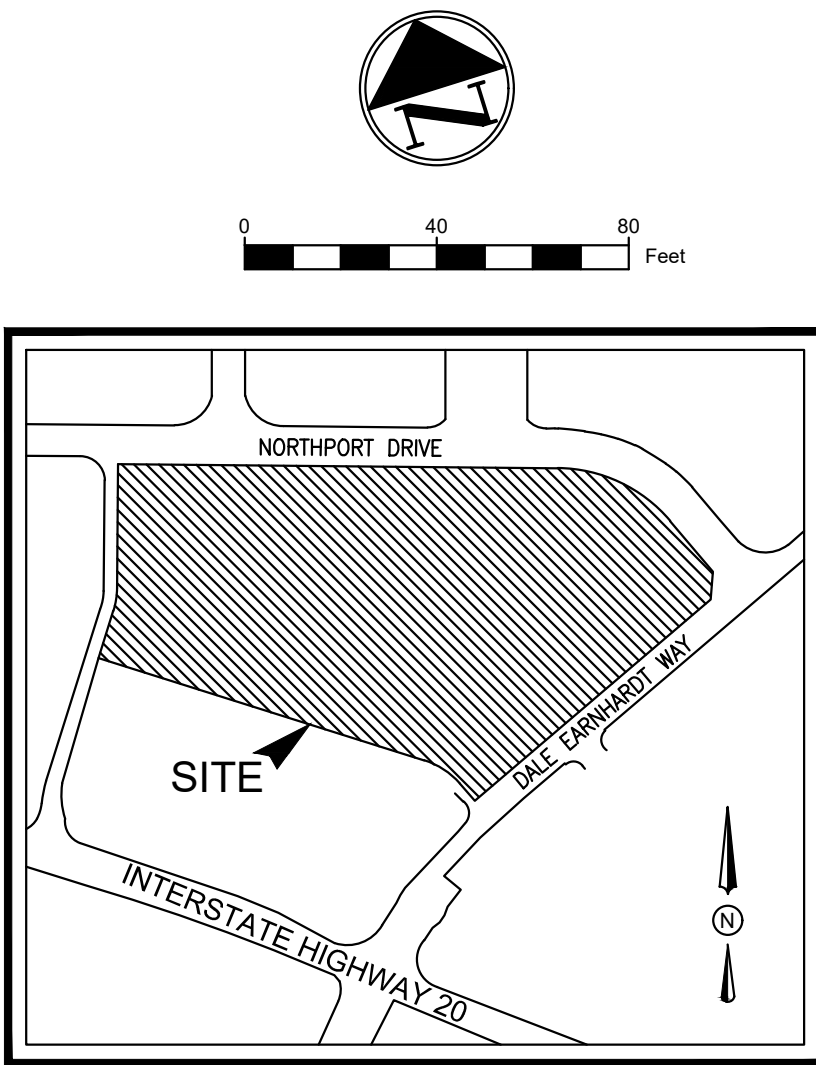
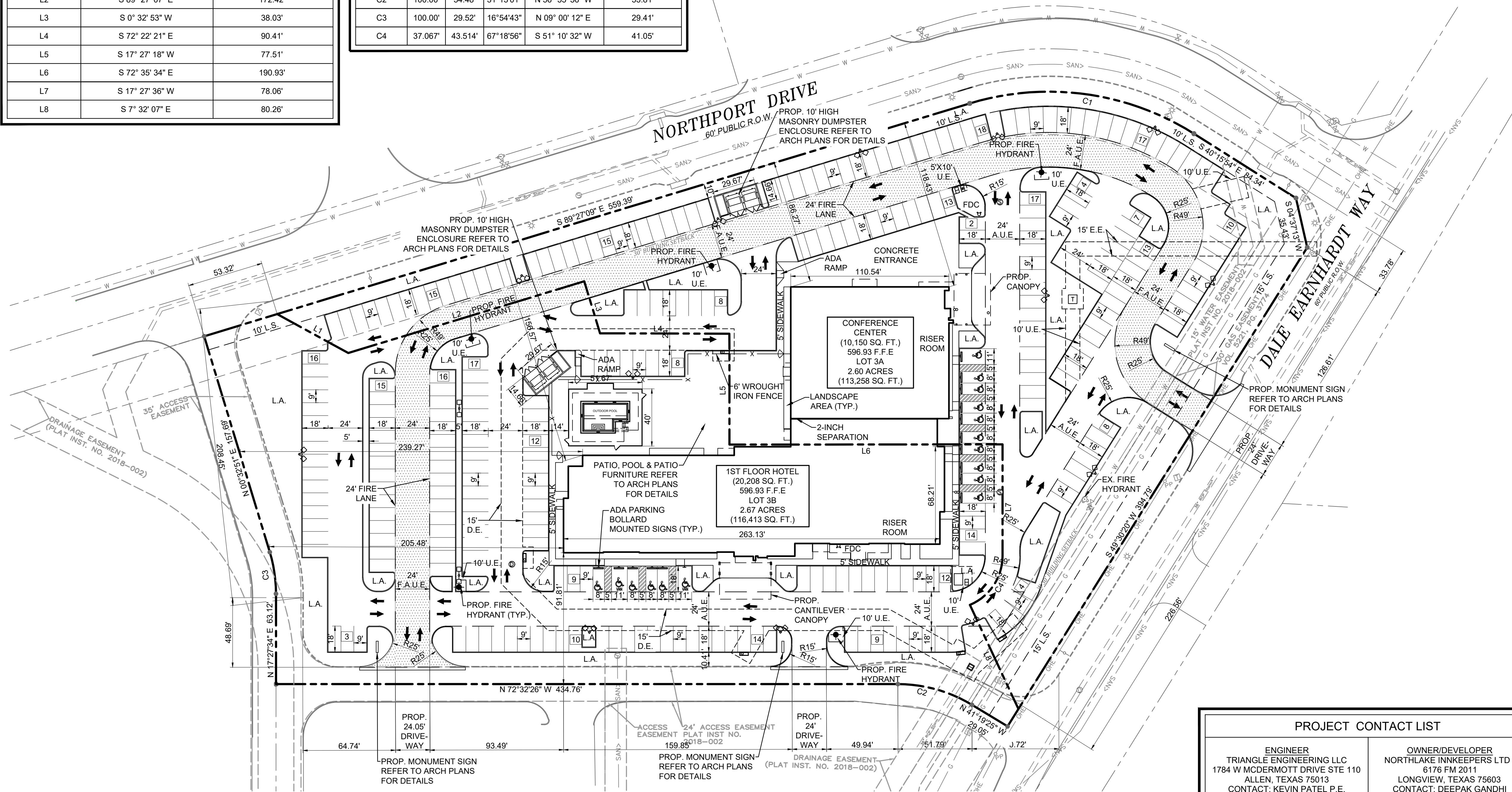
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in the Official Records Of:
Denton County
On: 1/2/2018 11:53:41 AM
In the PLAT Records
NORTHPORT ADDITION
Doc Number: 2018-2
Number of Pages: 2
Amount: 100.00
Order#: 20180102000309
By: BF

EXHIBIT B
Concept Plan

[See following page]

BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	S 43° 51' 04" E	56.68'
L2	S 89° 27' 07" E	172.42'
L3	S 0° 32' 53" W	38.03'
L4	S 72° 22' 21" E	90.41'
L5	S 17° 27' 18" W	77.51'
L6	S 72° 35' 34" E	190.93'
L7	S 17° 27' 36" W	78.06'
L8	S 7° 32' 07" E	80.26'

BOUNDARY CURVE DATA					
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	190.00'	163.11'	49°11'15"	S 64° 51' 32" W	158.15'
C2	100.00'	54.48'	31°13'01"	N 56° 55' 56" W	53.81'
C3	100.00'	29.52'	16°54'43"	N 09° 00' 12" E	29.41'
C4	37.067'	43.514'	67°18'56"	S 51° 10' 32" W	41.05'



VICINITY MAP
N.T.S.

SITE GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
2. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH, BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
6. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
7. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
8. ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
9. THIS SITE PLAN IS SPECIFIC TO THE GODDARD SCHOOL. SHOULD THIS SITE BE USED FOR ANY OTHER PURPOSE IN THE FUTURE, THE OWNER AT THAT TIME SHALL INSTALL SUFFICIENT STACKING SPACES FOR THE PROPOSED NEW USE OF THE PROPERTY.

PROJECT CONTACT LIST

ENGINEER TRIANGLE ENGINEERING LLC 1784 W MCDERMOTT DRIVE STE 110 ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL P.E. TEL: 469-331-8566	OWNER/DEVELOPER NORTHLAKE INNKEEPERS LTD. 6176 FM 2011 LONGVIEW, TEXAS 75603 CONTACT: DEEPAK GANDHI TEL: 214-455-5254
SURVEYOR MILLER SURVEYING, INC. 430 MID CITIES BLVD. HURST, TEXAS 76054 TEL: 817-577-1052	ARCHITECT PAREKH ARCHITECTS PLLC 18218 E MORGANS BEND DR CYPRESS, TEXAS 77433 CONTACT: SID PAREKH TEL: 832-878-1262

EASEMENT/SETBACK LEGEND

BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS & UTILITY EASEMENT	A.U.E.
ACCESS EASEMENT	A.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE EASEMENT	D.E.
LANDSCAPE AREA	L.A.

EXISTING LEGEND

TELECOM ACCESS	□
TELECOM MANHOLE	○
TELECOM MARKER	◇
TELECOM PEDESTAL	□
ELECTRIC CABINET	□
ELECTRIC MANHOLE	○
ELECTRIC MARKER	◇
ELECTRIC POLE	◇
TRAFFIC CONTROL	□
LIGHT POLE/POST	□
TRAFFIC/PARKING SIGN	□
GAS MARKER	◇
GAS METER/SERVICE	◇
GAS TEST STATION	◇
GAS MANHOLE	○
WATER VAULT	○
FIRE HYDRANT	○
WATER VALVE	○
WATER METER	○
WATER MANHOLE	○
FIRE DEPT. CONNECT	○
SANITARY MANHOLE	○
CLEANOUT	○
SANITARY MARKER	◇
STORM MANHOLE	○
DROP INLET	○
GRATE INLET	○
STEEL ROD FOUND	○
STEEL ROD SET	○
CROSS IN CONCRETE	×
OVERHEAD UTILITY LINE	— OHE —
UNDERGROUND GAS LINE PER RECORDS	— G —
UNDERGROUND SANITARY PER RECORDS	— SAN —
UNDERGROUND WATERLINE PER RECORDS	— W —
UNDERGROUND STORM PIPE PER RECORDS	— S —

SITE LEGEND

CONCRETE CURB	—
SAW-CUT LINE	—
FENCE	— X —
FIRE LANE	—
STRIPING	—
PARKING SPACES	—
MONUMENT/PYLON SIGN	—
WHEEL STOPS	—
HANDICAP LOGO	—
HANDICAP SIGN	—
RAMP	—
BOLLARD	—
TRAFFIC ARROW	—
FIRE HYDRANT	—
DUMPSTER	—
LIGHT POLE	—

SITE DATA SUMMARY TABLE (CAMBRIA HOTEL)

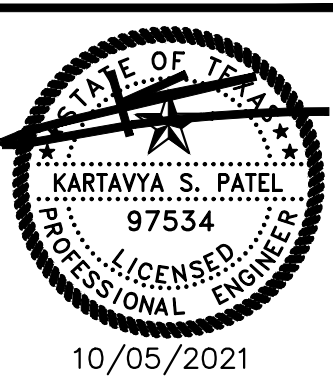
NUMBER OF LOTS:	PROPOSED LOT 3B
GROSS SITE ACREAGE:	2.67 ACRES OR 116,413 S.F.
EXISTING ZONING:	COMMERCIAL
PROPOSED ZONING:	COMMERCIAL
PROPOSED USE:	HOTEL
BUILDING AREA:	74,799 S.F.
NUMBER OF STORIES:	4
BUILDING HEIGHT:	58'-7"
BUILDING COVERAGE:	64%
FLOOR AREA RATIO:	0.64
NUMBER OF GUEST ROOMS:	111
REGULAR PARKING REQUIRED: (1 SP PER ROOM)	111 PARKING SPACES
REGULAR PARKING PROVIDED:	149 PARKING SPACES
HANDICAP PARKING REQUIRED:	5 SPACES (1 VAN SPACE)
HANDICAP PARKING PROVIDED:	10 SPACES (2 VAN SPACES)
IMPERVIOUS COVERAGE:	90,005 S.F. OR 77.3%
PERVIOUS/LANDSCAPE AREA:	26,408 S.F. OR 22.7%

SITE DATA SUMMARY TABLE (CONFERENCE CENTER)

NUMBER OF LOTS:	PROPOSED LOT 3A
GROSS SITE ACREAGE:	2.60 ACRES (113,258 S.F.)
EXISTING ZONING:	COMMERCIAL
PROPOSED ZONING:	COMMERCIAL
PROPOSED USE:	CONFERENCE CENTER
BUILDING AREA:	10,150 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	37'-8"
BUILDING COVERAGE:	9%
FLOOR AREA RATIO:	0.09
PARKING REQUIRED: *(1 SPACE PER 3 MAX OCCUPANT LOAD)	143 PARKING SPACES (429 OCCUPANT LOAD)
REGULAR PARKING PROVIDED:	157 PARKING SPACES
HANDICAP PARKING REQUIRED:	6 SPACES (1 VAN SPACE)
HANDICAP PARKING PROVIDED:	6 SPACES (1 VAN SPACE)
IMPERVIOUS COVERAGE:	81,582 S.F. OR 72.0%
PERVIOUS/LANDSCAPE AREA:	31,676 S.F. OR 28.0%

This plan is to show the general concept of the proposed development. Details are subject to change with final site plan approval which is required prior to issuance of a building permit.

NO.	DATE	DESCRIPTION	BY
1	10-05-2021	1ST SUBMITTAL	KP



CONCEPTUAL SITE PLAN

CONVENTION CENTER & CAMBRIA HOTEL				
5.27 ACRES L. MEDLIN SURVEY, ABS # 830				
NORTHPORT ADDITION LOT 3, BLOCK 3				
CITY OF NORTHLAKE				
DENTON COUNTY, TEXAS				
T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com				
W: triangle-engr.com O: 1784 McDermott Drive, Suite 110, Allen, TX 75013				
Planning Civil Engineering Construction Management				
DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	JZ	10/05/21	093-19	C-3.0
TX PE FIRM #11525				

EXHIBIT C
Development Standards
5.2725 ACRES

Statement of Purpose and Intent

The intent of this Planned Development (PD) is to provide regulations for the development of hotel and conference center (the "Project") on 5.2725 acres of land (the "Property") within the Town of Northlake, Texas (the "Town"). These regulations are intended to provide for the development of this unique public-private partnership Project. Except as modified or amended herein, this Planned Development shall conform to all applicable sections of the Town's Unified Development Code (the "UDC").

Project Location

The Project is located in the in the L. Medlin Survey, Abstract No. 830, on a lot currently platted as Lot 3, Block 3, Northport Addition, in the Town of Northlake, Denton County, Texas and is more fully described in the attached legal description (Exhibit A).

Development Standards

All development within the boundary of this Planned Development District shall adhere to the rules and regulations set forth herein. This zoning document and the Exhibits listed below supersede any existing zoning, use and development regulations for the tract of land described herein.

- Exhibit A Legal Description of Property
- Exhibit B Concept Plan

Development Regulations

1. Except as otherwise defined in this PD, terms used herein shall be the same as those found in the UDC as it exists or may be amended (hereinafter, the "UDC").
2. The base zoning for the Property shall comply with the Commercial (C) zoning district in the UDC. In addition to the uses allowed by right under the Commercial (C) zoning district, the following use shall be permitted by right within the subject property:

Conference/Convention Center defined as "A facility accommodating multiple assembly, meeting, and/or exhibit rooms, and related support facilities (e.g., kitchens, offices, etc.)."

3. All development within this PD shall be subject to all applicable development standards of the UDC with the following exceptions and/or additional standards:

Interior lot setbacks shall not be required. Minimum building setbacks shall only apply to portions of a lot fronting a public street right-of-way.

Conference/Convention Center use shall have a minimum parking requirement of 1 space with a minimum size of 9 feet by 18 feet per 3 occupants based on the maximum occupant load per the Town's building code.

4. In the event of any conflict between this PD and any other ordinance, rule, regulation, standard, policy, order, guideline or other Town-adopted or Town-enforced requirement, whether existing on the effective date or hereinafter adopted by the Town (collectively, "Town Zoning Ordinances and Regulations"), this PD shall prevail and control. All Town Zoning Ordinances and Regulations that are inconsistent with the terms and provisions of this PD are hereby made inapplicable to the Property.
5. The Concept Plan attached hereto as Exhibit B and incorporated herein by reference, demonstrates potential locations and relationships of the uses permitted under this PD.
6. A Site Plan shall be required for all developments within this PD in general accordance with the Concept Plan and be processed according to Sec. 12.15 of the UDC.

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: NORTHLAKE UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN MANUAL (EDM)

SUBJECT: NORTHLAKE LOGISTICS CROSSING FINAL PLAT (FP-21-012)



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)

FINAL PLAT INFORMATION:

Owner/Applicant: Scannell Properties #444, LLC

Engineer/Surveyor: Goodwin and Marshall, Inc.

Current Zoning: Industrial (I)

Site: Approximately 124.061 acres out of the H. Anderson Survey, Abstract No. 25 and the A. Gawltney Survey, Abstract No. 500, generally located north of Victory Circle East on the west side of Harmonson Road.

Summary: This application is for a final plat of an industrial development to be known as Northlake Logistics Crossing. It consists of 2 lots with buildings planned on each lot totaling approximately 1.39 million square feet. The site plan and preliminary plat for the development was approved by the P&Z Commission on July 27, 2021.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The application was considered filed on December 7, 2021, and it will be approved on January 6, 2022, if no action is taken.

The final plat conforms to the approved preliminary plat, and it meets all I-Industrial zoning standards. Construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and meet all engineering design requirements.

P&Z ACTIONS:

- Approve or take no action (results in approval on January 6th)

SEE SHEET 2
MATCH LINE

LOT 1, BLOCK 1
3,654,621 SQUARE FEET
83.899 ACRES

**MINIMUM FINISHED
FLOOR ELEVATION**
611.05'

APPROXIMATE LOCATION
ENBRIDGE PIPELINES
(NORTH TEXAS) L.P.
50'X20' SURFACE EASEMENT
2005-68676, O.R.D.C.T.

APPROXIMATE LOCATION
ENBRIDGE PIPELINES
(NORTH TEXAS) L.P.
20' PIPELINE EASEMENT
VOL. 5097, PG. 2086, D.R.D.C.T.
2004-1124, O.R.D.C.T.

20' BUILDING LINE

APPROXIMATE LOCATION
DALLAS MTA, L.P.
5' UTILITY & FIBER
EASEMENTS #1, #2 & #3
2016-120408, O.R.D.C.T.

PROPOSED 50' GAS
PIPELINE EASEMENT

R.O.W. DEDICATION
2020-186, O.R.D.C.T.

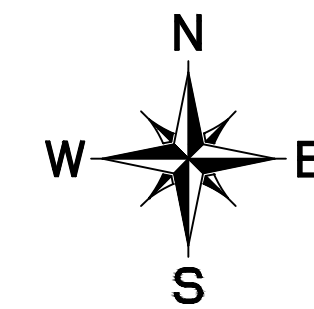
PML FAMILY
PARTNERS, LLC
2020-23283
O.R.D.C.T.

FAST TRACK
DEVELOPMENT, LLC
2017-11634,
O.R.D.C.T.

TOWER
SITE

LEGEND

VOL.	VOLUME
CAB.	CABINET
PG.	PAGE
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
O.R.D.C.T.	OFFICIAL RECORDS, DENTON COUNTY, TEXAS
R.F.	REBAR FOUND
R.C.F.	REBAR WITH CAP FOUND
R.S.C.	REBAR WITH CAP SET "GOODWIN AND MARSHALL"



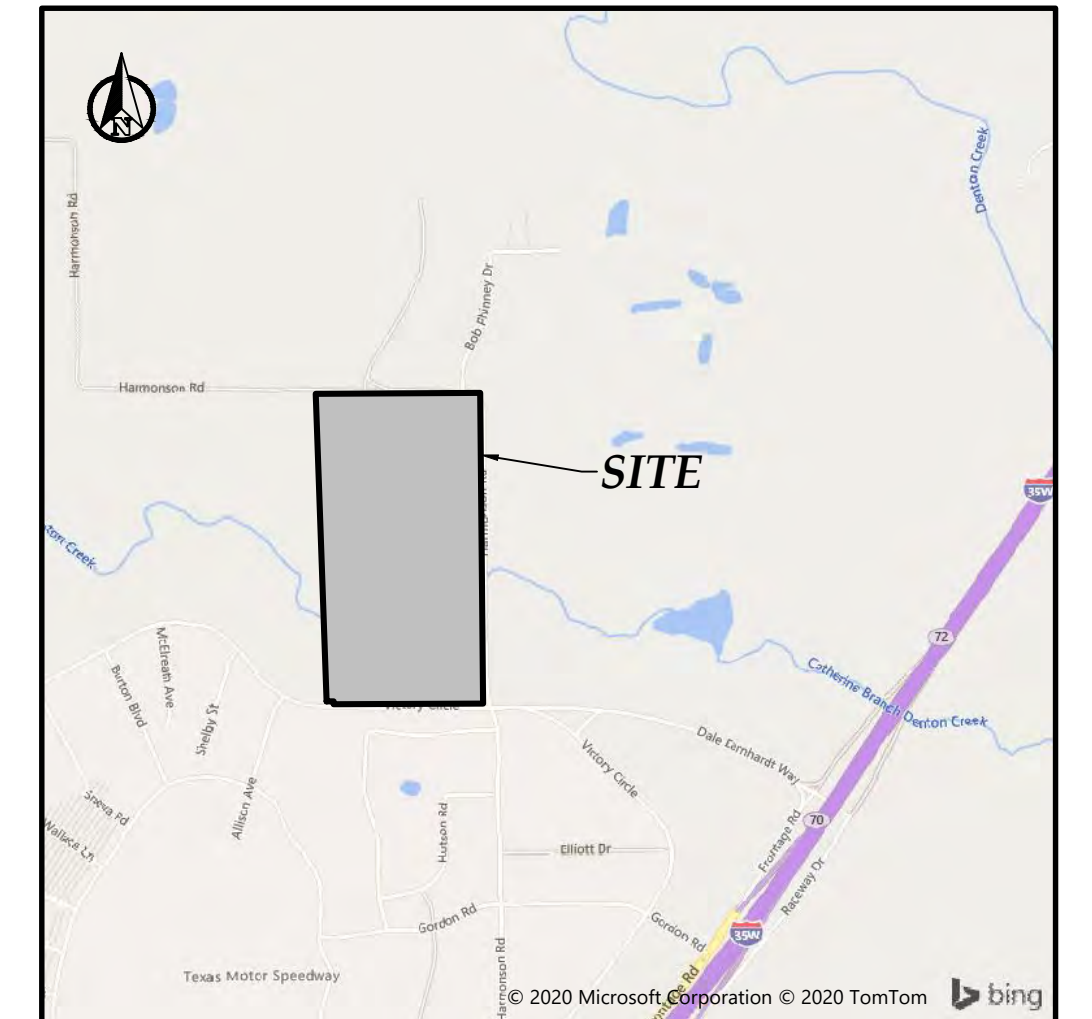
GRAPHIC SCALE 1"=100'

0 100 200 300

NORTHLAKE 35, LLC
2020-128059
O.R.D.C.T.

NOTES:

- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation.
- According to the Federal Emergency Management Agency Flood Insurance Rate Map No. 48121C0495G, map revised April 18, 2011 the property platted hereon appears to lie in ZONE X NON-SHADED (Areas determined to be outside the 0.2 % annual chance floodplain) and ZONE A (Special Flood Hazard Areas subject to inundation by the 1% annual chance flood (No Base Flood Elevations determined)).



VICINITY MAP
N.T.S.

CATHERINE BRANCH

100-YEAR ULTIMATE FLOODPLAIN
PER G&M FLOOD STUDY FOR
CATHERINE BRANCH DATED: 6/16/21

APPROXIMATE LOCATION
ENBRIDGE (NORTH TEXAS) L.P.
50' PIPELINE EASEMENT
VOL. 286, PG. 468, D.R.D.C.T.
VOL. 5398, PG. 1172, D.R.D.C.T.
2005-24425, O.R.D.C.T.
(TO BE ABANDONED)

LOT 2, BLOCK 1
1,507,567 SQUARE FEET
34.609 ACRES

**MINIMUM FINISHED
FLOOR ELEVATION**
612.95'

RIGHT OF WAY DEDICATION
241,897 SQUARE FEET
5.553 ACRES

APPROXIMATE LOCATION
DALLAS MTA, L.P.
5' UTILITY & FIBER
EASEMENTS #1, #2 & #3
2016-120408, O.R.D.C.T.

OWNER/DEVELOPER:

SCANNELL PROPERTIES

5959 SHERRY LANE #1550
DALLAS, TX. 75225
IAN MACDONALD (317) 218-1647

PREPARED BY:

**GOODWIN AND
MARSHALL INC.**

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

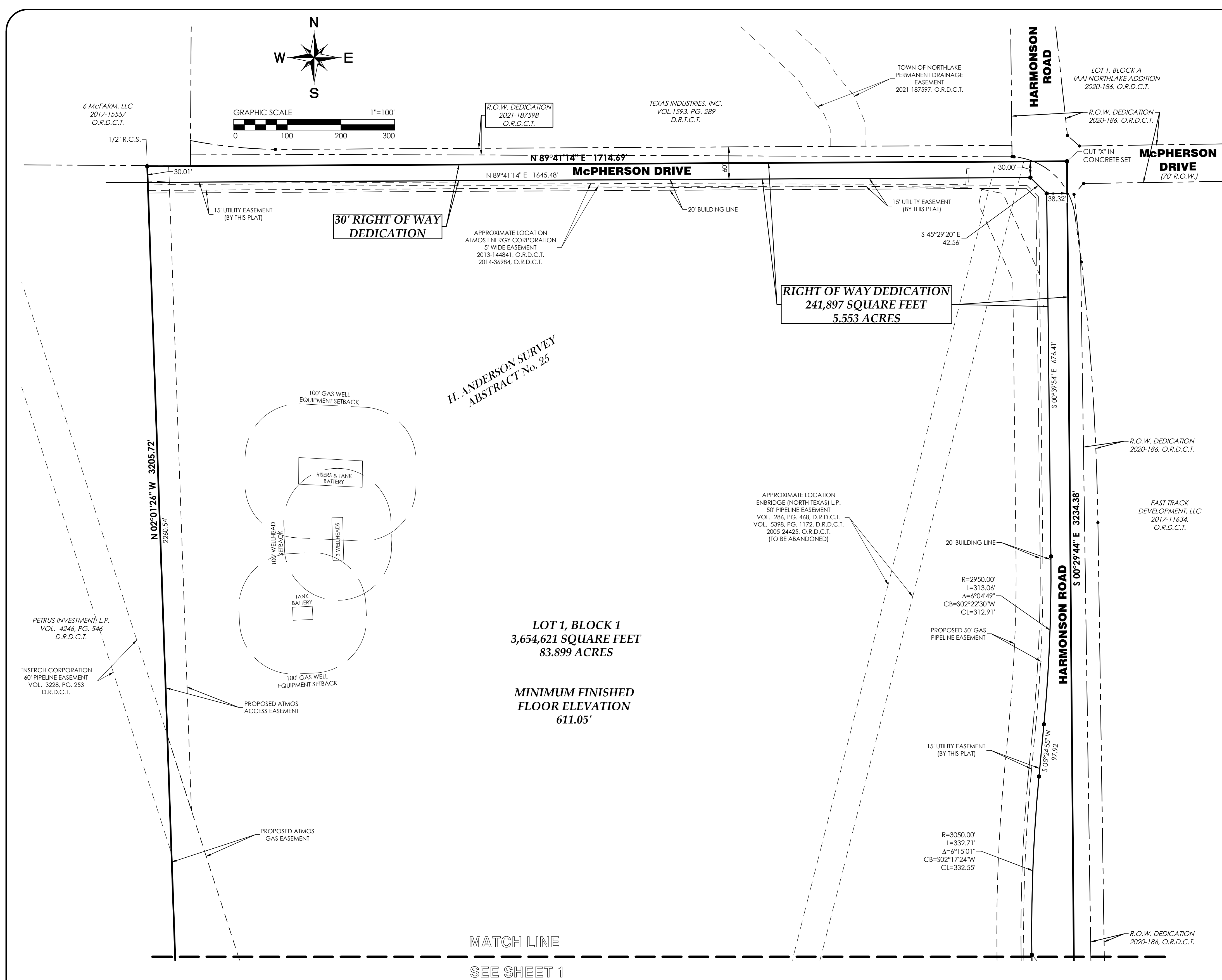
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373

PRELIMINARY, this document shall not be recorded for
any purpose and shall not be used or viewed or relied
upon as a final survey document.
Issued for review 11/9/2021 9:20 AM

FINAL PLAT
OF
NORTHLAKE LOGISTICS CROSSING
LOTS 1 & 2, BLOCK 1
BEING 124.061 ACRES IN THE
H. ANDERSON SURVEY, ABSTRACT No. 25
A. GAWLTNEY SURVEY, ABSTRACT No. 500
IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
2 INDUSTRIAL LOTS
CURRENT ZONING: INDUSTRIAL
DECEMBER 2021

SHEET 1 of 2

EA 10878 - SPEEDWAY EAST (COCO) FINAL PLAT FINAL PLAT.dwg



OWNER'S CERTIFICATE

STATE OF TEXAS:
COUNTY OF DENTON:

WHEREAS SCANNELL PROPERTIES #444, LLC, an Indiana limited liability company, is the sole owner of a tract of land situated in the H. Anderson Survey, Abstract No. 25 and the A. Gaultney Survey, Abstract No. 500, Denton County, Texas, being described in deeds to Scannell Properties #444, LLC, recorded in 2020-193307 & 2020-193308, Official Records, Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" rebar capped found at the most westerly southwest corner of said Scannell tract and the southeast corner of the remainder portion of a tract of land as described in deed to Petrus Investment, L.P., recorded in Volume 4246, Page 546, Deed Records, Denton County, Texas, said point lying in the north line of Texas Motor Speedway, an addition to the City Fort Worth, Denton County, Texas as recorded in Cabinet V, Page 493, Plat Records, Denton County, Texas;

THENCE North 02 degrees 01 minutes 26 seconds West, along the west line of said Scannell tract and the east line of said Petrus tract, a distance of 3205.72 feet (Petrus deed 3204.95 feet) to a 1/2" rebar capped Goodwin & Marshall set (hereafter referred to a 1/2" rebar capped set) in Harmonson Road at the northwest corner of said Scannell tract;

THENCE North 89 degrees 41 minutes 14 seconds East, along said Harmonson Road and the north line of said Scannell tract, a distance of 1714.69 feet to a cut X set in concrete at the northeast corner of said Scannell tract;

THENCE South 00 degrees 29 minutes 44 seconds East, along said Harmonson Road and the east line of said Scannell tract, a distance of 3234.38 feet to a 5/8" rebar capped RPL 5587 found at the southeast corner of said Scannell tract, from which a 5/8" rebar found bears South 87 degrees 48 minutes East, 14.41 feet;

THENCE South 89 degrees 41 minutes 21 seconds West, departing said Harmonson Road, along the south line of said Scannell tract, a distance of 1555.00 feet to a 1/2" rebar capped set at the most southerly southwest corner of said Scannell tract, from which a 5/8" rebar capped Clear Fork RPL 5649 found bears South 27 degrees 14 minutes East, 1.8 feet;

THENCE North 00 degrees 14 minutes 16 seconds West, along a reentrant line of said Scannell tract, a distance of 30.05 feet to a 1/2" rebar capped set at a fence corner, being a reentrant corner of said Scannell tract;

THENCE South 89 degrees 39 minutes 52 seconds West, along a reentrant line of said Scannell tract, a distance of 74.32 feet to the POINT OF BEGINNING and containing 5,404,087 square feet or 124.061 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT SCANNELL PROPERTIES #444, LLC, an Indiana limited liability company, acting by and through the undersigned, their duly authorized agent, does hereby adopt this final plat of NORTHLAKE LOGISTICS CROSSING, LOTS 1 & 2, BLOCK 1, an addition to the Town of Northlake, Denton County, Texas, and does hereby dedicate to the public use forever the streets and easements shown hereon.

Witness our hand, this the ____ day of _____, 2021.

SCANNELL PROPERTIES #444, LLC, an Indiana limited liability company

By: _____

Printed: _____

Title: _____

STATE OF INDIANA:
COUNTY OF MARION:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Indiana, on this date personally appeared Marc D. Pflieger, known to me to be the same person whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act of SCANNELL PROPERTIES #444, LLC and that he executed the same as the act of said limited liability company for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2021.

Notary Public in and for the State of Indiana

KNOW ALL MEN BY THESE PRESENTS:

That I, Joel S. Barton, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

Joel S. Barton
Registered Professional Land Surveyor No. 4914
Goodwin & Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
metro (817) 329-437

APPROVED BY THE PLANNING & ZONING COMMISSION

Date _____

P&Z Chairperson, Town of Northlake _____

Town Secretary, Town of Northlake _____

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Issued for review 11/9/2021 9:20 AM

FINAL PLAT
OF
NORTHLAKE LOGISTICS CROSSING
LOTS 1 & 2, BLOCK 1
BEING 124.061 ACRES IN THE
H. ANDERSON SURVEY, ABSTRACT No. 25
A. GAWLTNEY SURVEY, ABSTRACT No. 500
IN THE TOWN OF NORTHLAKE, DENTON COUNTY, TEXAS
2 INDUSTRIAL LOTS
CURRENT ZONING: INDUSTRIAL
DECEMBER 2021

SHEET 2 of 2

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN
MANUAL (EDM); MIXED-USE PLANNED DEVELOPMENT

SUBJECT: CANYON FALLS LIV DEVELOPMENT FINAL PLAT
(FP-21-018)



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)

FINAL PLAT INFORMATION:

Owner: NASH Canyon Falls, LLC

**Applicant/
Developer:** LIV Development, LLC

Engineer/Surveyor: J. Volk Consulting

Current Zoning: Mixed-Use Planned Development (MPD)

Site: Approximately 15.730 acres out of the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive.

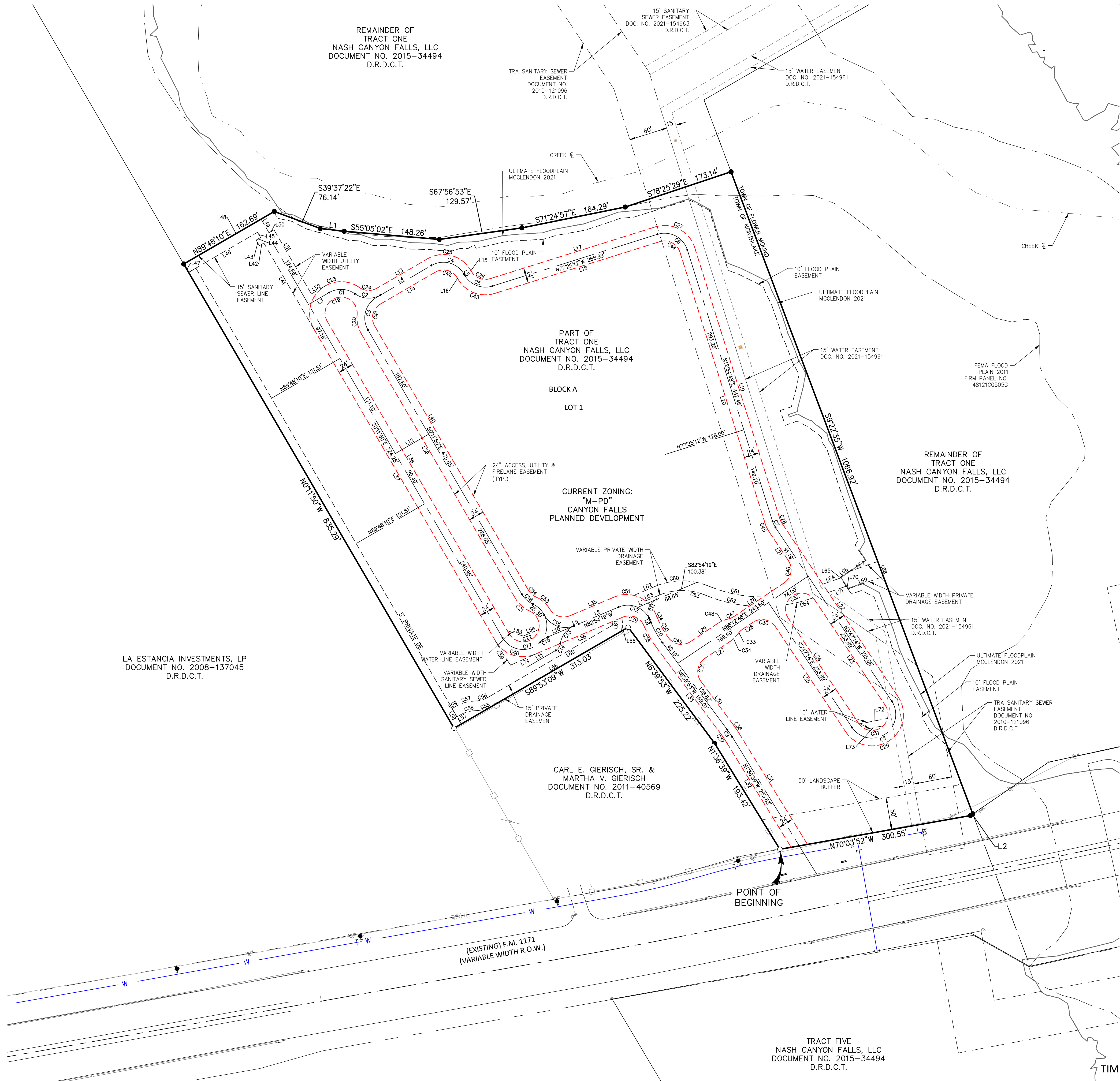
Summary: This application is for a final plat for a proposed multi-family residential development to be developed on one lot within Canyon Falls. The site plan for the development is on this same agenda. The preliminary plat for it was approved by the P&Z Commission on October 5, 2021.

Staff Analysis: The applicant has provided a final plat application in accordance with the requirements of the Unified Development Code (UDC). The final plat conforms to the approved preliminary plat and meets all density and lot dimension standards outlined in the MPD.

A drainage study and construction plans for storm drainage, water, sanitary sewer, and paving were also submitted with the final plat for review and will meet all engineering design requirements pending a few remaining comments to be addressed prior to the P&Z meeting. Staff will inform you at the meeting if all requirements have been met. The plat application will be considered filed upon approval of the drainage study and construction plans.

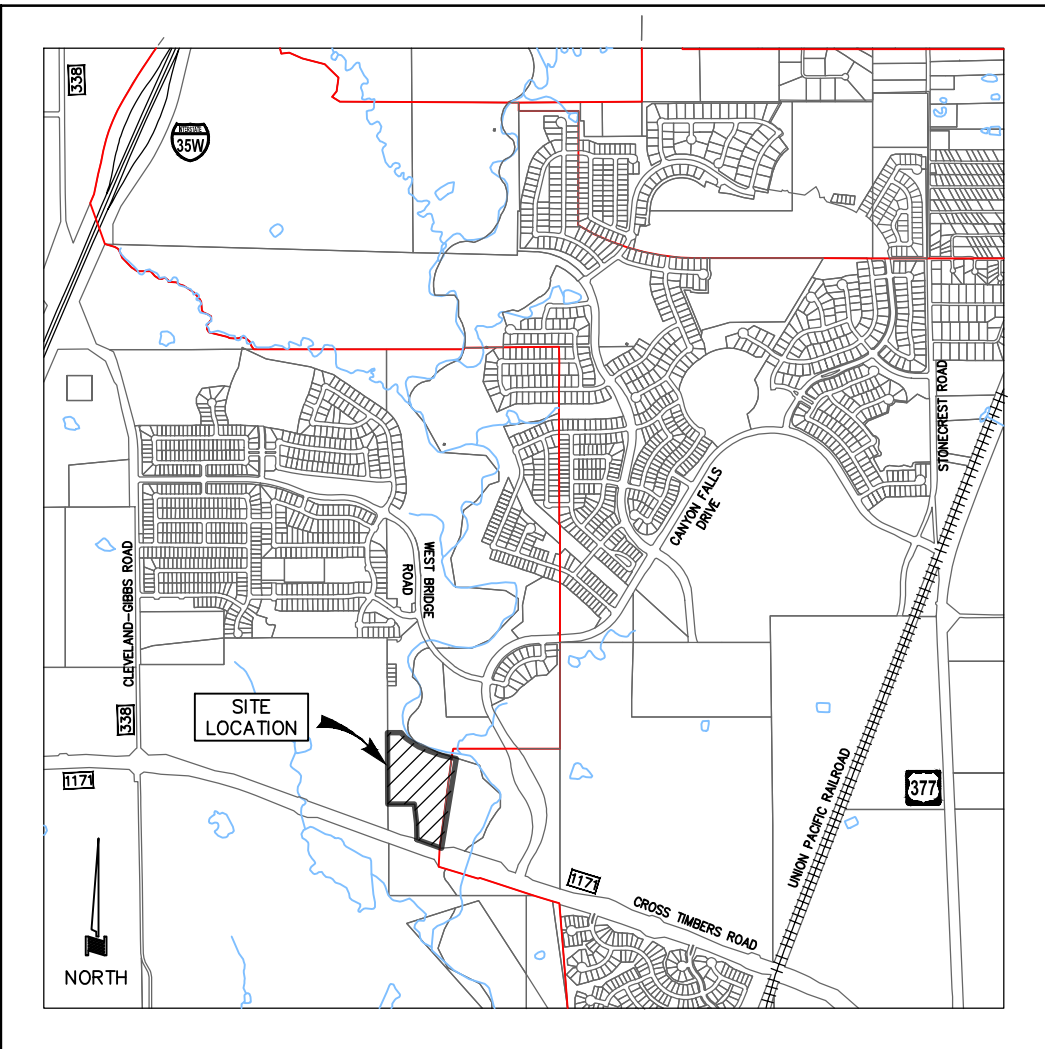
P&Z ACTIONS:

- Approve or take no action (results in approval 30 days from being filed) if remaining comments on the drainage study and construction plans are addressed
- Continue to next meeting or approve with conditions if any comments on the drainage study and construction plans remain

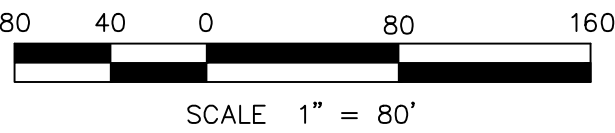
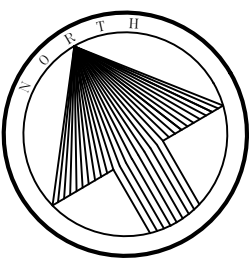


- NOTES:
1. Basis of bearings derived from deed to Nash Canyon Falls, LLC, as recorded in Document No. 2015-34494, deed records, Denton County, Texas.
 2. All property corners monumented with a 1/2" iron rod with a yellow plastic cap stamped "JVC" unless otherwise noted.
 3. Per the approved PD there are no established setbacks for this lot.

BENCHMARKS
1) Square cut in concrete set on top of southerly most pillar of Electrical Tower No. 82. Elev. 651.75'
N: 7076050.39 E: 2362437.01
2) Square cut in concrete set on top of southerly most pillar of Electrical Tower No. 83. elev. 641.77'
N: 7075280.73 E: 2363305.04



VICINITY MAP
N.T.S.



LEGEND	
IRF ○	1/2" IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
IRS ●	1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
<CM>	CONTROL MONUMENT
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
BL	BUILDING LINE
- - - -	FIRE LANE

FINAL PLAT
OF
**CANYON FALLS
LIV DEVELOPMENT**

TRACT MU2
BLOCK A, LOT 1,

BEING 15.730 ACRES LOCATED IN THE
W. LOVE SURVEY - ABSTRACT NO. 728
AN ADDITION IN THE
TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS

December 15, 2021

SHEET 1 OF 2

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

APPLICANT/DEVELOPER:
LIV DEVELOPMENT, LLC
2204 LAKESHORE DRIVE, SUITE 450
BIRMINGHAM, AL 35209
205-484-2840
JLENTZ@LIVDEV.COM

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160
TIM.DURIE@BROOKFIELDPROPERTIESDEVELOPMENT.COM

LEGAL DESCRIPTION:

BEING a tract of land situated in the W. LOVE SURVEY, ABSTRACT NO. 728, Town of Northlake, Denton County, Texas and being part of that tract of land described as Tract One in Deed to NASH Canyon Falls, LLC, as recorded in Document No. 2015-34494, Deed Records, Denton County, Texas and being more particularly described as follows:

BEGINNING at a concrete monument found in the north line of Farm to Market Road No. 1171, a variable width right-of-way, for the common southeast corner of that tract of land described in Deed to Carl E. Gierisch, Sr. & Martha V. Gierisch, as recorded in Document No. 2011-40569, Deed Records, Denton County, Texas and an exterior ell corner of said Tract One;

THENCE North 01 degrees 36 minutes 39 seconds West, leaving said north line and with the common east line of said Carl E. Gierisch, Sr. & Martha V. Gierisch tract and west line of said Tract One, a distance of 193.42 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 06 degrees 39 minutes 53 seconds West, continuing with said common line, a distance of 225.22 feet to a 1/2 inch iron rod with a red plastic cap found for the northeast corner of said Carl E. Gierisch, Sr. & Martha V. Gierisch tract;

THENCE South 89 degrees 53 minutes 09 seconds West, with the common north line of said Carl E. Gierisch, Sr. & Martha V. Gierisch tract and south line of said Tract One, a distance of 313.03 feet to a 1/2 inch iron rod with a red plastic cap found for the northwest corner of said Carl E. Gierisch, Sr. & Martha V. Gierisch tract;

THENCE North 00 degrees 11 minutes 50 seconds West, with the west line of said Tract One, a distance of 835.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 89 degrees 48 minutes 10 seconds East, leaving said west line, a distance of 162.69 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 39 degrees 37 minutes 22 seconds East, a distance of 76.14 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 53 degrees 26 minutes 28 seconds East, a distance of 37.70 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 55 degrees 05 minutes 02 seconds East, a distance of 148.26 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 67 degrees 56 minutes 53 seconds East, a distance of 129.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 71 degrees 24 minutes 57 seconds East, a distance of 164.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 78 degrees 25 minutes 29 seconds East, a distance of 173.14 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 09 degrees 22 minutes 35 seconds West, a distance of 1,066.92 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner in the north line of the above mentioned Farm to Market Road No. 1171;

THENCE South 85 degrees 42 minutes 31 seconds West, with said north line, a distance of 4.71 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 70 degrees 03 minutes 52 seconds West, continuing with said north line, a distance of 300.55 feet to the POINT OF BEGINNING and containing 15.730 acres of land, more or less.

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	42.29	37.00	065°29'22"	40.03	N57° 15' 19"W
C2	42.42	37.00	065°41'13"	40.13	S57° 21' 14"E
C3	58.12	37.00	090°00'00"	52.33	S44° 48' 10"W
C4	58.12	37.00	090°00'00"	52.33	N45° 11' 50"W
C5	49.87	37.00	077°13'22"	46.18	S38° 48' 31"E
C6	58.12	37.00	090°00'00"	52.33	N32° 25' 12"W
C7	10.57	37.00	016°22'02"	10.53	S04° 23' 47"W
C8	116.24	37.00	180°00'00"	74.00	N86° 12' 46"E
C9	13.23	150.00	005°03'13"	13.23	N04° 08' 16"W
C10	36.02	150.00	013°45'34"	35.94	S00° 12' 54"W
C11	34.56	22.00	090°00'00"	31.11	S52° 05' 41"W
C12	58.12	37.00	090°00'00"	52.33	N37° 54' 19"W
C13	36.35	35.33	058°57'11"	34.77	S67° 37' 06"W
C14	13.25	14.67	051°44'39"	12.80	N64° 00' 50"E
C15	14.95	37.00	023°09'15"	14.85	S85° 31' 04"W
C16	55.14	37.00	085°22'47"	50.17	S40° 12' 55"E
C17	139.37	37.00	215°49'29"	70.41	N71° 53' 25"E
C18	23.13	37.00	035°49'29"	22.76	S18° 06' 35"E
C19	94.09	25.00	215°37'38"	47.60	N72° 11' 11"W
C20	30.64	49.00	035°49'28"	30.14	S17° 42' 54"W
C21	30.64	49.00	035°49'29"	30.14	S18° 06' 35"E
C22	94.17	25.00	215°49'29"	47.58	N71° 53' 25"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C23	133.14	49.00	155°41'12"	95.80	S77° 38' 46"W
C24	28.66	25.00	065°41'12"	27.12	S57° 21' 14"E
C25	76.97	49.00	090°00'00"	69.30	N45° 11' 50"W
C26	33.69	25.00	077°13'22"	31.20	S38° 48' 31"E
C27	76.97	49.00	090°00'00"	69.30	N32° 25' 12"W
C28	7.14	25.00	016°22'02"	7.12	S04° 23' 47"W
C29	153.94	49.00	180°00'00"	98.00	N86° 12' 46"E
C30	36.46	25.00	083°34'16"	33.32	N45° 34' 22"W
C31	78.54	25.00	180°00'00"	50.00	N86° 12' 46"E
C32	78.54	25.00	179°59'57"	50.00	S86° 12' 45"W
C33	9.24	25.00	021°10'58"	9.19	S75° 37' 17"W
C34	18.12	49.00	021°10'58"	18.01	N75° 37' 17"E
C35	40.53	25.00	092°52'39"	36.23	S39° 46' 27"W
C36	14.29	162.00	005°03'13"	14.28	N04° 08' 16"W
C37	12.17	138.00	005°03'13"	12.17	N04° 08' 16"W
C38	38.90	162.00	013°45'34"	38.81	S00° 12' 54"W
C39	39.22	25.00	089°53'31"	35.32	N37° 57' 33"W
C40	70.73	49.00	082°42'29"	64.75	S41° 33' 05"E
C41	39.27	25.00	090°00'00"	35.36	S44° 48' 10"W
C42	39.27	25.00	090°00'00"	35.36	N45° 11' 50"W
C43	66.04	49.00	077°13'22"	61.16	S38° 48' 31"E
C44	39.27	25.00	090°00'00"	35.36	N32° 25' 12"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C45	14.00	49.00	016°22'02"	13.95	S04° 23' 47"W
C46	39.44	25.00	090°23'14"	35.48	N41° 01' 06"E
C47	9.24	25.00	021°10'58"	9.19	S83° 11' 45"E
C48	18.12	49.00	021°10'58"	18.01	N83° 11' 45"W
C49	38.01	25.00	087°07'21"	34.46	S50° 13' 33"E
C50	33.14	138.00	013°45'34"	33.06	S00° 12' 54"W
C51	76.97	49.00	090°00'00"	69.30	N37° 54' 19"W
C52	35.55	25.00	081°28'56"	32.63	S42° 09' 51"E
C53	29.59	49.00	034°35'56"	29.14	N18° 43' 21"W
C54	15.63	25.00	035°49'29"	15.38	S18° 06' 35"E
C55	29.62	59.16	028°40'54"	29.31	N75° 32' 48"W
C56	22.61	45.21	028°39'06"	22.38	N75° 31' 54"W
C57	30.11	60.21	028°39'06"	29.80	N75° 31' 54"W
C58	22.08	44.16	028°38'47"	21.85	N75° 31' 44"W
C59	44.24	400.18	006°20'00"	44.21	N01° 54' 32"W
C60	84.43	107.50	045°00'00"	82.28	N60° 24' 19"W
C61	84.57	217.50	022°16'46"	84.04	S49° 02' 42"E
C62	69.25	232.50	017°03'57"	69.00	S46° 26' 17"E
C63	72.65	92.50	045°00'00"	70.80	N60° 24' 19"W
C64	42.22	232.50	010°24'18"	42.16	S74° 11' 39"E

Line Table		
Line	Length	Direction
L1	37.70	S53° 26' 28"E
L2	4.71	S85° 42' 31"W
L3	37.13	N90° 00' 00"E
L4	91.67	N89° 48' 10"E
L5	2.31	S0° 11' 50"E
L6	7.65	N7° 05' 41"E
L7	31.72	N82° 54' 19"W
L8	67.29	N82° 54' 19"W
L9	8.08	N82° 54' 19"W
L10	43.58	N82° 54' 19"W
L11	52.04	N89° 53' 09"E
L12	60.00	N89° 48' 10"E
L13	91.22	N89° 48' 10"E
L14	98.66	N89° 48' 10"E
L15	2.31	S0° 11' 50"E
L16	2.31	S0° 11' 50"E
L17	268.99	N77° 25' 12"W
L18	268.99	N77° 25' 12"W
L19	442.46	S12° 34' 48"W
L20	442.46	S12° 34' 48"W

Line Table		
Line	Length	Direction
L21	54.02	S3° 47' 14"E
L22	325.14	S3° 47' 14"E
L23	196.89	S3° 47' 14"E
L24	196.89	N3° 47' 14"W
L25	196.89	S3° 47' 14"E
L26	20.03	N86° 12' 46"E
L27	46.67	N86° 12' 46"E
L28	94.03	N86° 12' 46"E
L29	50.90	N86° 12' 46"E
L30	84.91	N6° 39' 53"W
L31	204.04	N1° 36' 39"W
L32	194.57	N1° 36' 39"W
L33	169.01	N6° 39' 53"W
L34	7.65	N7° 05' 41"E
L35	74.86	N82° 54' 19"W
L36	148.17	S82° 54' 19"E
L37	561.53	S0° 11' 50"E
L38	562.58	N0° 11' 50"W
L39	475.88	S0° 11' 50"E
L40	475.66	S0° 11' 50"E

Line Table		
Line	Length	Direction
L41	154.54	N0° 11' 50"W
L42	8.00	S89° 48' 10"W
L43	10.00	N0° 11' 50"W
L44	8.00	N89° 48' 10"E
L45	9.50	N0° 11' 50"W
L46	124.01	S89° 48' 10"W
L47	15.00	N0° 11' 50"W
L48	139.01	N89° 48' 10"E
L49	24.50	S0° 11' 50"E
L50	9.00	N89° 48' 10"E
L51	115.45	S0° 11' 50"E
L52	25.17	N90° 00' 00"E
L53	26.04	S41° 11' 50"E
L54	26.12	N82° 54' 19"W
L55	22.22	S37° 05' 41"W
L56	230.97	S89° 51' 18"W
L57	7.50	N89° 51' 27"W
L58	15.00	S0° 08' 33"W
L59	7.50	N89° 51' 27"W
L60	223.49	S89° 53' 18"W

Line Table		
Line	Length	Direction
L61	6.12	S37° 05' 41"W
L62	36.25	S82° 54' 19"E
L63	22.81	S82° 54' 19"E
L64	29.42	S79° 23' 49"E
L65	1.23	N3° 47' 14"W
L66	15.32	N86° 12' 46"E
L67	48.39	S79° 23' 49"E
L68	25.01	S9° 22' 35"W
L69	58.33	S79° 23' 49"E
L70	5.16	N3° 47' 14"W
L71	29.42	S79° 23' 49"E
L72	45.09	N70° 48' 25"W
L73	27.74	N70° 48' 25"W

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Nash Canyon Falls, LLC, acting herein by and through its duly authorized officers, does hereby adopt this plat designated herein as Canyon Falls LIV DEVELOPMENT, Block A, Lot 1, an addition to the Town of Northlake, Denton County, Texas.

The easements shown hereon are hereby reserved for the purposes as indicated. All streets, alleys, rights-of-way, are hereby dedicated in fee simple to the Town of Northlake for municipal purposes. The utility and fire lane easements (streets, alleys, and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Northlake.

Nash Canyon Falls, LLC
A Delaware Limited Liability Company

BY: BROOKFIELD PROPERTIES
A LIMITED LIABILITY COMPANY
ITS DEVELOPMENT MANAGER

BY: _____
TIMOTHY DURIE, SENIOR VICE PRESIDENT

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared TIMOTHY DURIE known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary public for and in the State of Texas
My commission expires: _____

SURVEYORS CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I have prepared this plat from an actual survey of the land, and that the corner monuments shown thereon were found or placed under my personal supervision in accordance with the platting rules and regulations of Denton County, Texas.

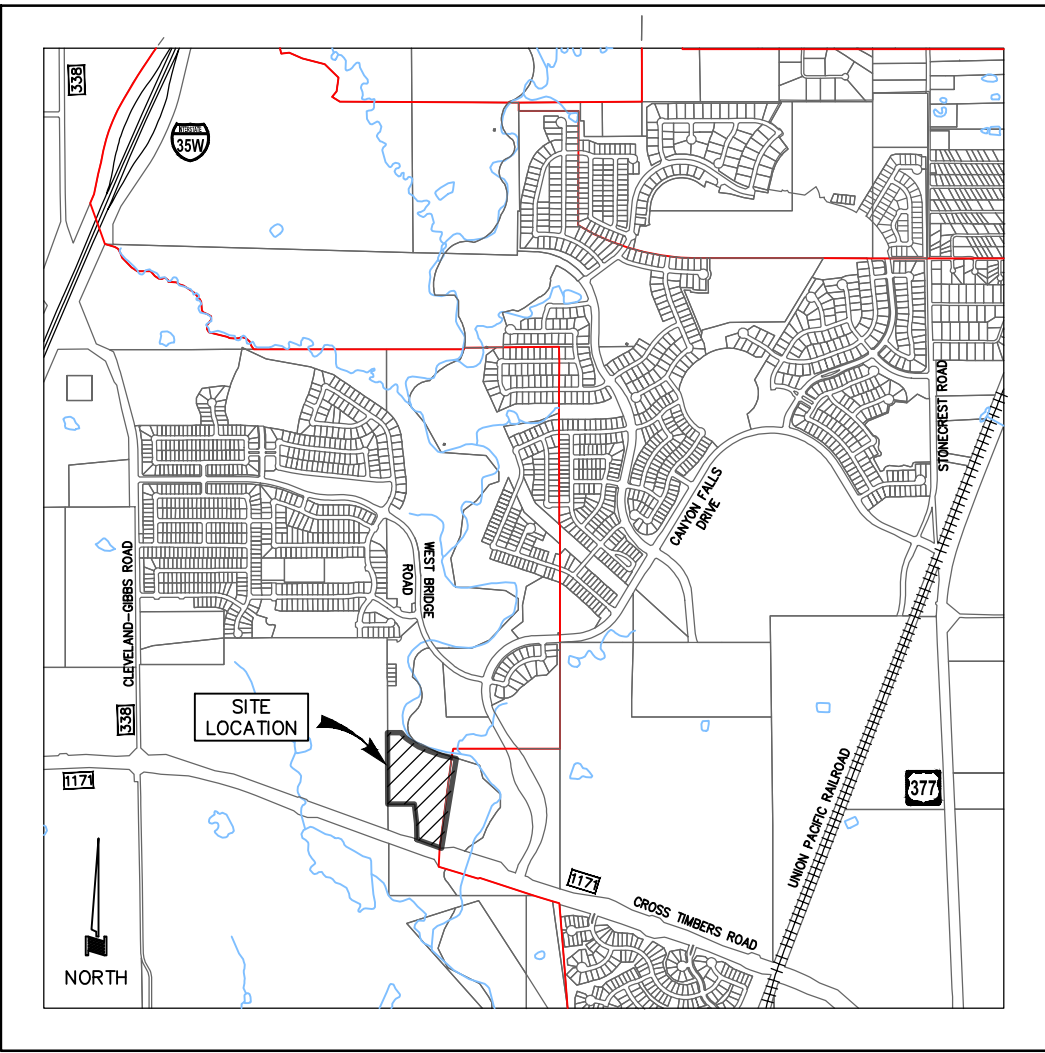
RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary public for and in the State of Texas
My commission expires: _____



VICINITY MAP
N.T.S.

APPROVED BY THE PLANNING & ZONING COMMISSION ON:

Date

P&Z Chairperson, Town of Northlake

Town Secretary, Town of Northlake

FINAL PLAT
OF

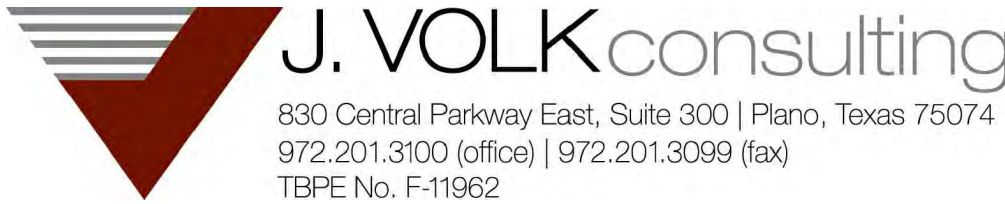
CANYON FALLS
LIV DEVELOPMENT

TRACT MU2
BLOCK A, LOT 1,

BEING 15.730 ACRES LOCATED IN THE
W. LOVE SURVEY - ABSTRACT NO. 728
AN ADDITION IN THE
TOWN OF NORTHLAKE,
DENTON COUNTY, TEXAS

December 15, 2021

SHEET 2 OF 2



ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

APPLICANT/DEVELOPER:
LIV DEVELOPMENT, LLC
2204 LAKESHORE DRIVE, SUITE 450
BIRMINGHAM, AL 35209
205-484-2840
JLENTZ@LIVDEV.COM

OWNER:
NASH CANYON FALLS, LLC
10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160
TIM.DURIE@BROOKFIELDPROPERTIESDEVELOPMENT.COM

NORTHLAKE PLANNING & ZONING COMMISSION COMMUNICATION

DATE: JANUARY 4, 2022

REF DOC.: UNIFIED DEVELOPMENT CODE (UDC); ENGINEERING DESIGN
MANUAL (EDM); MIXED-USE PLANNED DEVELOPMENT

SUBJECT: SITE PLAN OF CANYON FALLS LIV DEVELOPMENT (SP-21-005)



GOALS/OBJECTIVES:

- Responsibly Manage Growth; Adhere to the Comprehensive Plan (Council Goal)

SITE PLAN INFORMATION:

Owner: NASH Canyon Falls, LLC

**Applicant/
Developer:** LIV Development, LLC

Engineer/Surveyor: J. Volk Consulting

Zoning: Mixed-Use Planned Development (MPD) which allows a maximum of 300 multi-family residential units on sites designated as mixed use within the MPD's development plan

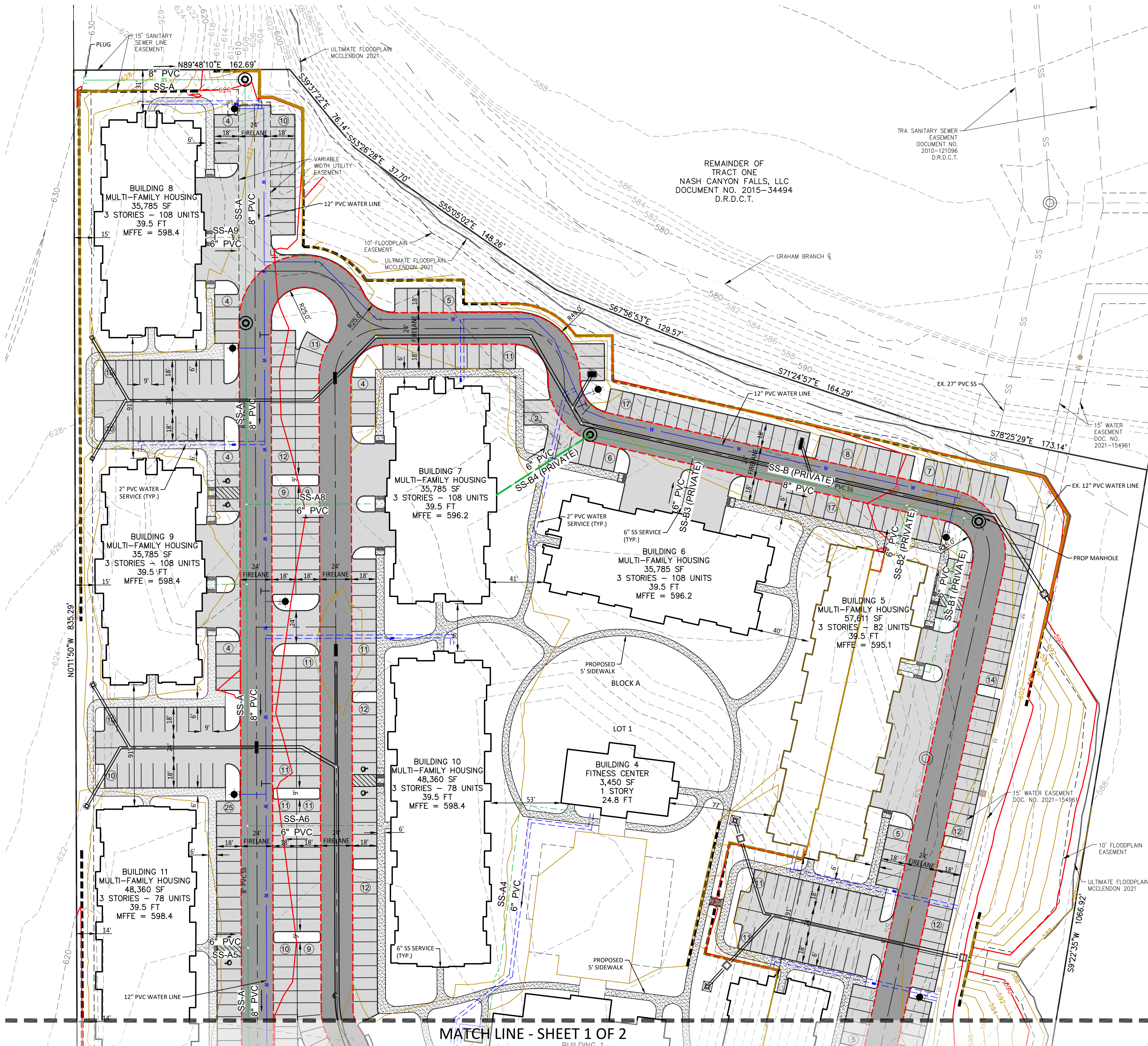
Site: Approximately 15.730 acres out of the W. Love Survey, Abstract No. 728, on the north side of FM 1171 approximately 1,100 feet west of Canyon Falls Drive.

Summary: This application is for a site plan of Canyon Falls LIV Development, a proposed 300-unit multi-family residential development to go on the proposed lot to be platted with the Canyon Falls LIV Development final plat item on this same agenda.

Staff Analysis: The applicant has provided a site plan package in accordance with requirements of the Unified Development Code (UDC) and MPD. The site plan package includes a site plan and landscape plan for the site as well as building elevations showing all sides of the multiple buildings planned for the site. All elements of the site plan package meet or exceed the development standards and all applicable requirements of the UDC and MPD. A drainage study was also submitted with the final plat and site plan for review. The site plan will meet all engineering design requirements pending a few remaining comments primarily related to the drainage study review to be addressed prior to the P&Z meeting. Staff will inform you at the meeting if all requirements have been met.

P&Z ACTIONS:

- Approve if remaining engineering comments are addressed
- Continue to next meeting or approve with conditions if any engineering comments remain



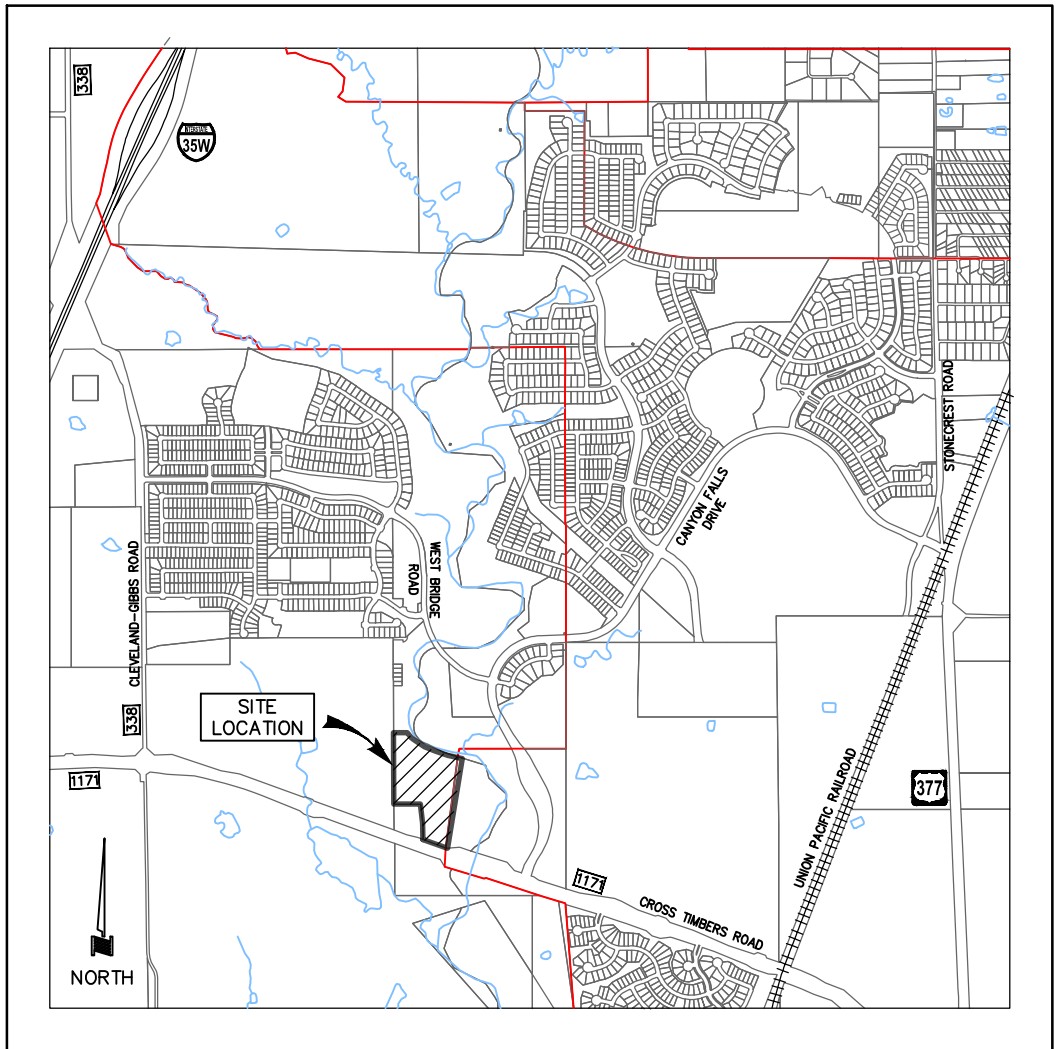
LEGEND

- PROP PAVEMENT
- PROP FIRELANE & DUMPSTER
- PROP SIDEWALK
- PROP PARKING STRIPES
- PROP RETAINING WALL
- PROP FIRE LANE
- PROP EDGE OF PAVING
- PROP PUBLIC WATER LINE W/ FIRE HYDRANT
- PROP PUBLIC SS LINE & MANHOLE
- PROP PRIVATE WATER SERVICE
- PROP PRIVATE SS SERVICE
- PROP PRIVATE STORM DRAIN LINE & INLET

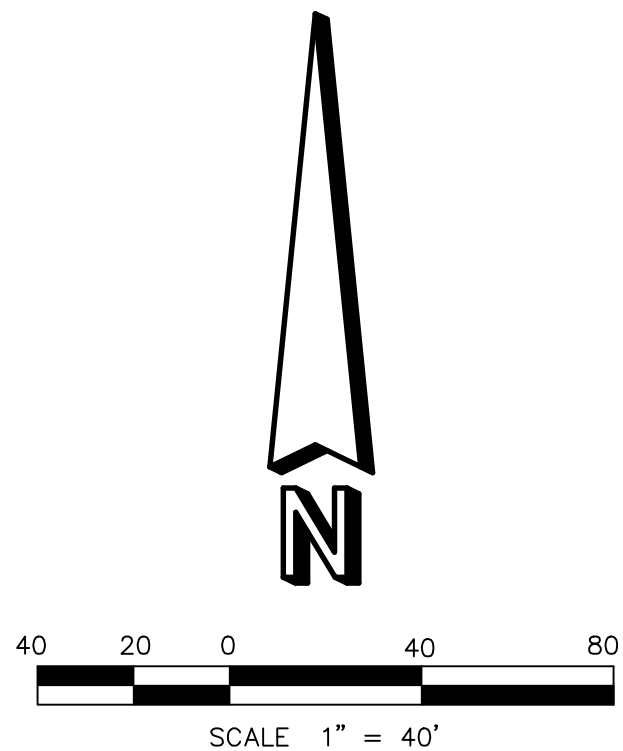
PAVEMENT THICKNESS LEGEND

- 5" THICK
- 6" THICK

SITE DATA TABLE	
PROPOSED USE:	MULTI-FAMILY DEVELOPMENT
LOT AREA :	± 685,181 S.F.
BUILDING AREA:	± 409,895 S.F.
TOTAL NUMBER OF UNITS:	300
MAXIMUM BUILDING HEIGHT (ALL BUILDINGS) :	39'-6"
LOT COVERAGE :	59.82% OF TOTAL
AREA OF IMPERVIOUS SURFACE :	± 210,570 S.F.
PARKING PROVIDED :	600 SPACES TOTAL (12 HANDICAPPED SPACES)
PARKING REQUIRED :	600 SPACES (12 HANDICAPPED SPACE) AT 2 SPACES PER UNIT (MIXED-USE PLANNED DEVELOPMENT)
ZONING -	M-PD



VICINITY MAP
N.T.S.



- NOTES:**
1. THE SIGNAGE AND LIGHTING DETAILS WILL BE PROVIDED AT THE TIME OF PERMITTING
 2. REFER TO ARCHITECT PLANS FOR KNOX BOX & 911 EMERGENCY BOX LOCATIONS.
 3. REFER TO FINAL PLAT FOR METES & BOUNDS DESCRIPTION.
 4. ALL WATER LINES & SANITARY SEWER SHALL BE PUBLIC UNLESS OTHERWISE NOTED.

ENGINEER/SURVEYOR:
J. VOLK CONSULTING, INC.
830 CENTRAL PARKWAY EAST, SUITE 300
PLANO, TX 75074
972-201-3100
RYAN.REYNOLDS@JVOLKCONSULTING.COM
TBPLS FIRM NO. 10194033

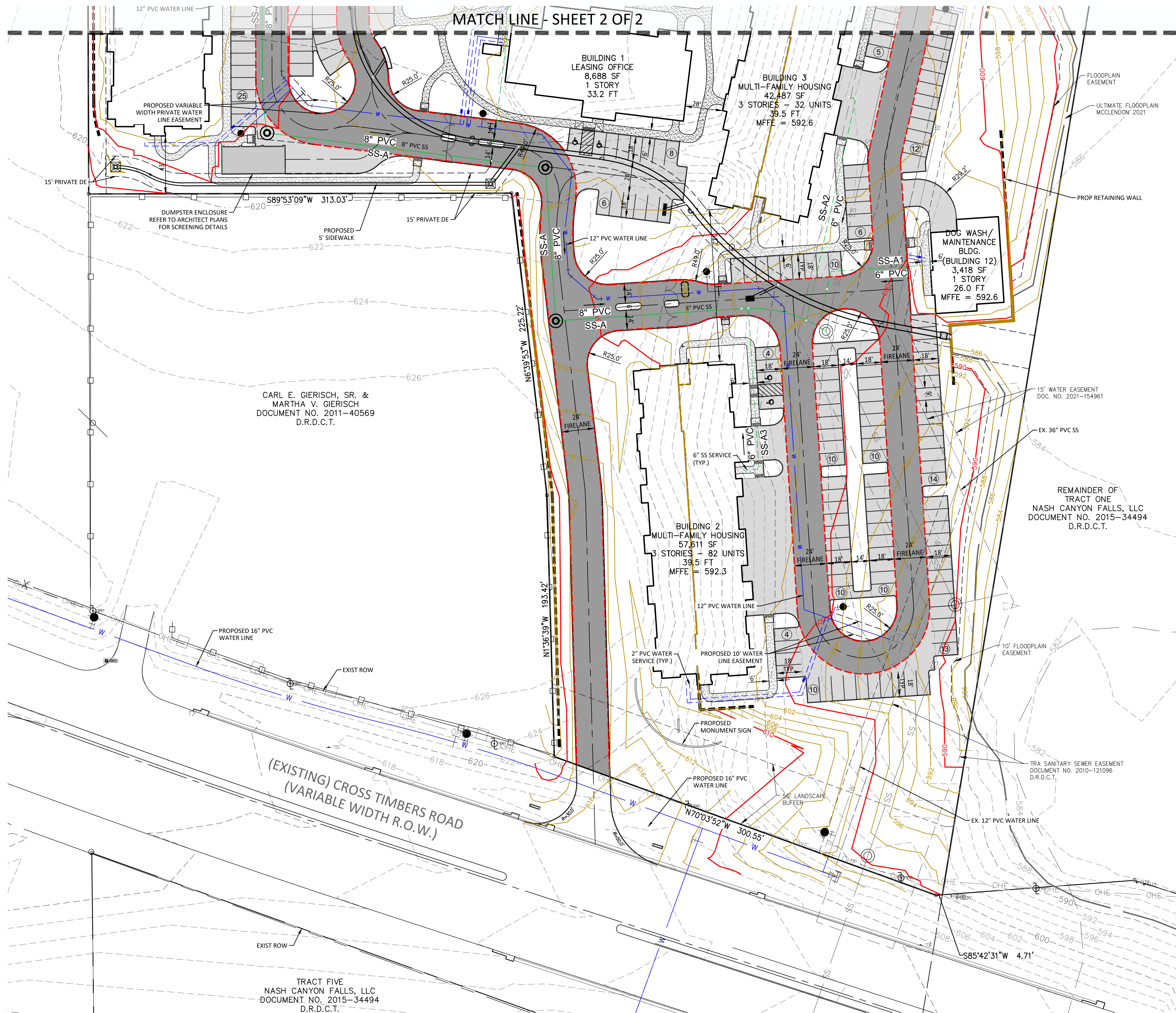
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2204 LAKESHORE DRIVE, SUITE 450
BIRMINGHAM, AL 35209
205-484-2840
JLENTZ@LIVDEV.COM

OWNER:
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10940 WEST SAM HOUSTON PARKWAY
SUITE 300
HOUSTON, TX 77064
214-932-6160

TIM.DURIE@BROOKFIELDPROPERTIESDEVELOPMENT.COM

**SITE PLAN
of
LIV - CANYON FALLS
Lot 1, Block A**
Town of Northlake, Denton County, Texas
15.730 Acres
Zoned Mixed-Use Planned Development (MPD)
December, 2021

1" = 40'
SHEET 1 OF 2



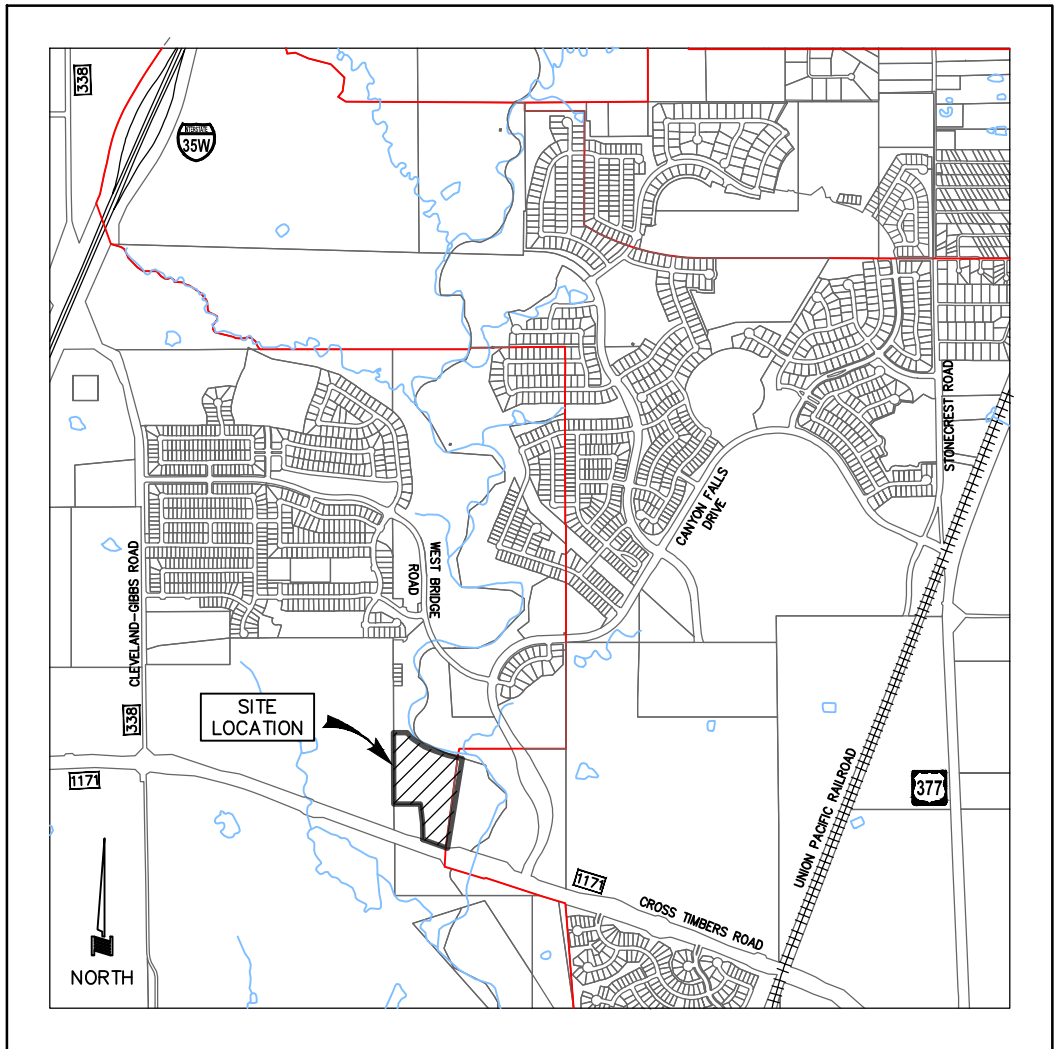
LEGEND

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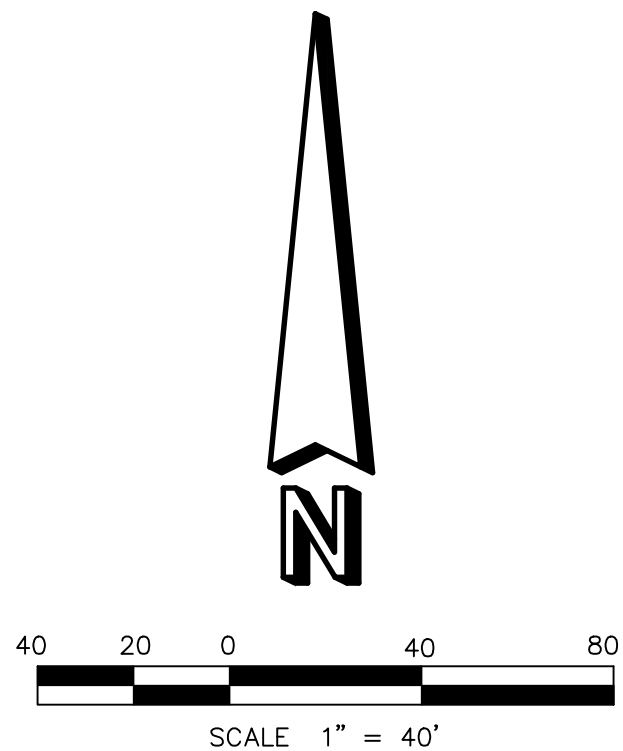
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VICINITY MAP
N.T.S.



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SITE PLAN
of
LIV - CANYON FALLS
Lot 1, Block A
Town of Northlake, Denton County, Texas
15.730 Acres
Zoned Mixed-Use Planned Development (MPD)
December, 2021

1" = 40'
SHEET 2 OF 2

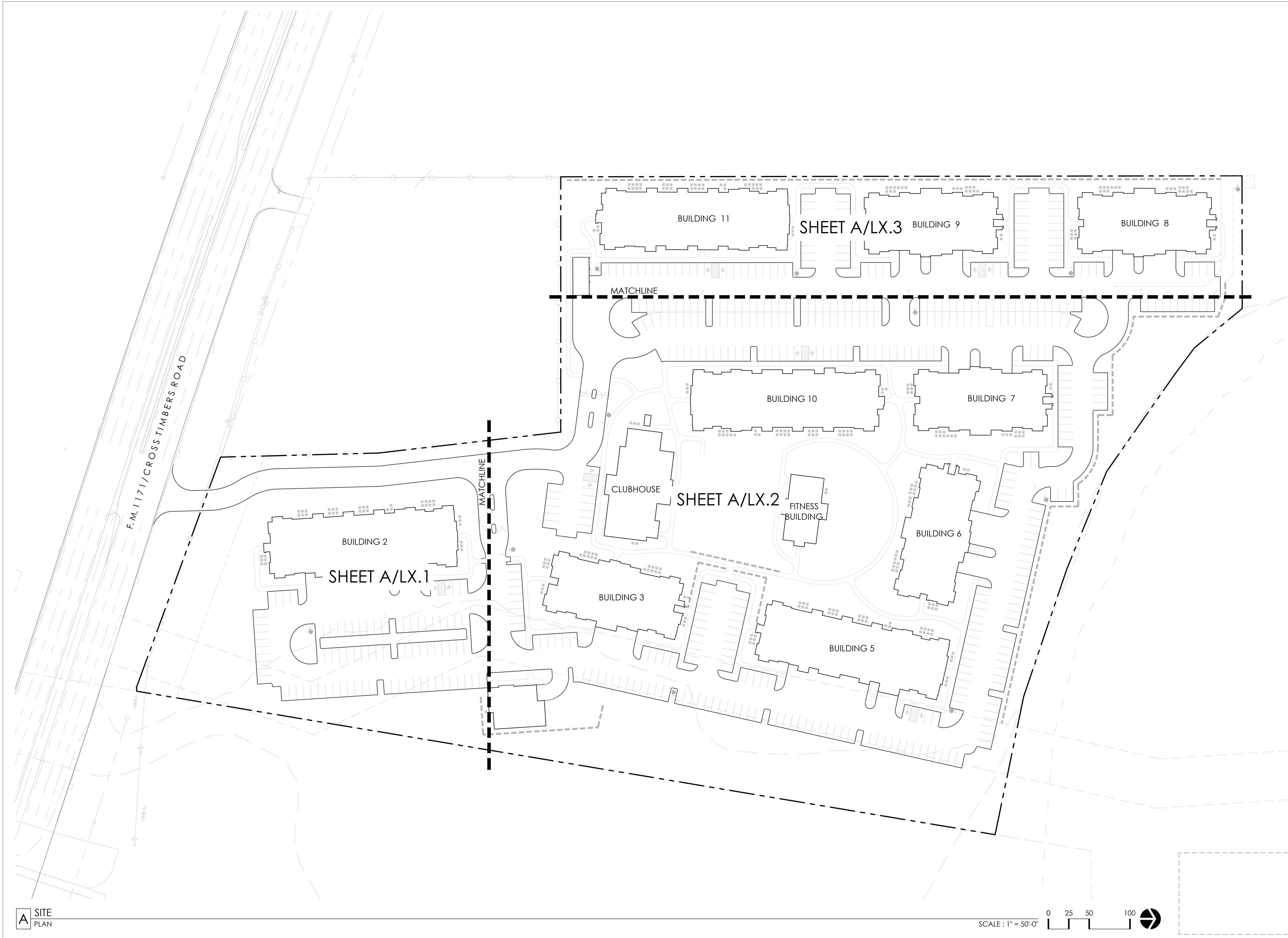


LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

ISSUE:
08.10.2021 | PERMIT

REVISIONS:	

LANDSCAPE
KEY PLAN





LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

ISSUE:
08.10.2021 | PERMIT

REVISIONS:	

LANDSCAPE
NOTES &
LEGENDS

L0.2

GENERAL LEGEND

PROPERTY / BOUNDARY LINE	
CONTROL JOINT	CJ
EXPANSION JOINT	EJ
LIMITS OF WORK	L.O.W.
SHEET MATCHLINE	
APPROX.	APPROXIMATELY
ARCH.	ARCHITECT, ARCHITECTURE
BLDG.	BUILDING
B.O.C.	BACK OF CURB
CAL.	CALIPER
CIVIL	CIVIL ENGINEER/ ENGINEERING
CJ	CONTROL JOINT
CONC.	CONCRETE
DIA.	DIAMETER
EJ	EXPANSION JOINT
EQ.	EQUAL
F.O.C.	FACE OF CURB
GAL.	GALLON
LF	LINEAR FEET
L.O.W.	LIMITS OF WORK ENGINEERING
MEP	
MAX.	MAXIMUM
MIN.	MINIMUM
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
O.C.	ON-CENTER
O.C.E.W.	ON-CENTER EACH WAY
PA	PLANTING AREA
PERP.	PERPENDICULAR
POB.	POINT OF BEGINNING
REF.	REFER, REFERENCE
REQ'D.	REQUIRED
RET.	RETAIN, RETAINING
SF	SQUARE FEET
STRUCTURAL	STRUCTURAL ENGINEER
TBD	TO BE DETERMINED
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
W/	WITH
W/O	WITHOUT

GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN DOCUMENTS.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY PORTION OF DOCUMENTS WHICH CONFLICT WITH REGULATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS RELATED TO SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF REQUESTED SITE VISITS OR INSPECTIONS SEVEN (7) DAYS IN ADVANCE OF WORK.
- DRAWINGS ARE BASED ON SURVEY DATA AND DESIGN DRAWINGS PROVIDED BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES OR UNKNOWN CONDITIONS ARE ENCOUNTERED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES AND TRADES.
- LIMITS OF WORK INDICATED ON DRAWINGS, IF ANY, ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT.
- REFERENCE TO "OWNER'S REPRESENTATIVE" IS MADE IN THESE DOCUMENTS, AND REFERS TO THE PROJECT OWNER OR DESIGNATED REPRESENTATIVE. IN ADDITION TO THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO SCOPE OF WORK.
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED. DO NOT PARK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE DRIPLINE OF EXISTING TREES.

WARRANTY:

- CONTRACTOR SHALL WARRANTY ALL MATERIALS, PLANTS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR, TO COMMENCE UPON OWNER'S ACCEPTANCE OF SUBSTANTIAL COMPLETION.

SITE WORK LEGEND

MATERIAL CALLOUT	X.1
SECTION REFERENCE	X/LX.X
ELEVATION REFERENCE	X/LX.X
DETAIL REFERENCE	X/LX.X
ENLARGEMENT REFERENCE	X/LX.X
INDICATES DOWNWARD DIRECTION OF STEPS	
INDICATES STEP TREAD	
INDICATES STEP RISER	
POINT OF BEGINNING	
CENTERLINE	
BASELINE	

SITE WORK NOTES:

- ALL DIMENSIONS ARE TAKEN PERPENDICULAR OR PARALLEL TO LINES UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL BE LEVEL, PLUME AND STRAIGHT UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- EXPANSION JOINTS SHALL BE LOCATED WHERE PAVEMENT ABUTS BUILDING, CURB, WALL OR OTHER VERTICAL SURFACE, AS INDICATED ON DRAWINGS AND ALONG RUNNING DIMENSION AT INTERVALS NOT MORE THAN 4 X WIDTH OF PAVEMENT. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST QUANTITY AND LOCATION OF EXPANSION JOINTS PRIOR TO CONSTRUCTION.
- CONTROL JOINTS SHALL BE LOCATED AS INDICATED ON DRAWINGS OR ALONG RUNNING DIMENSION AT INTERVALS NOT MORE THAN WIDTH OF PAVEMENT. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST QUANTITY AND LOCATION OF CONTROL JOINTS PRIOR TO CONSTRUCTION.
- COORDINATE SITE WORK WITH OTHER SECTIONS OF LANDSCAPE DOCUMENTS AND WITH WORK OF OTHER DISCIPLINES.

PLANTING LEGEND

PLANT CALLOUT:	
INDICATES SPECIES	ABC
INDICATES QUANTITY	123
PLANT MIX CALLOUT:	
INDICATES % OF MIX	50%
INDICATES SPECIES	ABC
INDICATES QUANTITY	123
CANOPY TREE (CENTER SYMBOL VARIES)	
ACCENT TREE (CENTER SYMBOL VARIES)	
SHRUB/ORNAMENTAL GRASS (CENTER SYMBOL VARIES)	
PERENNIAL (CENTER LETTER VARIES)	A
VINE	OR
BED LINE (INDICATES SEPARATION OF SPECIES - NO EDGING)	
STEEL EDGING	

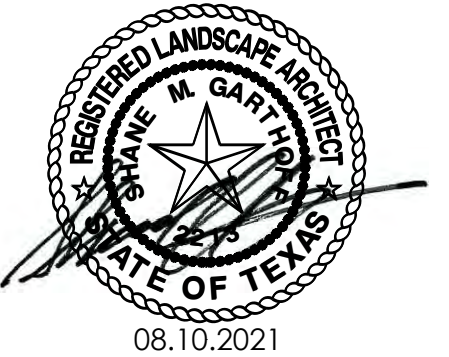
PLANTING NOTES:

- ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING AND BED LINES ARE DIAGRAMMATIC AND SHALL BE SCALED FROM DRAWINGS.
- STAKE ALL PROPOSED TREE LOCATIONS ON FINISH GRADE WITH DIFFERENT COLOR FLAGS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO TREE LOCATIONS PRIOR TO EXCAVATION.
- PAINT OR STRING ALL EDGING AND BED LINE LOCATIONS ON FINISH GRADE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL RESERVE THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LAYOUT OF PLANTING AREAS PRIOR TO EXCAVATION.
- TREES SHALL BE PLANTED NO CLOSER THAN 4' TO PAVEMENT, CURB, EDGING, WALL OR UTILITIES UNLESS NOTED OTHERWISE.
- TREES SHALL BE PLANTED NO CLOSER THAN 10' TO ANY STRUCTURE OR OVERHEAD UTILITY.
- TREES OVERHANGING PEDESTRIAN AND VEHICULAR PAVEMENTS ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 7' AT MATURITY.
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHTS-OF-WAY ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 9' AT MATURITY.
- ALL TREES, LAWN AND PLANTING AREAS TO RECEIVE 100% IRRIGATION COVERAGE FROM AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS NOTED OTHERWISE.
- FINISH GRADE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ANY QUANTITIES PROVIDED ON PLANS OR SCHEDULES ARE FOR INFORMATION AND CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITY TAKE-OFFS AND SHALL PROVIDE FULL COVERAGE OF PLANTING AREAS AS INDICATED IN DRAWINGS.
- ALL PLANTS SHALL MEET SIZE AND QUALITY SPECIFICATIONS AS INDICATED IN DOCUMENTS AND SHALL BE OF TOP QUALITY, VIGOROUS, HEALTHY CONDITION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANTS NOT MEETING SPECIFICATIONS.
- ALL NEW PLANTS SHALL BE FERTILIZED W/ SLOW-RELEASE GRANULES FORMULATED FOR NEW PLANTINGS, USED IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.
- COORDINATE PLANTING WITH OTHER SECTIONS OF LANDSCAPE DOCUMENTS AND WITH WORK OF OTHER DISCIPLINES.
- PROVIDE EDGING AS SHOWN ON SCHEDULE AT THE EDGE OF ALL PLANTING BEDS.
- UNLESS NOTED OTHERWISE, THE FOLLOWING SOIL AMENDMENT PROCEDURES SHALL BE FOLLOWED, USING PRODUCTS BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL:

- COMPLETELY ERADICATE ALL WEEDS FROM LAWN AND PLANTING AREAS PRIOR TO BEGINNING SOIL PREPARATION. ALL IMPORT SOILS SHALL BE 98% FREE FROM WEEDS.
- TREES: BACKFILL TREE PITS WITH 50/50 MIXTURE OF NATIVE TOPSOIL AND "TREE MIX".
- BEDDING PLANTS, 1 GALLON OR SMALLER: EXCAVATE OR LEAVE LOW TO DEPTH OF 4", TILL TO DEPTH OF 4", BACKFILL W/ 4" OF "PH-BALANCED COMPOST", THEN TILL TO FULLY INCORPORATE TO DEPTH OF 8".
- BEDDING PLANTS, LARGER THAN 1 GALLON: EXCAVATE OR LEAVE LOW TO DEPTH OF 7", TILL TO DEPTH OF 7", BACKFILL W/ 7" OF "PH-BALANCED COMPOST", THEN TILL TO FULLY INCORPORATE TO DEPTH OF 14".
- LAWN AREAS: SPREAD 2" OF NATIVE STRIPPED OR IMPORTED TOPSOIL OVER CLEAN, FRIABLE, LIGHTLY-SCARIFIED GRADE. **PROVIDE TEMPORARY COVERAGE OF ANNUAL RYE SHOULD THE TEMPERATURE NOT PERMIT COVERAGE OF LAWN TYPE SHOWN IN PLANT SCHEDULE.**
- SEEDED GRASSES/WILDFLOWERS: SPREAD 3" OF 50/50 MIXTURE OF NATIVE TOPSOIL AND "PH-BALANCED" COMPOST OVER CLEAN, FRIABLE, LIGHTLY-SCARIFIED GRADE. **PROVIDE TEMPORARY COVERAGE OF ANNUAL RYE SHOULD THE TEMPERATURE NOT PERMIT COVERAGE OF SEEDED GRASSES.**
- MULCH ALL PLANTING BEDS WITH CONTINUOUS MINIMUM 2" LAYER OF FINE-SHREDDED HARDWOOD MULCH.

MAINTENANCE AND ESTABLISHMENT:

- CONTRACTOR TO PROVIDE TEMPORARY MAINTENANCE AND ESTABLISHMENT OF PLANTING AND IRRIGATION, TO COMMENCE IMMEDIATELY UPON COMPLETION OF ANY PORTION OF WORK AND EXTENDING FOR PERIOD OF 90 DAYS AFTER OWNER'S ACCEPTANCE OF SUBSTANTIAL COMPLETION.
- MAINTENANCE AND ESTABLISHMENT SERVICES SHALL INCLUDE, BUT ARE NOT LIMITED TO: MOWING, TRIMMING, BLOWING, TRASH PICK-UP, MULCHING, WEEDING, FERTILIZATION, ADJUSTMENT/RE-SETTING OF PLANTS, STAKES, GUYS, ADJUSTMENT AND PROGRAMMING OF IRRIGATION, PRUNING AND CORRECTIVE WORK.
- CONTRACTOR SHALL REMOVE STAKES, GUYS AND OTHER TEMPORARY ESTABLISHMENT MEASURES AT CONCLUSION OF 1-YEAR WARRANTY OR OTHER AGREED-UPON TIME.



LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

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REVISIONS:		

LANDSCAPE
MATERIALS
SCHEDULE

L0.3

STRUCTURAL AND MEP DESIGN:

1. THE INFORMATION CONTAINED IN LANDSCAPE DRAWINGS IS INTENDED TO CONVEY AESTHETIC DESIGN INTENT ONLY. REFERENCE STRUCTURAL AND MEP ENGINEERING DRAWINGS FOR FINAL STRUCTURAL AND MEP DESIGN.
2. STRUCTURAL DESIGN OF ANY ELEMENTS NOT SPECIFICALLY DESCRIBED IN LANDSCAPE OR STRUCTURAL ENGINEERING DRAWINGS SHALL BE DESIGNED BY CONTRACTOR, IN ACCORDANCE WITH ALL PREVAILING CODES AND ORDINANCES, PROFESSIONAL STANDARDS AND INDUSTRY BEST PRACTICES. CONTRACTOR SHALL SUBMIT ENGINEERED SHOP DRAWINGS TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

ORNAMENTAL STEEL NOTES:

1. ALL STRUCTURAL STEEL SIZES AND PROFILES ARE ILLUSTRATED IN LANDSCAPE DRAWINGS FOR GENERAL AESTHETIC DESIGN INTENT ONLY. REFERENCE STRUCTURAL ENGINEERING DRAWINGS FOR SIZES, CONNECTIONS AND WELDS.
2. INSTALLER SHALL PROVIDE SHOP DRAWINGS ILLUSTRATING FINAL STEEL SIZES, PROFILES, WELDS, CONNECTIONS, AND ACCESSORY MATERIALS AS REQUIRED TO ACHIEVE AESTHETIC AND STRUCTURAL DESIGN, AND PERFORMANCE AS SPECIFIED.
3. GRIND ALL WELDS SMOOTH AND FLUSH, UNLESS NOTED OTHERWISE.
4. UNLESS NOTED OTHERWISE, ALL STEEL SHALL BE POWDERCOATED OR FINISHED WITH TWO (2) COATS OF RUST-INHIBITING PRIMER AND TWO (2) COATS OF EXTERIOR GRADE PAINT.
5. FIELD TOUCH-UP SURFACES WITH MATCHING PAINT FINISH AS REQUIRED.

ACCESSORY MATERIALS NOTES:

1. FILTER FABRIC: NON-WOVEN SOIL BARRIER, MIRAFI OR APPROVED EQUAL.
2. DRAINAGE GRAVEL: CLEAN, WASHED, FREE-DRAINING, SIZE 1" -2" DIAMETER.
3. CONCRETE (FLATWORK): STEEL REINFORCED, PORTLAND CEMENT, 3000 PSI STRENGTH AT 28 DAYS.

POOL ENCLOSURE NOTES:

1. SWIMMING POOL SHALL BE COMPLETELY ENCLOSED WITHIN POOL ENCLOSURE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. POOL ENCLOSURE FENCE AND GATES SHALL HAVE A MINIMUM EFFECTIVE PERPENDICULAR HEIGHT OF 4' ABOVE GRADE, SHALL NOT HAVE OPENINGS THAT PERMIT PASSAGE OF A 4" DIAMETER SPHERE, AND SHALL BE OF "CLIMB-RESISTANT" CONSTRUCTION.
3. GATES SHALL, AT MINIMUM, BE SELF-CLOSING / SELF-LATCHING, SWING OUTWARD FROM POOL, AND PROVIDE "FREE-EXIT" FROM POOL SIDE OF GATE. GATES AND LATCHES SHALL BE INSTALLED SUCH THAT INTERIOR LATCH CANNOT BE ACCESSED BY HAND FROM OUTSIDE OF GATE. INSTALL CONTROLLED ACCESS EQUIPMENT AS DIRECTED BY OWNER.
4. REFER TO TEXAS DEPARTMENT OF HEALTH, TOWN OF NORTHLAKE BUILDING CODE AND FIRE MARSHALL FOR FULL DESCRIPTION OF POOL ENCLOSURE REQUIREMENTS AND STANDARDS.
5. PROVIDE SHOP DRAWINGS INDICATING FINAL DESIGN, CONSTRUCTION, HARDWARE AND ACCESSORIES FOR POOL ENCLOSURE.

SWIMMING POOL NOTES:

1. SWIMMING POOL AND ASSOCIATED EQUIPMENT, COMPONENTS OR ACCESSORIES ARE SHOWN IN THESE DRAWINGS TO DEMONSTRATE AESTHETIC DESIGN INTENT, GENERAL FUNCTION AND FINISH MATERIALS ONLY.
2. INSTALLER SHALL PROVIDE ALL ENGINEERING, LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF SWIMMING POOL IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS AND BEST PRACTICES, AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. DETAILED DESIGN AND ENGINEERING OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE PROVIDED BY INSTALLER. ANY REFERENCE TO THESE SYSTEMS ARE SHOWN IN THESE DRAWINGS FOR GENERAL REFERENCE AND DESIGN INTENT ONLY. PROVIDE ENGINEERED SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
4. SWIMMING POOL SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. INSTALLER IS RESPONSIBLE FOR SUBMITTAL OF REQUIRED DRAWINGS, APPROVALS, PERMITS AND INSPECTIONS.
5. INSTALLER SHALL PROVIDE REQUIRED SAFETY, WARNING AND ACCESSIBILITY APPURTENANCES, INCLUDING BUT NOT LIMITED TO: WARNING TILES, DEPTH MARKERS, POOL ENCLOSURE, LIGHTING, CONTRASTING SURFACE COLORS, SIGNAGE, HANDRAILS, STEPS/LADDERS AND ACCESSIBLE LIFT STATIONS.
6. INSTALLER SHALL PROVIDE CONNECTION TO DOMESTIC WATER, SANITARY SEWER AND ELECTRICAL SUPPLIES STUBBED OUT BY OTHERS IN POOL EQUIPMENT YARD - REFERENCE ARCHITECTURAL AND MEP DRAWINGS.
7. POOL EQUIPMENT SHALL INCLUDE ALL PUMPING, FILTRATION, MEP SYSTEMS AND SURGE TANK AS REQUIRED FOR COMPLETE AND PROPER OPERATION OF SWIMMING POOL.

MATERIALS SCHEDULE

CAST STONE

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	PLANTER CAP / POOL COPING MODEL #PC-400	NATURAL / BUFF	STANDARD / CAST	CONTACT: ARLINGTON CAST STONE PHONE: 817.284.5933	MANUF. DATA SHOWING FULL RANGE OF AVAILABLE COLOR SHOP DRAWINGS INDICATING FINAL PROFILES AND DIMENSIONS FOR EACH TYPE OF CAST STONE COMPONENT

CONCRETE

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	FLATWORK: INTEGRAL COLOR	TBD	MEDIUM SANDBLAST	REF. PLANS FOR LOCATIONS COLOR CONTACT: DAVIS COLORS PHONE: 800.356.4848 www.daviscolors.com	PROVIDE MIN. 2' X 2' MOCKUP SHOWING COLOR AND FINISH FOR UP TO THREE (3) COLORS
	FLATWORK: INTEGRAL COLOR	TBD	MEDIUM SANDBLAST	REF. PLANS FOR LOCATIONS COLOR CONTACT: DAVIS COLORS PHONE: 800.356.4848 www.daviscolors.com TEXTURE MAT CONTACT: BOMANITE PHONE: 303.369.1115 www.bomanite.com	PROVIDE MIN. 2' X 2' MOCKUP SHOWING COLOR AND FINISH FOR UP TO THREE (3) COLORS
	COUNTERTOP: INTEGRAL COLOR	TBD	SMOOTH/ TROWELED SEALED	REF. PLANS FOR LOCATIONS REINFORCE W/ WELDED WIRE MESH, 1/4" RADIUS ON ALL EXPOSED EDGES COLOR CONTACT: DAVIS COLORS PHONE: 800.356.4848 www.daviscolors.com	PROVIDE MIN. 2' X 2' MOCKUP SHOWING COLOR AND FINISH FOR UP TO THREE (3) COLORS
	FLATWORK	STANDARD GRAY PORTLAND	LIGHT BROOM	REF. PLANS FOR LOCATIONS	

LIGHTING

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	TREE UP-LIGHT: BEGA 84 067 LED COMPACT FLOODLIGHT W/ EARTH SPIKE	BLACK	POWDERCOAT	BEGA, CONTACT ARCHITECTURAL LIGHTING ALLIANCE PHONE: 214.658.9000	MANUF. DATA
	STRING LIGHTS: COMMERCIAL GRADE W/ BRAIDED STEEL SUPPORT CABLE	BLACK (CABLE / HOUSING)	N/A	AMERICAN LIGHTING, WWW.AMERICANLIGHTING.COM	SHOP DRAWINGS SHOWING CABLE AND ANCHORING DETAILS
	DOWN-LIGHT: BEGA 77 604 LED COMPACT FLOODLIGHT	BLACK	POWDERCOAT	BEGA, CONTACT ARCHITECTURAL LIGHTING ALLIANCE PHONE: 214.658.9000	MANUF. DATA
	FLOODLIGHT: BEGA 77 607 LED COMPACT FLOODLIGHT -WIDE BEAM	BLACK	POWDERCOAT	BEGA, CONTACT ARCHITECTURAL LIGHTING ALLIANCE PHONE: 214.658.9000	MANUF. DATA

POOL

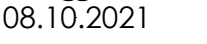
SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	TILE: PLANTER, WATERLINE MOSA TERRA TONES SIZE: PLANK 5CM X 60CM	RANDOM LAYOUT: 226V MID COOL GREY: 20% 227V DARK COOK GREY: 20% 239V BLUE: 60%	MATTE	CONTACT: CANDACE BELTRAN, KNOX TILE PHONE: 214.761.5669 X 235	PROVIDE MIN. 2' X 2' MOCKUP SHOWING LAYOUT, COLORS & GROUT
	PLASTER: DIAMONDBRITE OR EQUAL	TBD (STANDARD COLORS)	STANDARD	CONTACT: DIAMONDBRITE PHONE: 800.641.9247	MANUF. DATA, SAMPLE SHOWING COLOR AND FINISH, (FOR UP TO 3 SELECTED COLORS)
	SCUPPER: BOBE WATER AND FIRE (A) SFS-12	N/A	STAINLESS STEEL	CONTACT:BOBE WATER AND FIRE PHONE: 888.388.2623 www.bobewaterandfire.com	MANUF. DATA

STONE

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	VENEER: CANYON MOSS STONE ROUGH CUT	MATCH ARCHITECTURE	MATCH ARCHITECTURE	REF. DETAIL FOR PATTERN AND JOINTS	PROVIDE 2' X 2' MOCK-UP FOR APPROVAL PRIOR TO CONSTRUCTION
	FLAGSTONE: OKLAHOMA MULTI-COLOR	TAN/BROWN	NATURAL		PROVIDE 2' X 2' MOCK-UP FOR APPROVAL PRIOR TO CONSTRUCTION

SITE FURNISHINGS

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS	SUBMITTALS / SAMPLES / MOCK-UPS
	GRILL: BLAZE OUTDOOR PRODUCTS BLZ-SLTE2 (NG/LP)	N/A	STAINLESS STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS, PROVIDE TIMER SHUT-OFF	CONTACT: BBQ GUYS PHONE: 877.589.7183
	ACCESS DOORS: BLAZE OUTDOOR PRODUCTS BLZ-AD40-R	N/A	STAINLESS STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	CONTACT: BBQ GUYS PHONE: 877.589.7183
	BENCH: LANDSCAPE FORMS PARC VUE BACKED W/ END ARMS SURFACE MOUNT	TBD	POWDERCOAT	INSTALL PER MANUFACTURER'S RECOMMENDATIONS & REF. DETAILS CONTACT: LARA MOFFAT PHONE: 269.337.1309 EMAIL: laram@landscapeforms.com	MANUF. DATA
	LITTER RECEPTACLE: LANDSCAPE FORMS PARC VUE SIDE OPENING W/ LINER SURFACE MOUNT	TBD	POWDERCOAT	INSTALL PER MANUFACTURER'S RECOMMENDATIONS & REF. DETAILS CONTACT: LARA MOFFAT PHONE: 269.337.1309 EMAIL: laram@landscapeforms.com	MANUF. DATA
	FIRE PIT: PALOFORM BOL NATURAL GAS W/ ELECTRONIC SWITCH TOPPING: DARK GREY RIVER ROCK	N/A	CORTEN STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS & REF. DETAILS CONTACT: PALOFORM PHONE: 888.823.8883	MANUF. DATA
	POT: FORM AND FIBER CYPRESS SERIES MODEL CY_40.2C 60" TOP O.D. PRE-WEATHERED W/ EXTERIOR SEALANT w/ 2" DRAIN HOLES - QUANTITY & LOCATIONS AS RECOMMENDED BY MANUFACTURER	N/A	CORTEN STEEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS & REF. DETAILS CONTACT: FORM AND FIBER PHONE: 888.314.8852 www.formandfiber.com	MANUF. DATA
	PET WASTE STATION: W/ RECEPTACLE PBARK-488 / SIGNAGE: 01-08-0177	GREEN	N/A	INSTALL PER MANUFACTURER'S RECOMMENDATIONS BARK PARK, WWW.DOGPARKPRODUCT.COM	MANUF. DATA
	PICNIC TABLE: A-FRAME RECYCLED PLASTIC PICNIC TABLE 6 MODEL #H2453GR, SURFACE MOUNT W/ MOUNTING HARDWARE #H-6681, 2 SETS PER TABLE	GRAY	N/A	CONTACT: ULINE PHONE: 800.295.5510 www.uline.com	MANUF. DATA



LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

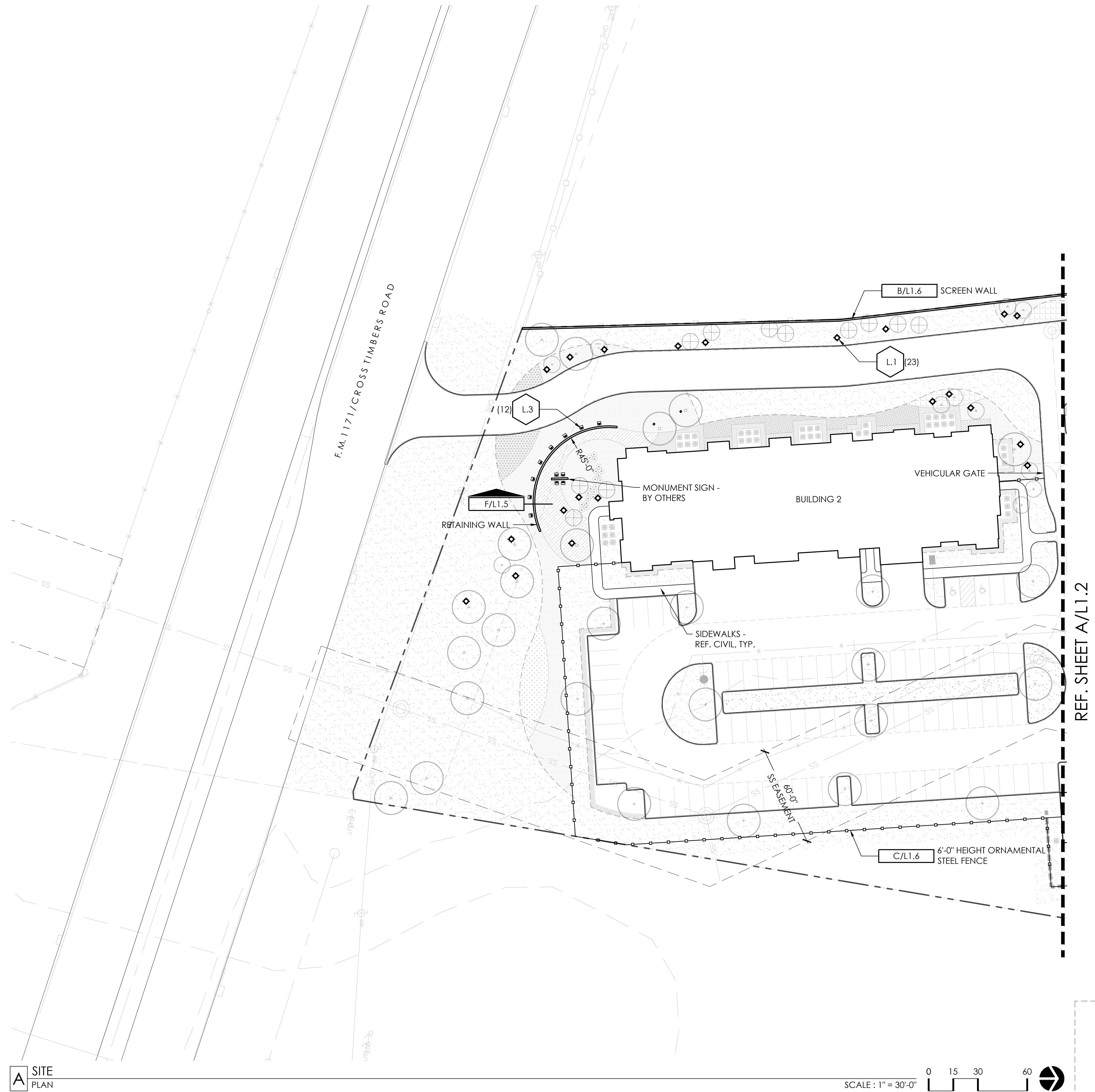
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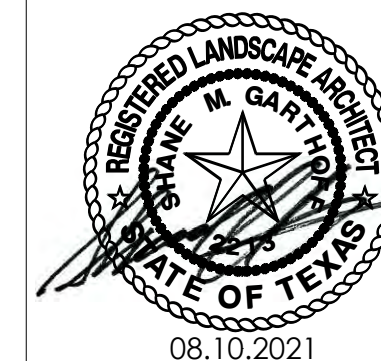
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LANDSCAPE SITE WORK PLAN

1.1





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NORTHLAKE, TEXAS

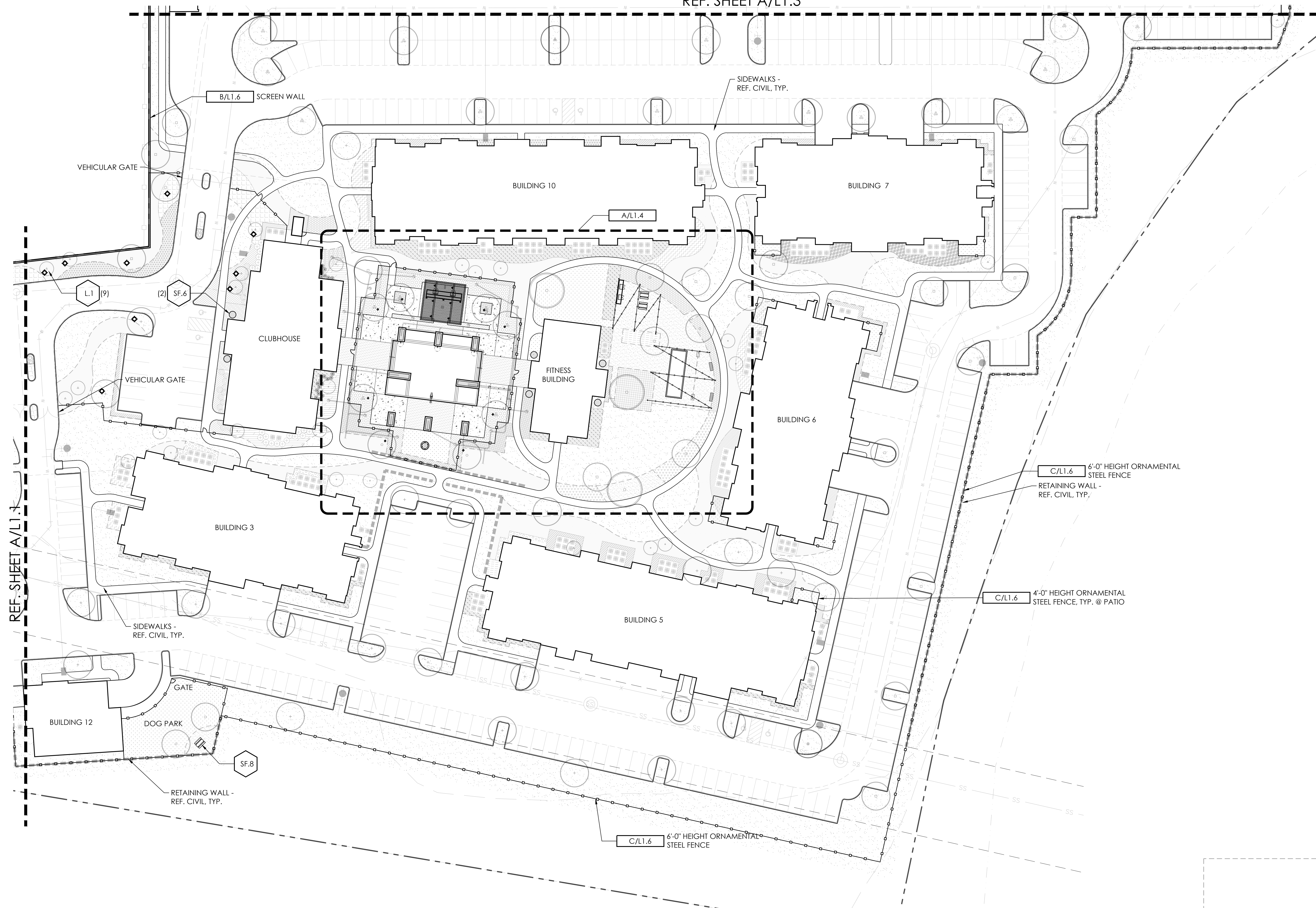
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LANDSCAPE
SITE WORK
PLAN

L1.2

REF. SHEET A/L1.3



A SITE
PLAN

SCALE : 1" = 30'-0"



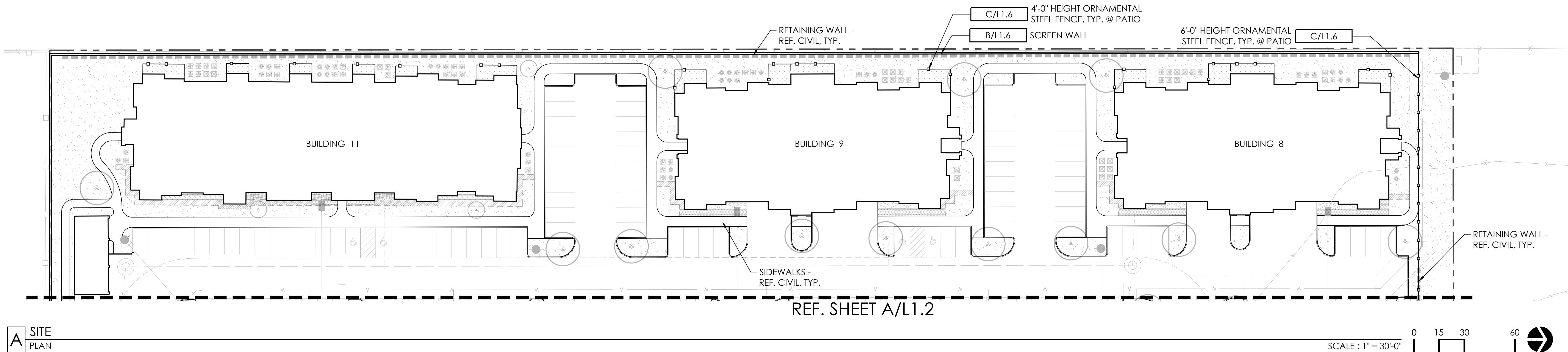
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SITE WORK
PLAN

L1.3



A SITE
PLAN



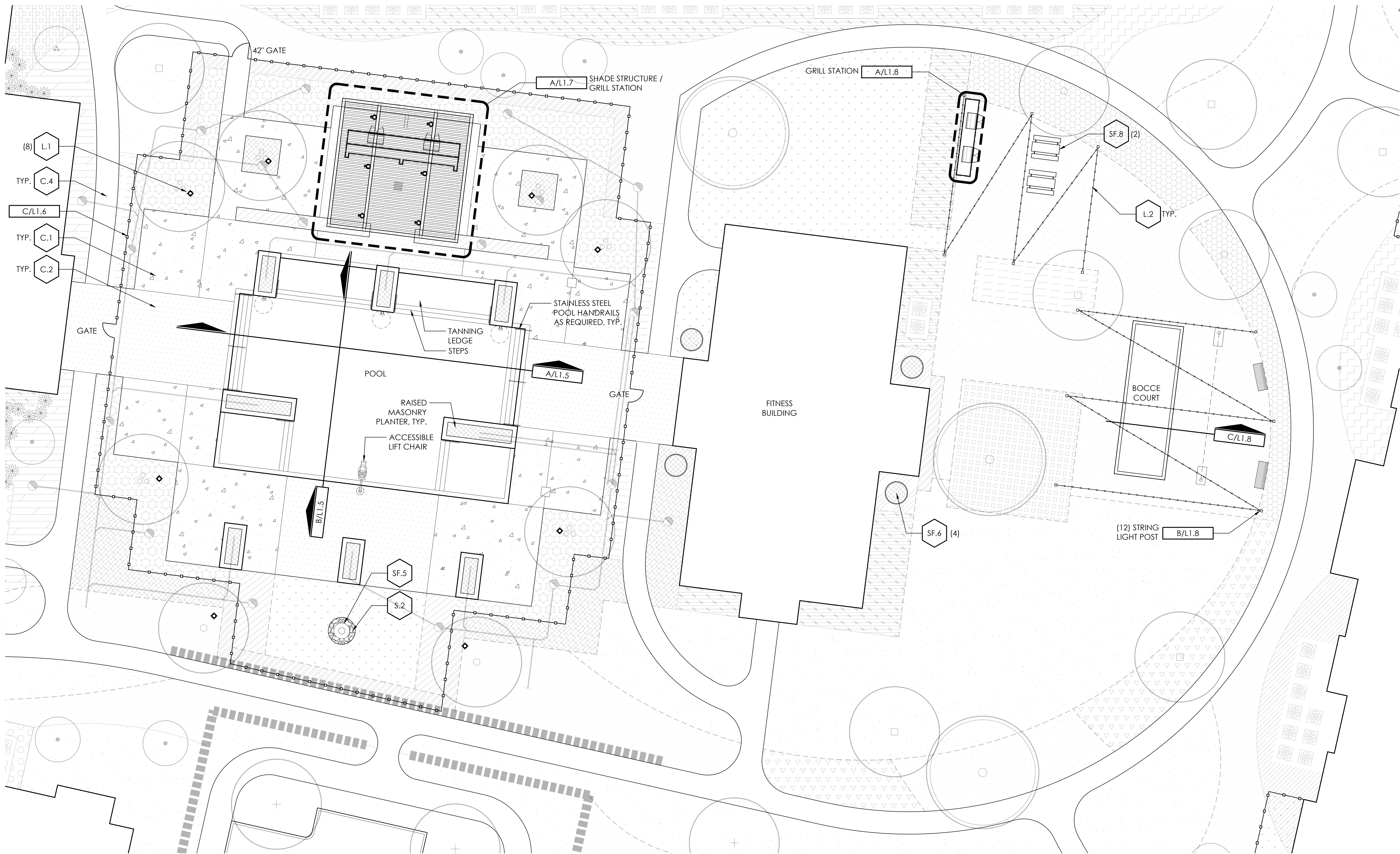
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LANDSCAPE
SITE WORK
PLAN

L1.4



A SITE
PLAN

SCALE : 1" = 10'-0" 0 5 10 20



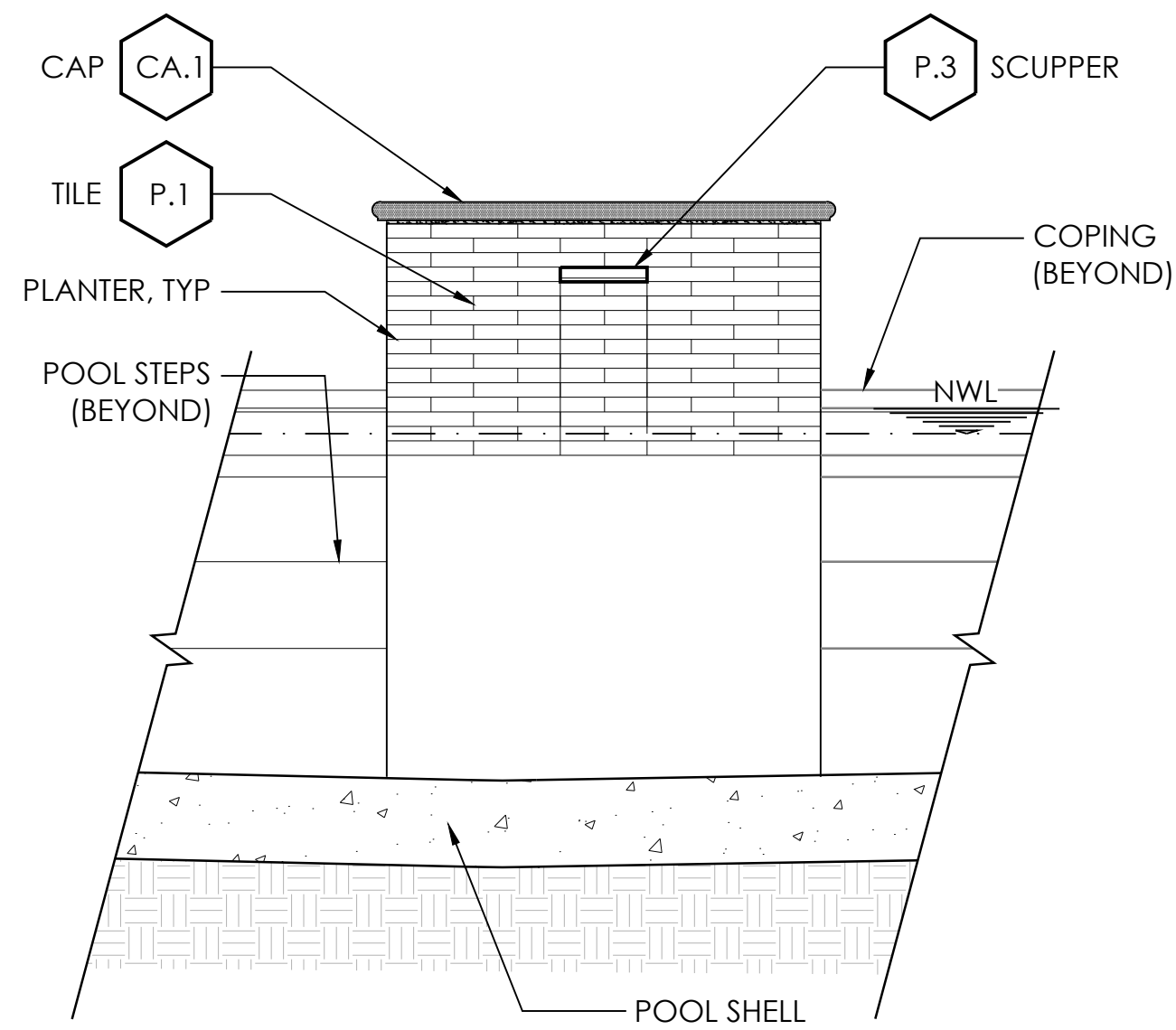
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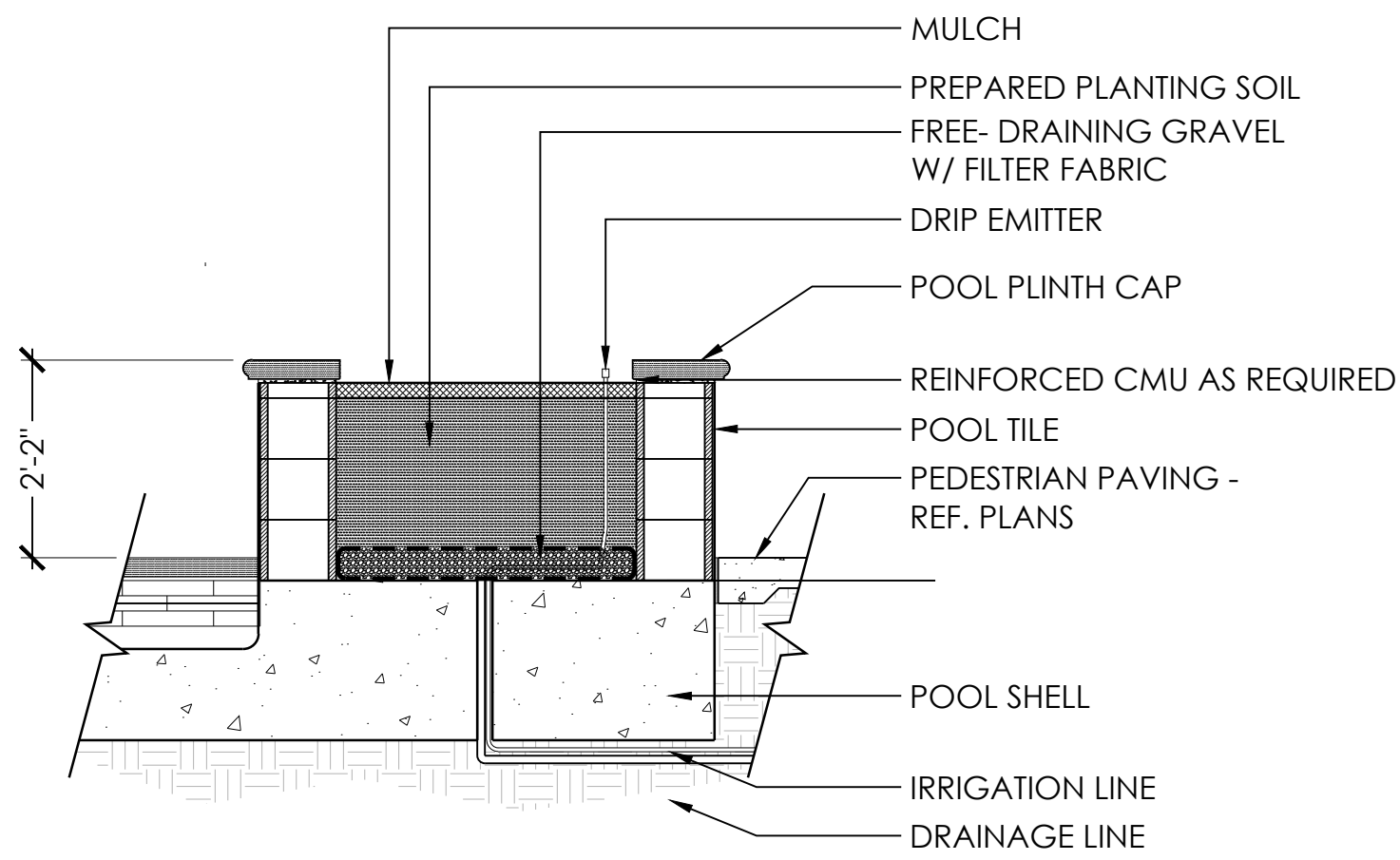
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LANDSCAPE
SITE WORK
DETAILS

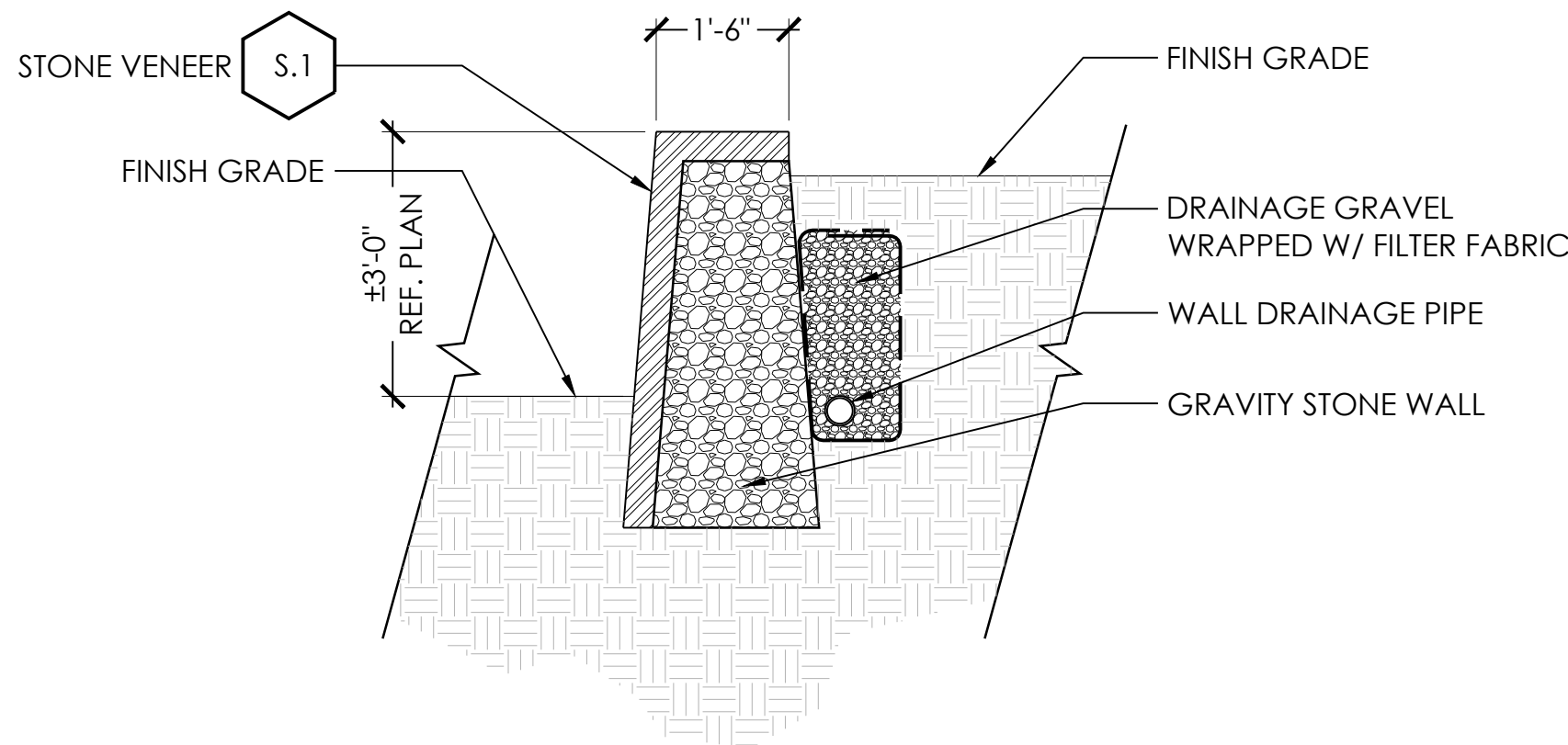
L1.5



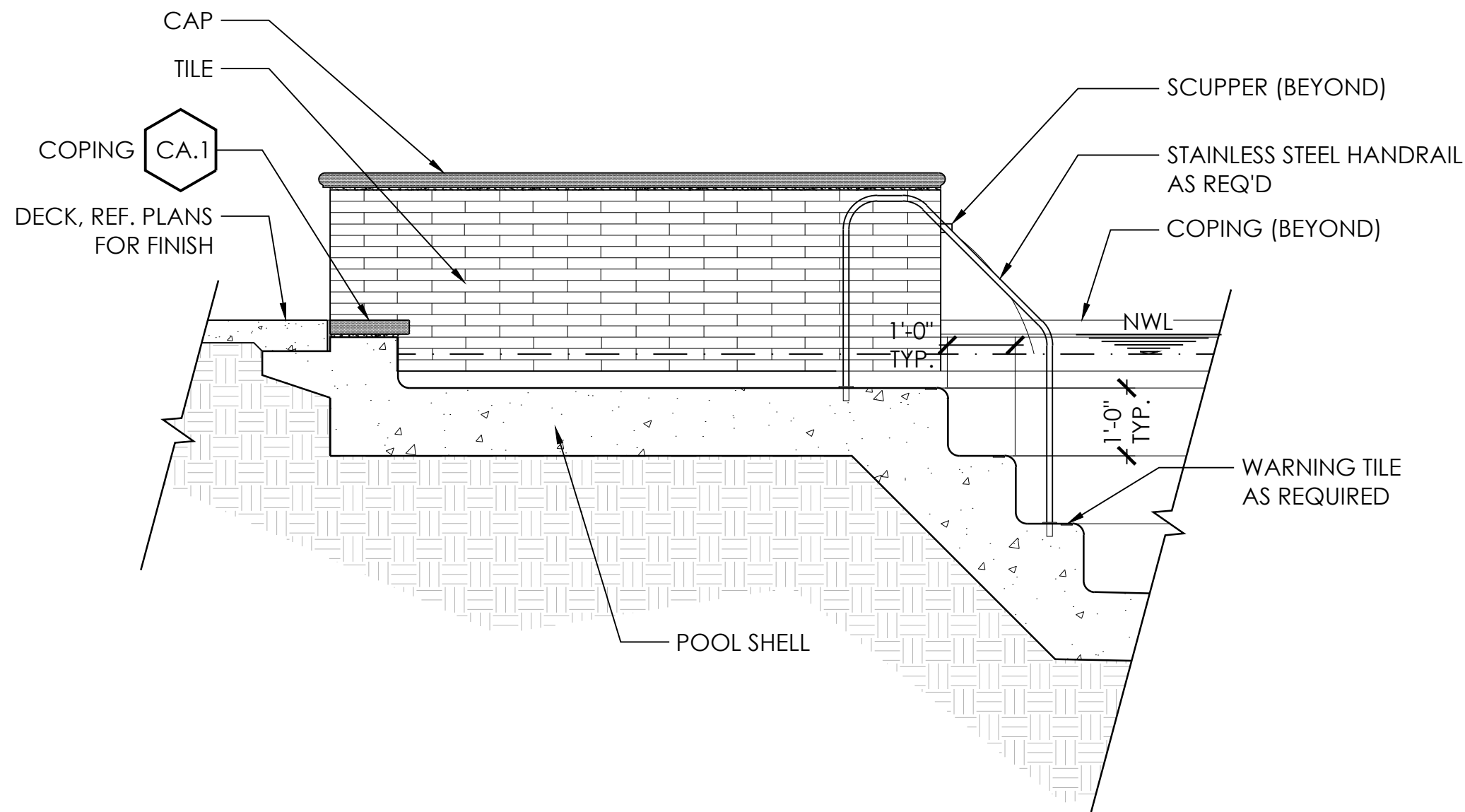
D POOL - PLANTER
SECTION/ELEVATION



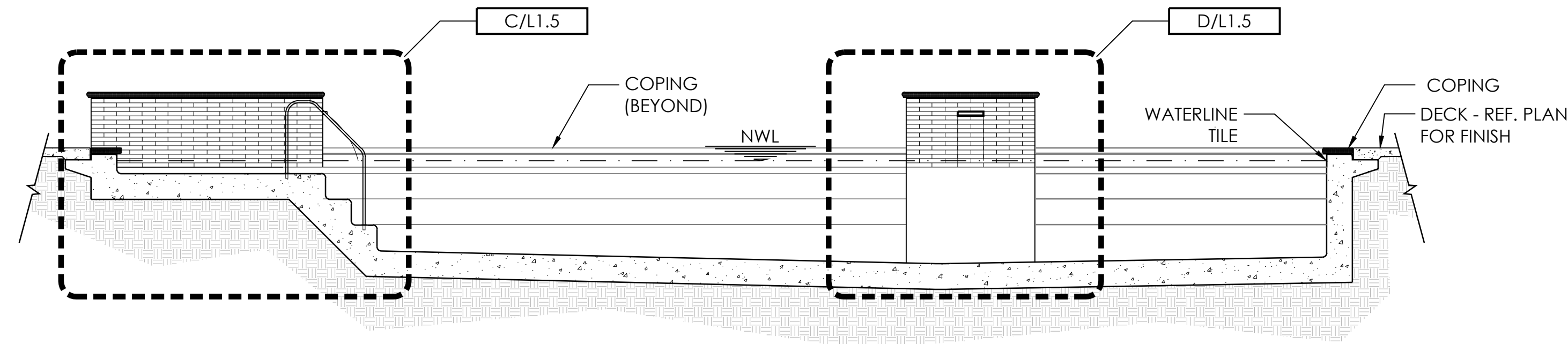
E POOL - PLANTER
SECTION



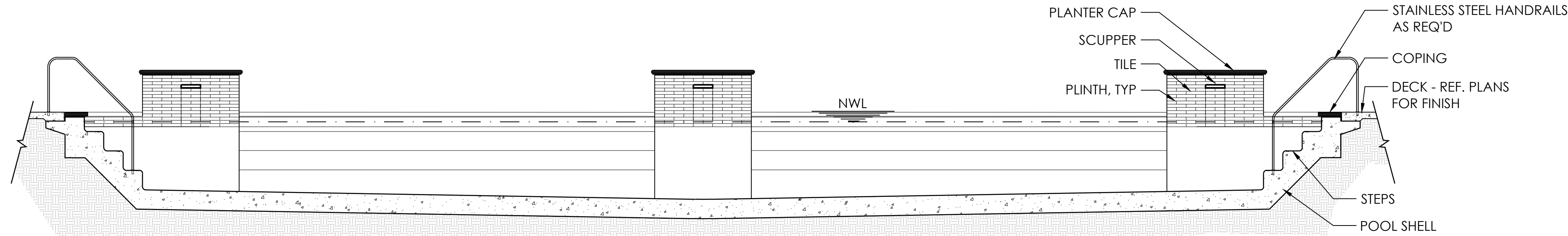
F RETAINING WALL
SECTION



C POOL - PLANTER
SECTION/ELEVATION



B POOL
SECTION



A POOL
SECTION



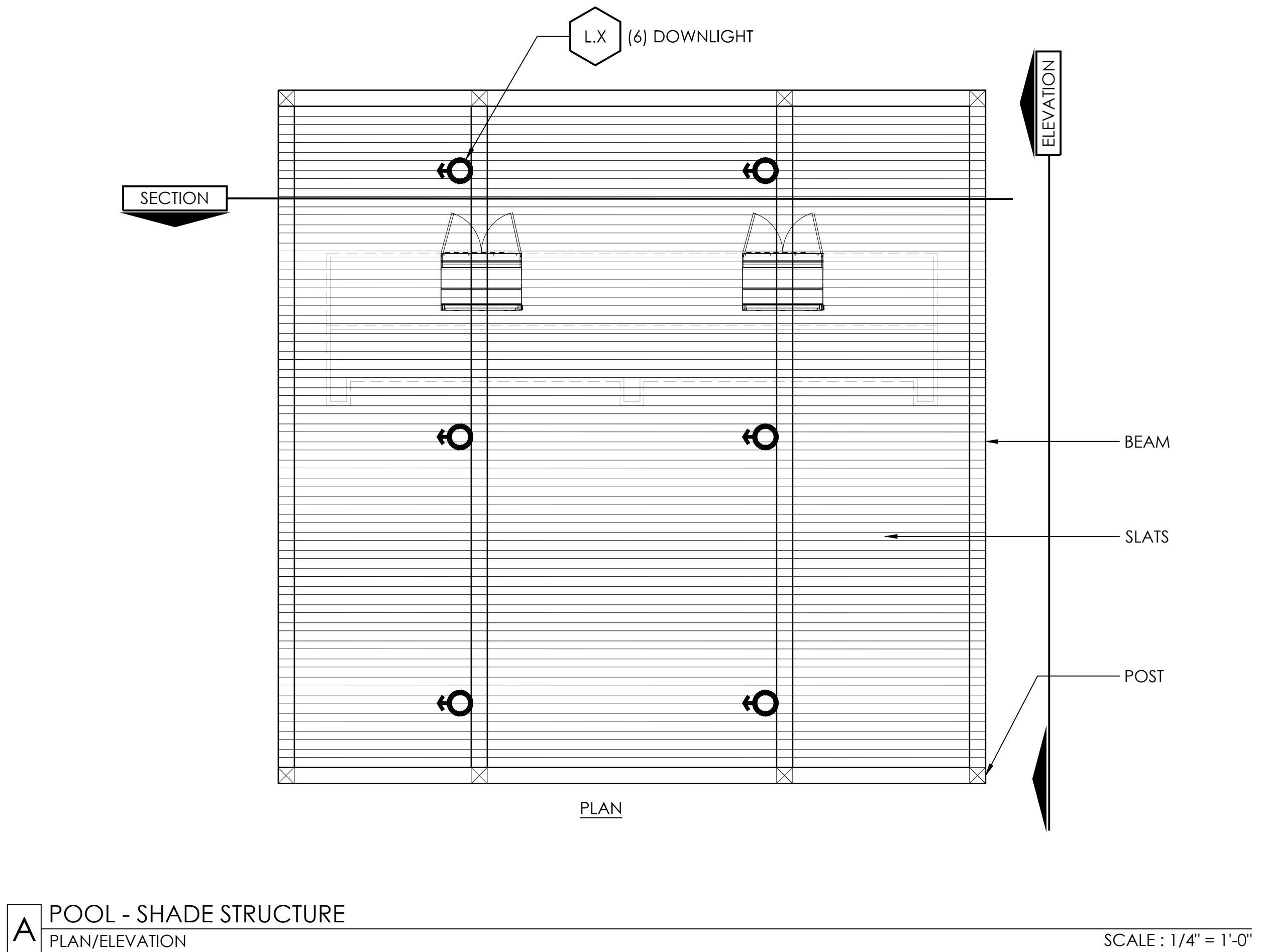
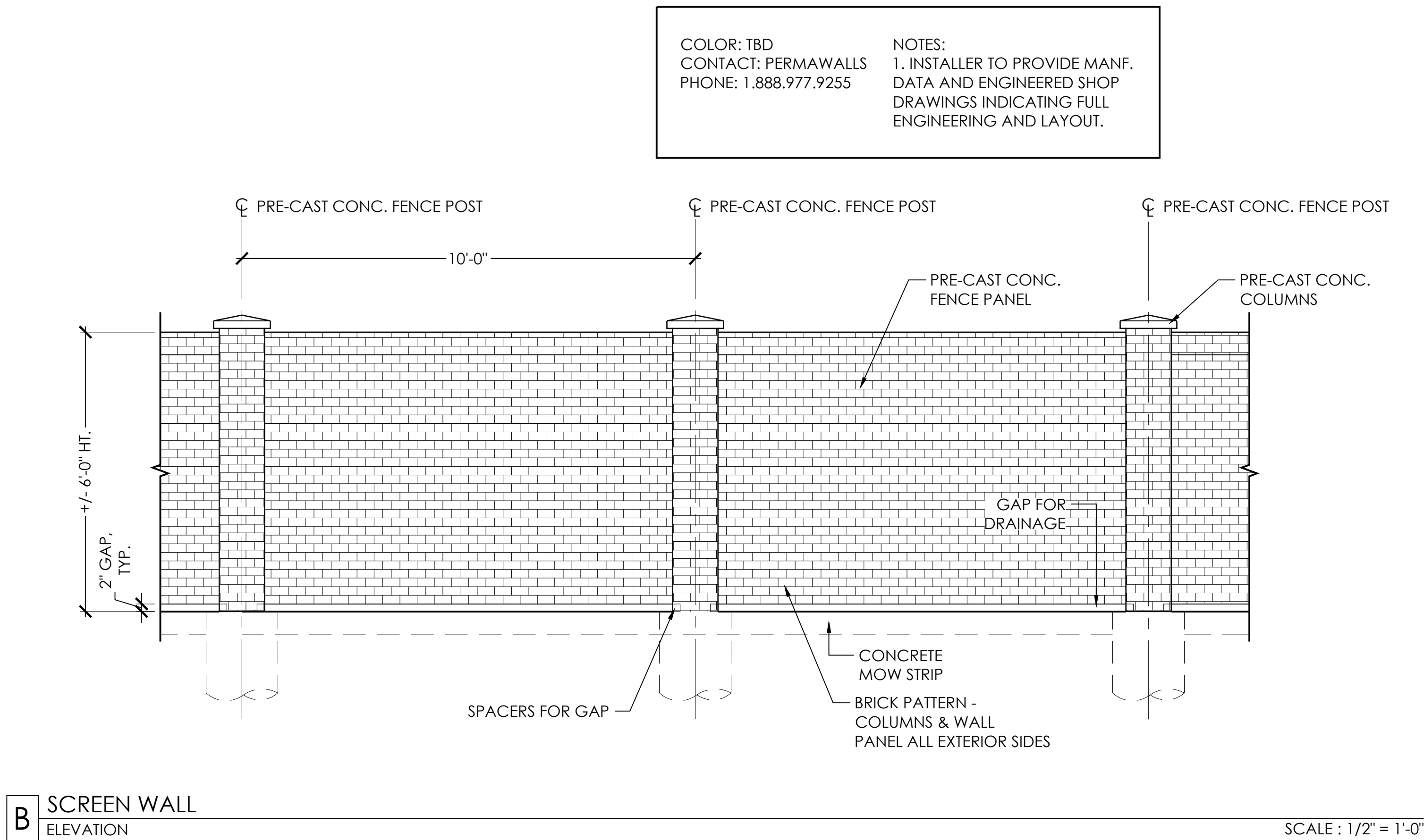
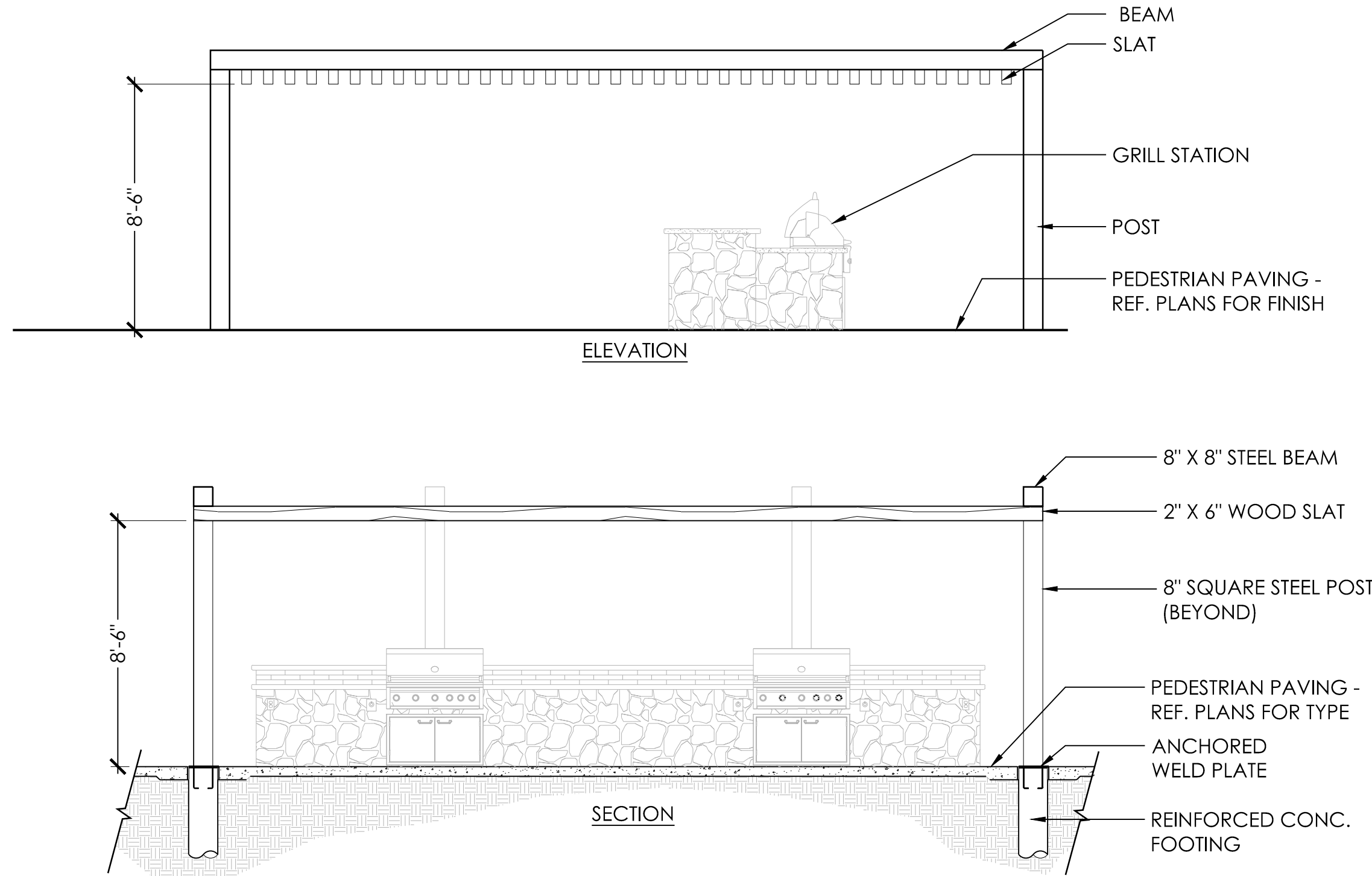
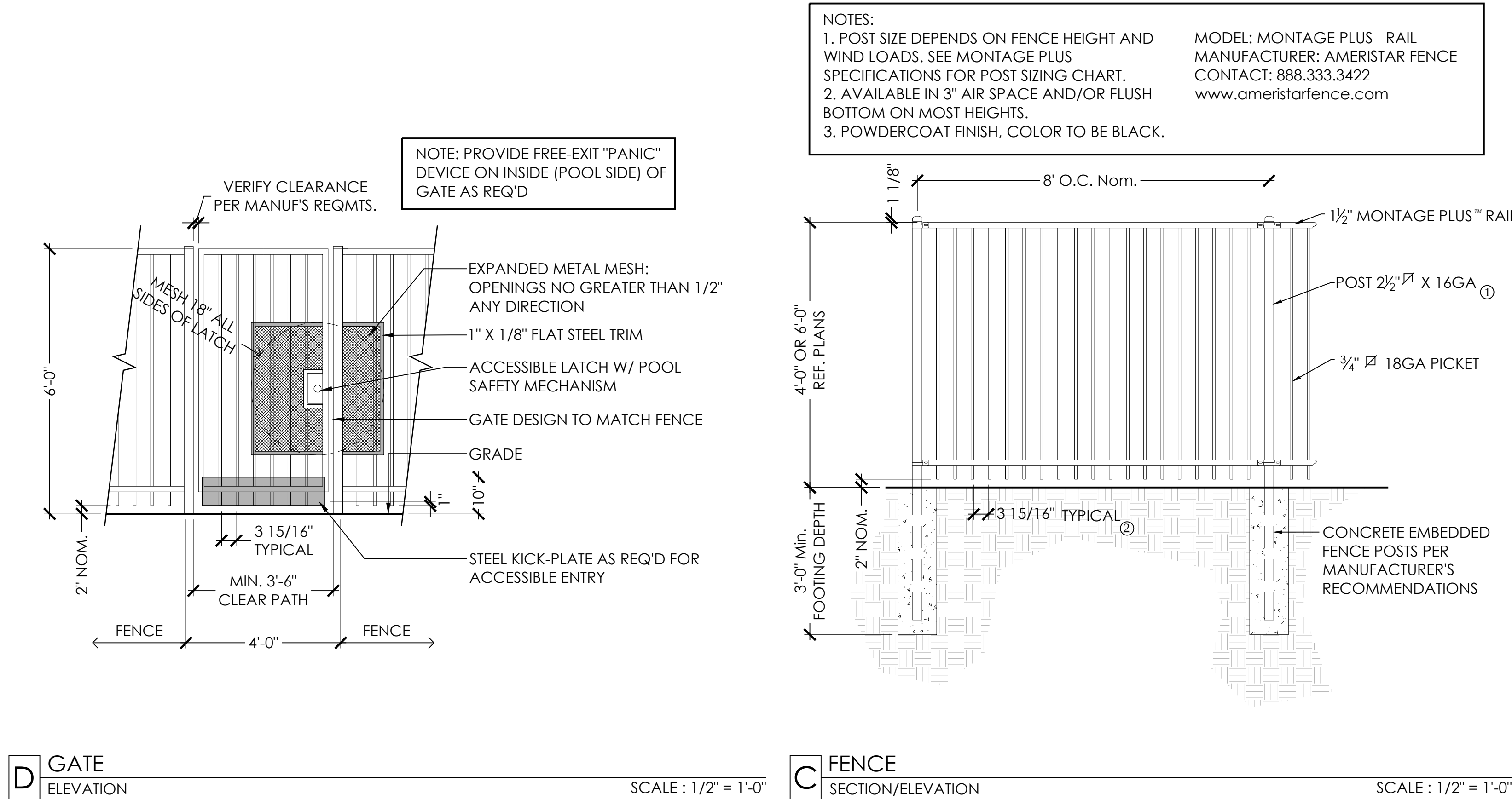
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REVISIONS:	

LANDSCAPE
SITE WORK
DETAILS

L1.6





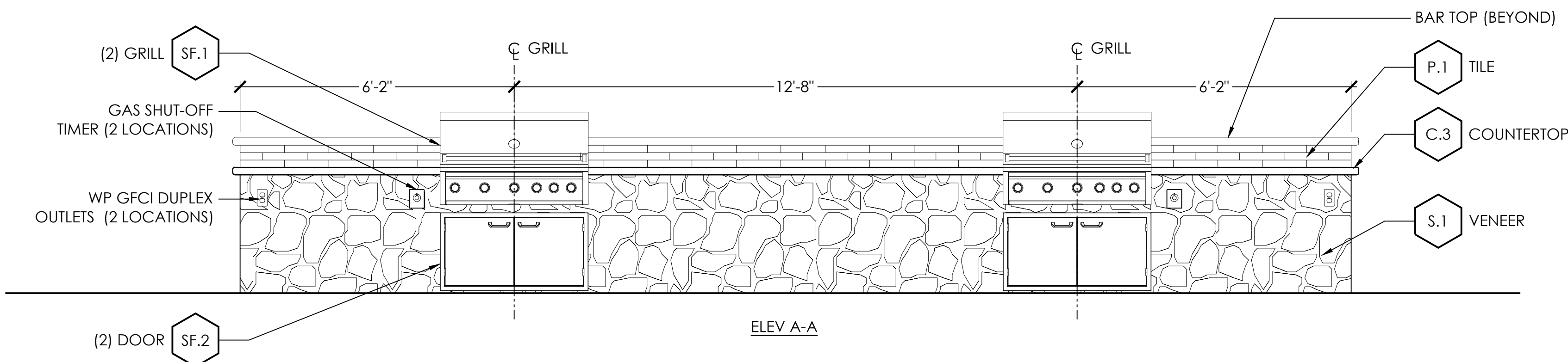
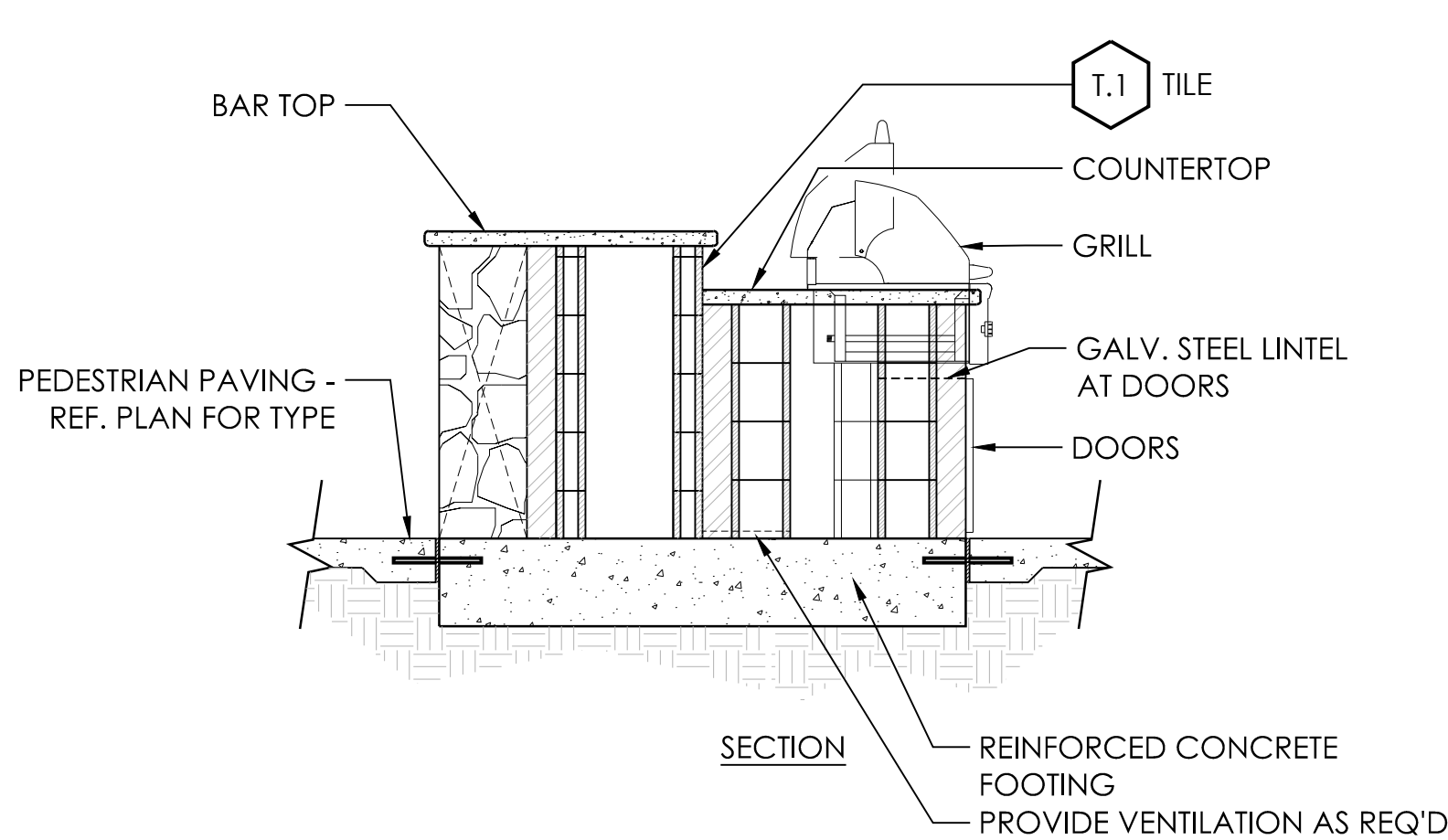
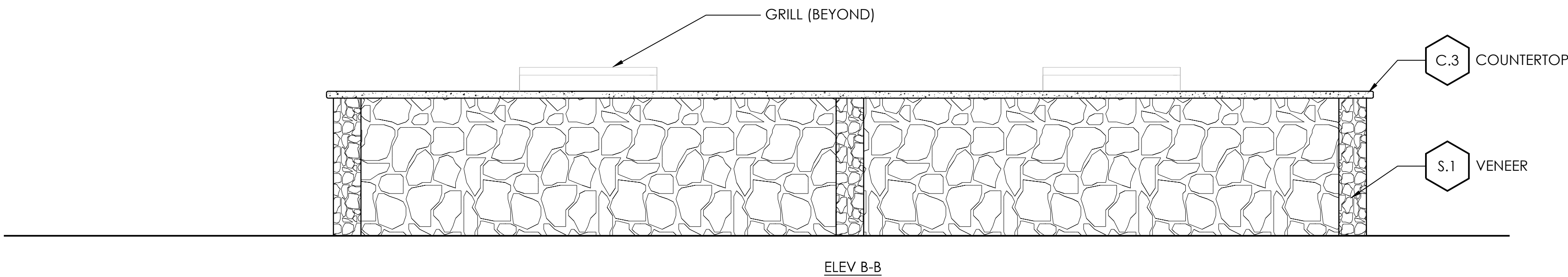
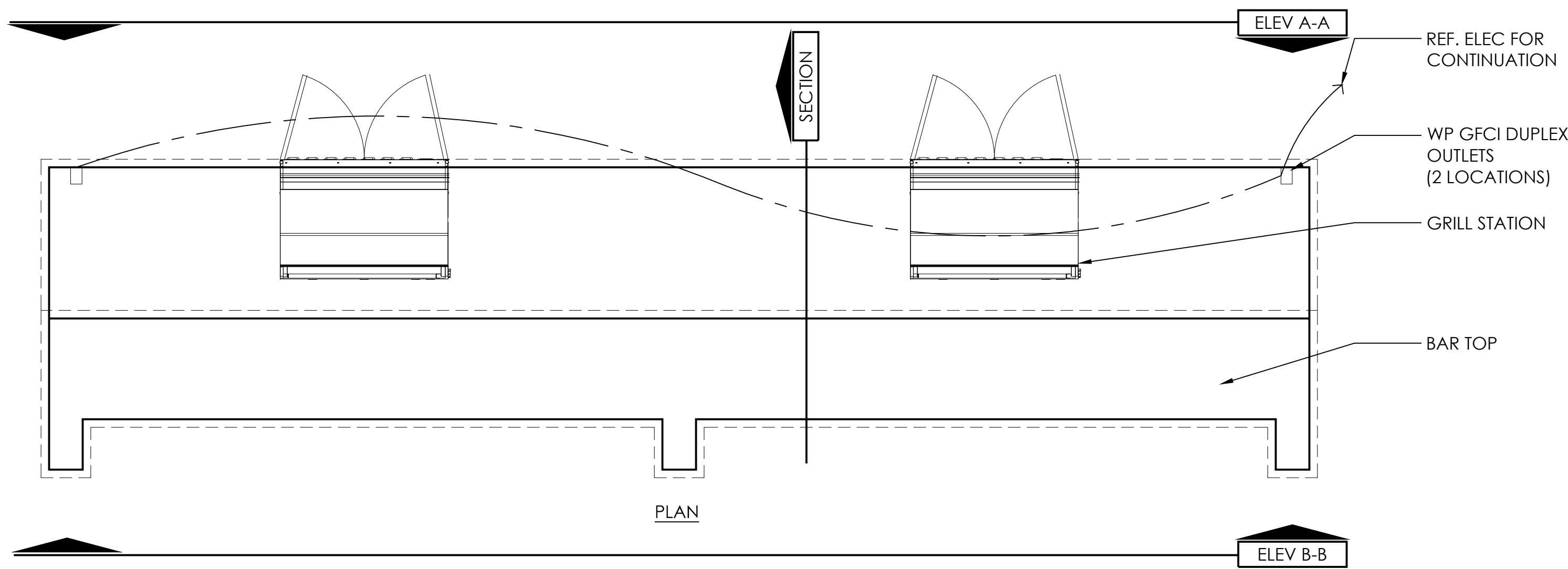
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SITE WORK
DETAILS

L1.7



A POOL - GRILL STATION
PLAN/ELEVATION/SECTION

SCALE : 1/2" = 1'-0"



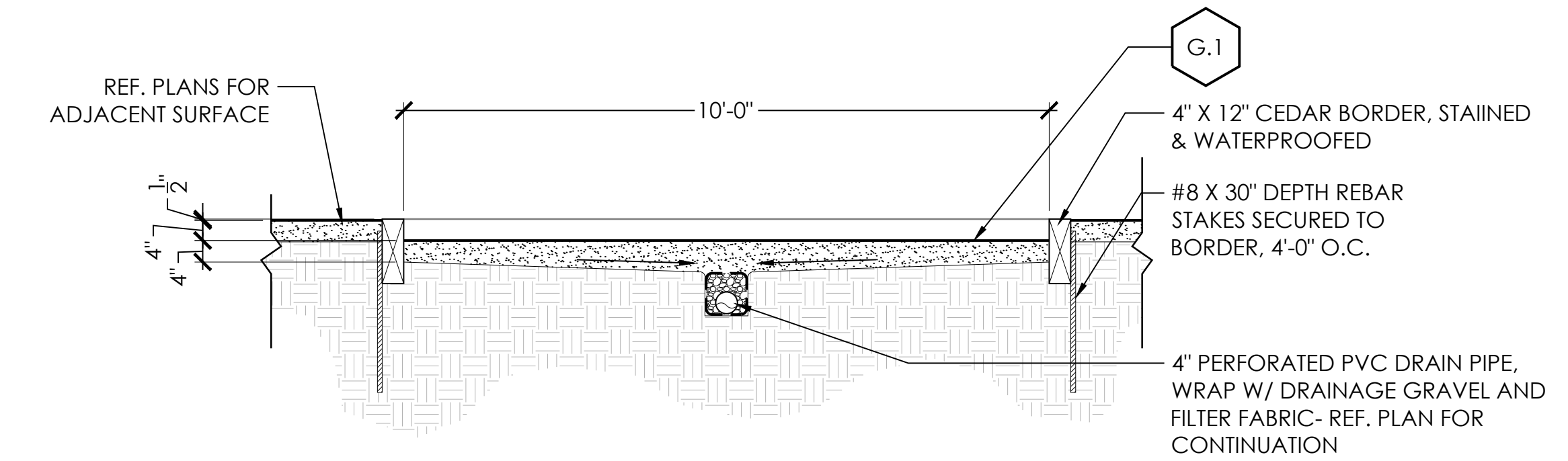
LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

ISSUE:
08.10.2021 | PERMIT

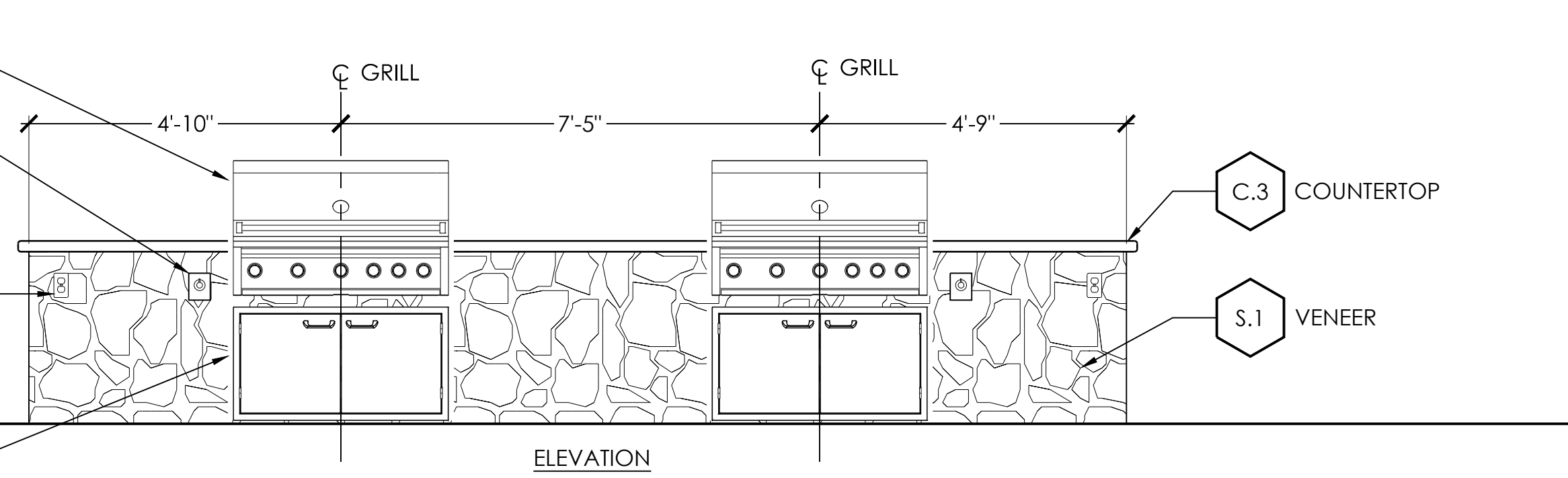
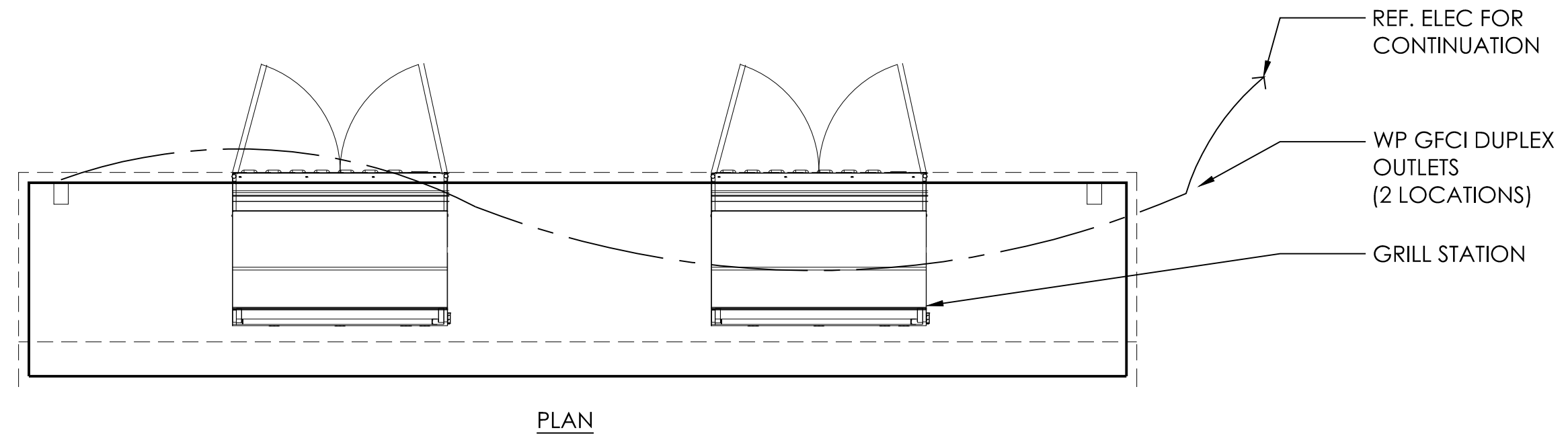
REVISIONS:	

LANDSCAPE
SITE WORK
DETAILS

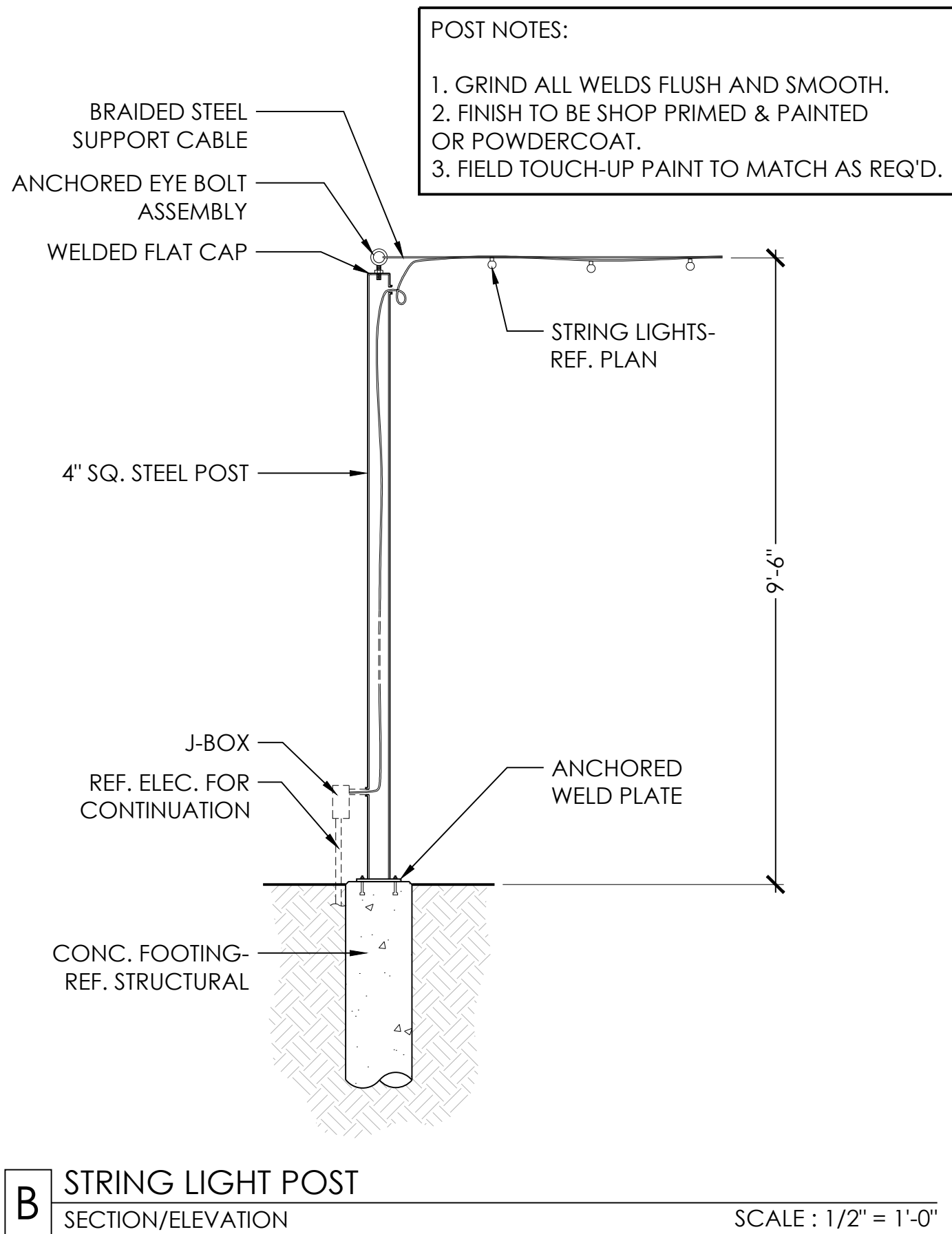
L1.8



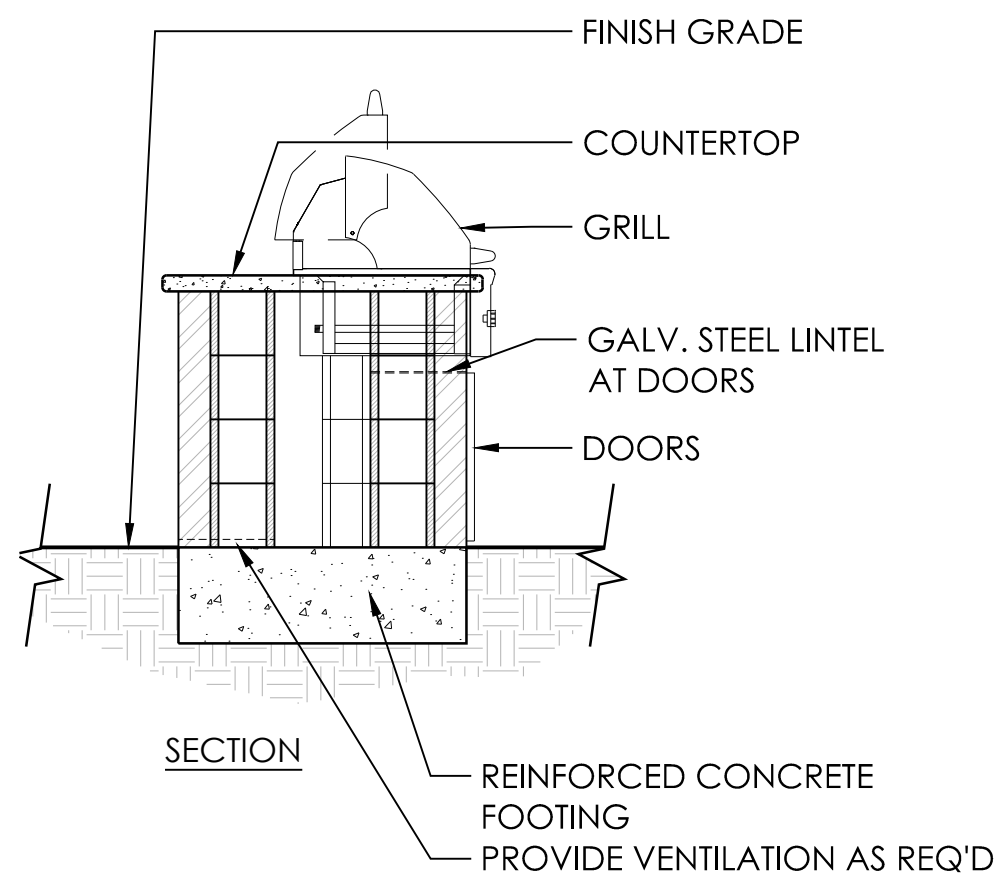
C BOCCE COURT
SECTION
SCALE : 1/2" = 1'-0"



A GRILL STATION
PLAN/ELEVATION/SECTION
SCALE : 1/2" = 1'-0"



B STRING LIGHT POST
SECTION/ELEVATION
SCALE : 1/2" = 1'-0"



A GRILL STATION
PLAN/ELEVATION/SECTION



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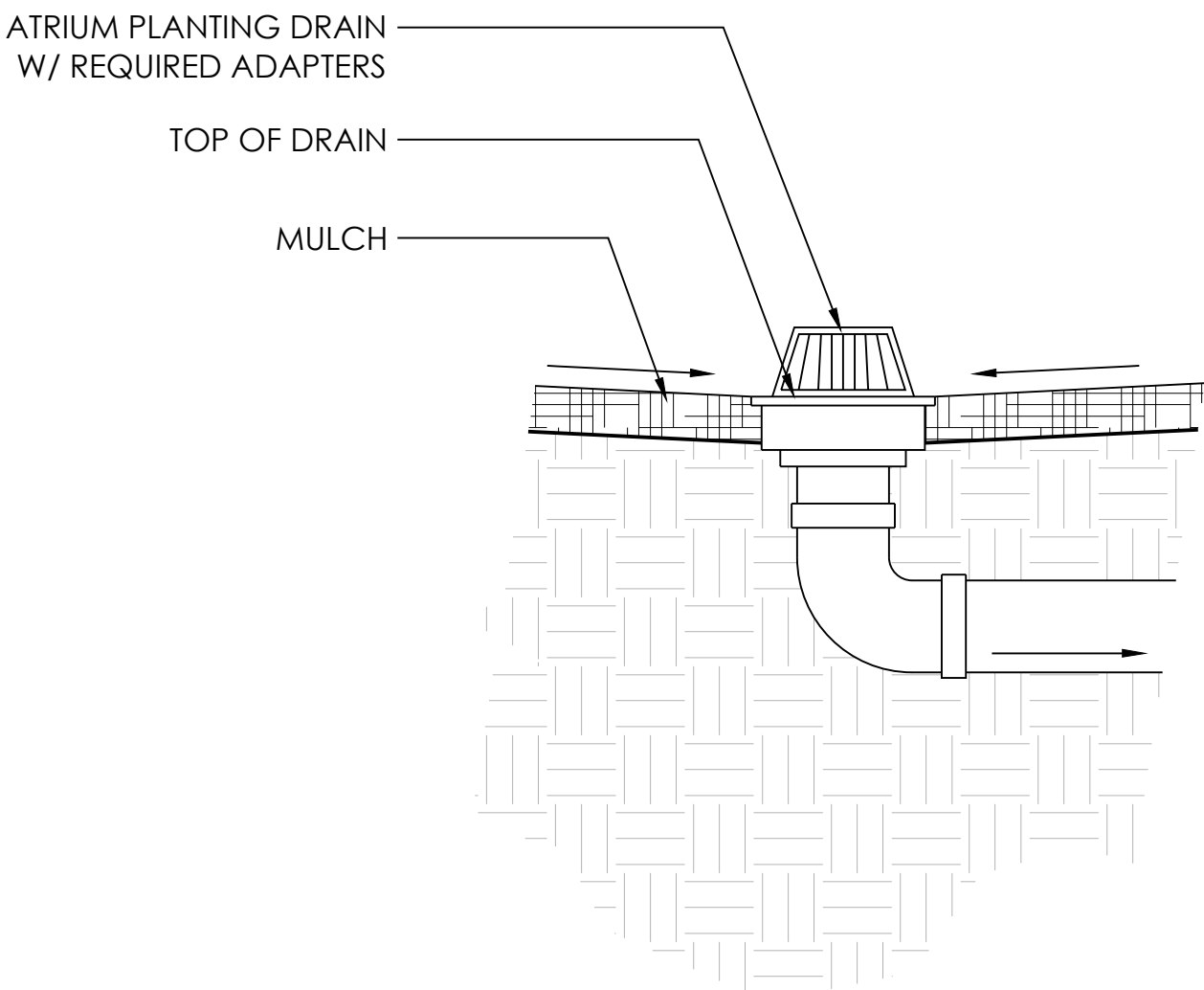
REVISIONS:

LANDSCAPE
GRADING
PLAN

L2.1

DRAINAGE				
SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS
	PAVING DRAIN: 12" SQUARE GRATE W/ CATCH BASIN	BRASS	N/A	INSTALL PER MANUFACTURER'S STANDARD DETAILS NDS: WWW.NDSPRO.COM
	PLANTING DRAIN: 12" SQUARE ATRIUM GRATE W/ CATCH BASIN	BLACK	N/A	INSTALL PER MANUFACTURER'S STANDARD DETAILS NDS: WWW.NDSPRO.COM

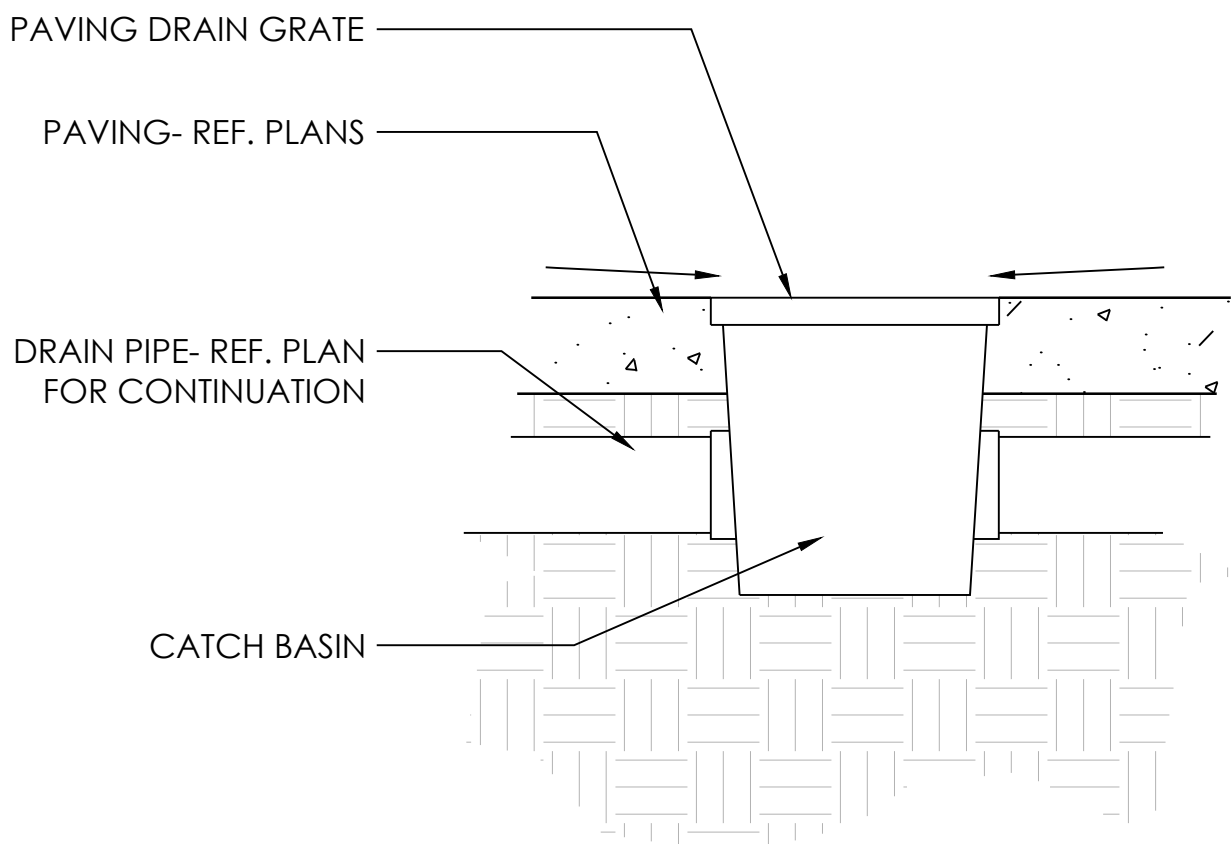
NOTE: ALL DRAINAGE PIPING AND FITTINGS TO BE WHITE PVC.



C

PLANTING AREA DRAIN
SECTION

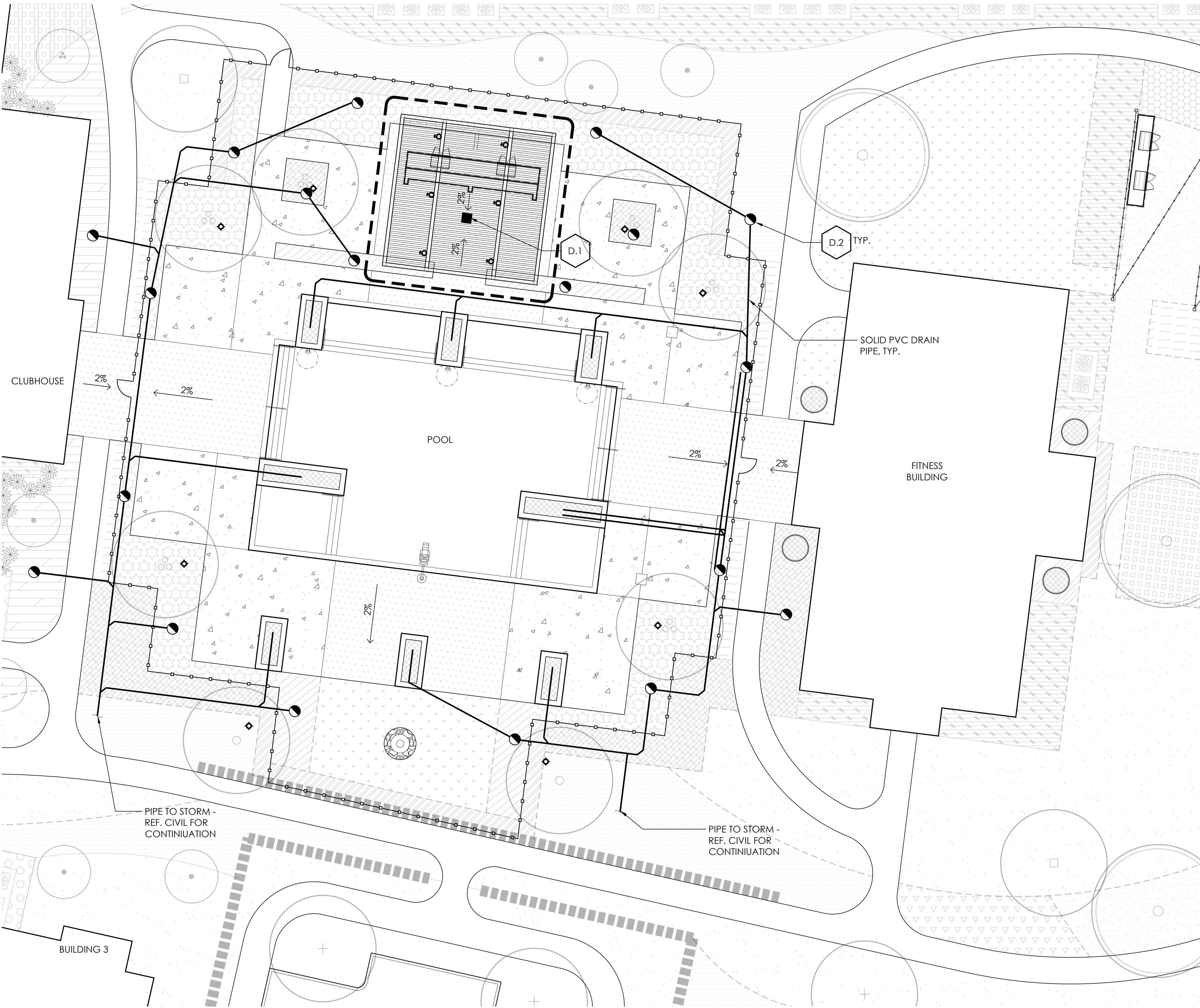
SCALE : 1 1/2" = 1'-0"



B

PAVING DRAIN
SECTION

SCALE : 1 1/2" = 1'-0"



A

SITE
PLAN

SCALE : 1" = 10'-0"

0 5 10 20





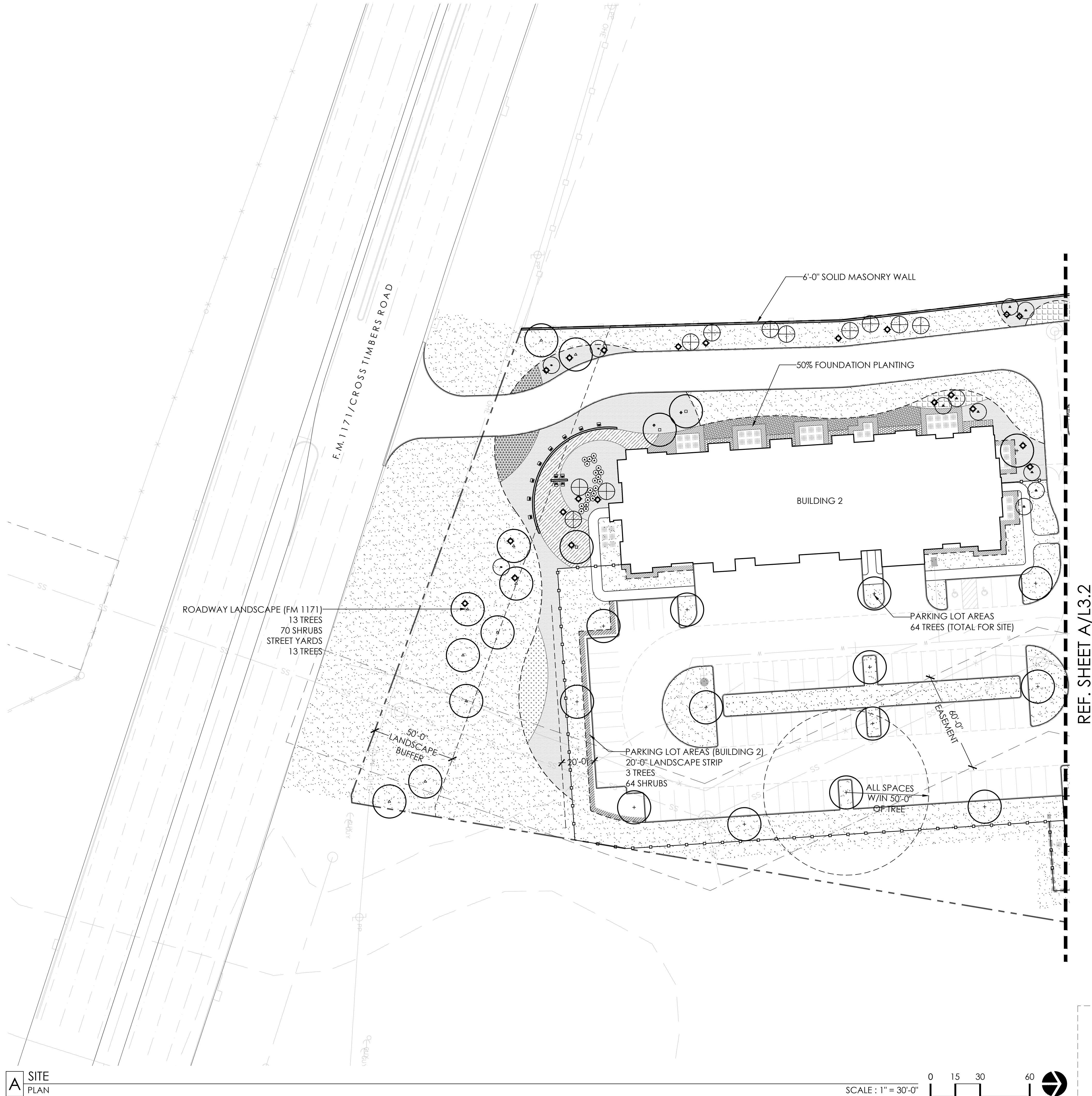
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PLANTING
PLAN

L3.1



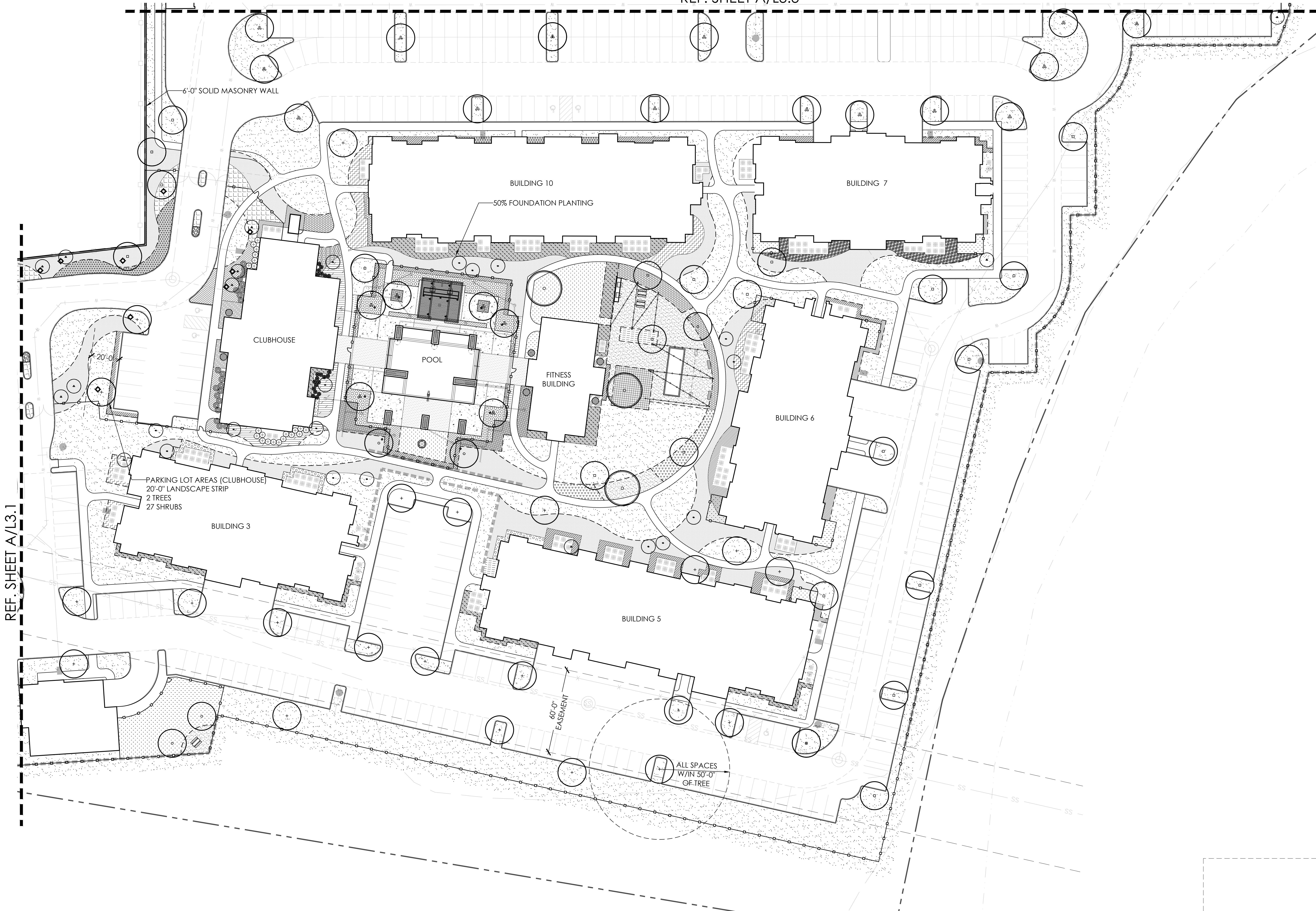


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PLANTING
PLAN



REF. SHEET A/L3.1



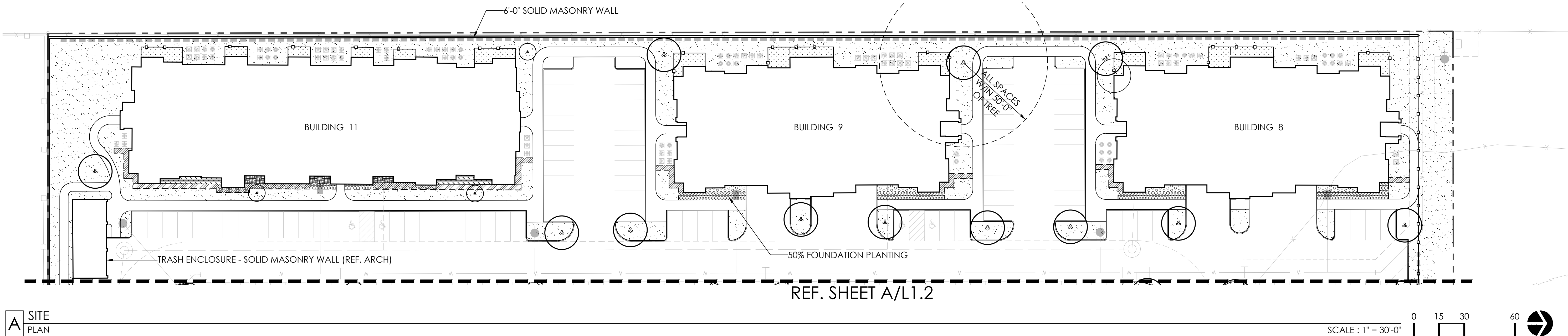
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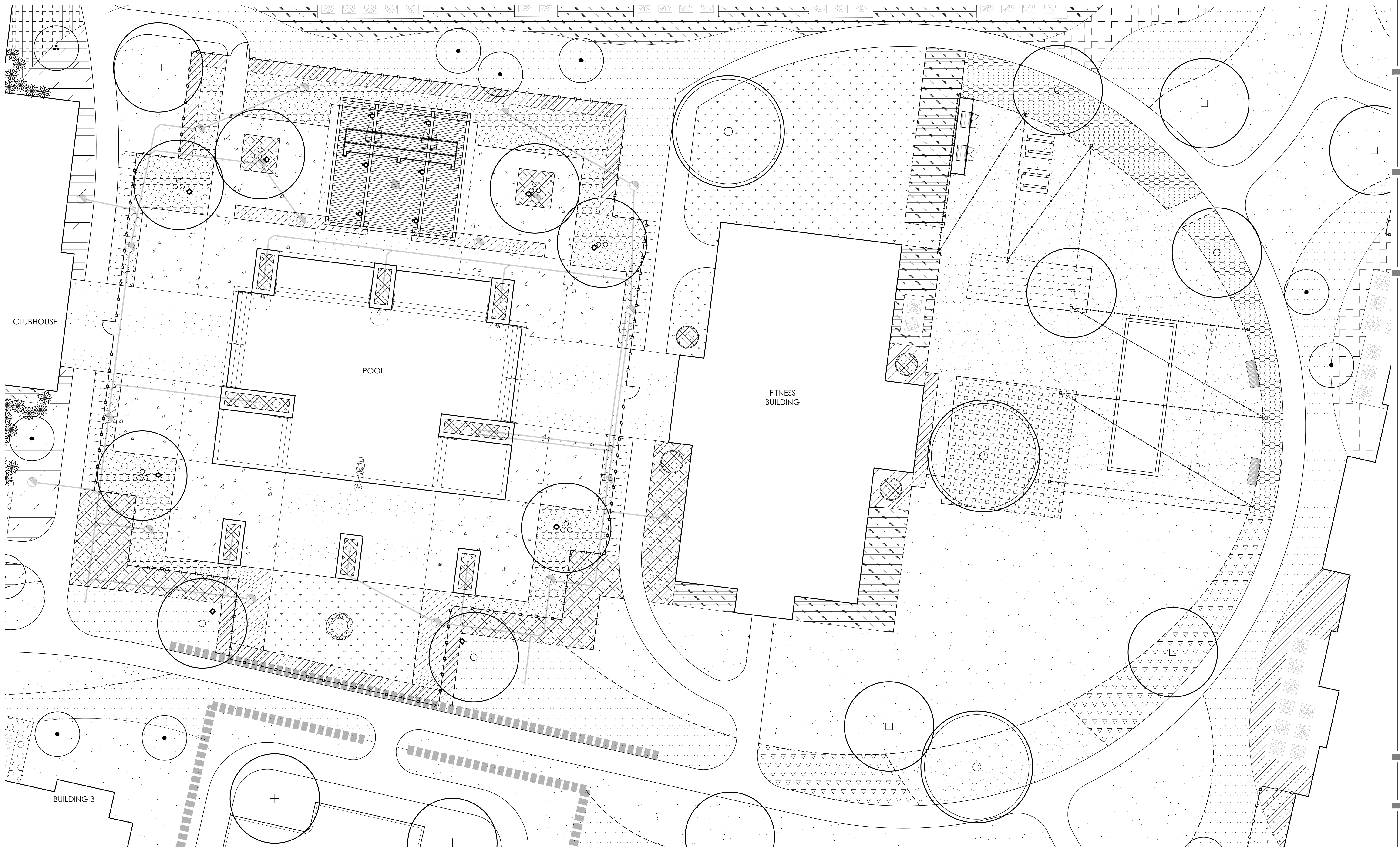
REVISIONS:

PLANTING
PLAN

L3.3



A SITE
PLAN



A

SITE PLAN

SCALE : 1" = 10'-0"

0

5

10

20

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LIV CANYON FALLS APARTMENTS

NORTHLAKE, TEXAS

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REVISIONS:

PLANTING PLAN

TOWN OF NORTHLAKE LANDSCAPE REQUIREMENTS
CANYON FALLS MPD AMENDMENT (ORDINANCE 15-0326)

ROADWAY LANDSCAPING - FM 1171

REQUIRED: 50'-0" LANDSCAPE BUFFER W/ 1 (MIN 3" CAL.) /25 LF & 10 SHRUBS(MIN 5 GAL.) / 50 LF
316 LF / 25 = 13 TREES
316 LF / 50 = 7 X 10 = 70 SHRUBS

PROVIDED: 13 TREES
77 SHRUBS

MINIMUM LANDSCAPED AREA

REQUIRED: MIN. 20% OF TOTAL LOT LANDSCAPED W/ SOD OR LANDSCAPE MATERIALS
685,181 SF (15.73 ACRES) / 20% = 137,036 SF LANDSCAPE AREA

PROVIDED: 146,873 SF

PARKING LOT AREAS

REQUIRED: 1 (MIN 3" CAL.) TREE / 10 PARKING SPACES
512 PARKING SPACES / 10 = 52 TREES
1 162 SQUARE FEET / 12 PARKING SPACES
ALL PARKING SPACES W/IN 50' OF TREE
20'-0"LANDSCAPE STRIP BETWEEN PARKING & ROW - 1 (MIN 5 GAL.) SHRUB / 5 LF &
1(MIN 3" CAL) CANOPY TREE OR 2 (MIN 1.5" CAL.) ORNAMENTAL TREES / 60 LF
PARKING LOT @ BUILDING 2: 137 LF / 5 = 28 SHRUBS, 137 LF/ 60 LF = 3 TREES
PARKING LOT @ CLUBHOUSE: 62 LF / 5 = 13 SHRUBS, 62 LF / 60 LF = 2 TREES

PROVIDED: 64 TREES
162 SQUARE FEET / 12 PARKING SPACES
ALL PARKING SPACES ARE W/IN 50' OF TREE
PARKING LOT @ BUILDING 2: 64 SHRUBS, 3 TREES
PARKING LOT @ CLUBHOUSE: 27 SHRUBS, 2 TREES

STREET YARDS

REQUIRED: 1 TREE / 2,500 SF
25,631 SF / 2,500 SF = 11 TREES

PROVIDED: 13 TREES

SCREENING (NON-RESIDENTIAL)

REQUIRED: 6'-0" SOLID MASONRY WALL ALONG LOT LINE ADJACENT TO RESIDENTIAL
GARBAGE STORAGE SCREENED ON ALL SIDES W/ SOLID MASONRY WALL

PROVIDED: 6'-0" SOLID MASONRY WALL ALONG LOT LINE LINE (ADJACENT TO RESIDENTIAL (WEST AND
SOUTH SIDES)
GARBAGE STORAGE SCREENED ON ALL SIDES W/ SOLID MASONRY WALL (REF. ARCH)

CITY ORDINANCE SECTION 9.10 LANDSCAPE AND TREE PROTECTION
SECTION 9.10 (D) MULTI-FAMILY

FOUNDATION PLANTING:

REQUIRED: EXPOSED SECTIONS OF BUILDING WALLS THAT ARE IN HIGH-VISIBILITY AREAS OF THE
BUILDING EXTERIOR SHALL HAVE PLANTING BEDS AT LEAST FIVE (5) WIDE PLACE DIRECTLY
ALONG AT LEAST 50% OF SUCH WALLS.

PROVIDED: PLANTING BEDS OF AT FIVE (5) WIDE AT ALL HIGH-VISIBILITY AREAS OF THE BUILDING
EXTERIOR WALLS

IRRIGATION NOTES:

1. PROVIDE 100% IRRIGATION COVERAGE TO ALL PLANTING AREA
USING AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.
2. PROVIDE IRRIGATION CONTROLLER(S) WITH RAIN & FREEZE SENSORS
AND BACKFLOW PREVENTION DEVICES.
3. WATER TAPS, METERS AND SLEEVES SHALL BE PROVIDED BY OTHERS.
4. IRRIGATION LAWN AREAS WITH W/ POP-UP SPRAYS / ROTORS
(HUNTER PRS /PGP OR EQUAL).
5. IRRIGATE PLANTING BEDS AREAS WITH DRIP TUBING (NETAFIM O
EQUAL).
6. IRRIGATE ALL TREES W/ 2 BUBBLERS.

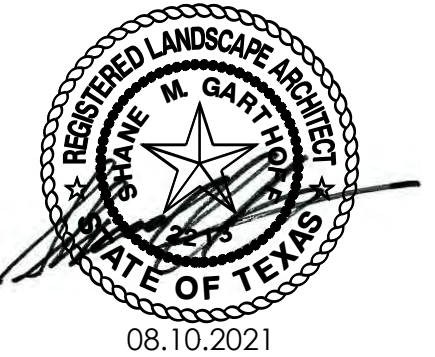
PLANT SCHEDULE

SYM.	BOTANICAL NAME/ COMMON NAME	MIN. CAL.	MIN. HEIGHT	MIN. SPREAD	CONTAINER/ ROOTBALL	SPACING	REMARKS
TREES							
AS	ACER SACCHARUM/ CADD0 MAPLE	3"	12'	4'	65. GAL	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
JV	JUNIPERUS VIRGINIANA/ EASTERN RED CEDAR	2"	8'	4'	B&B	PER PLAN	SINGLE STRAIGHT TRUNK, FULL TO GROUND, MATCHED
LI	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'/ NATCHEZ CRAPE MYRTLE	3"	10'	5'	45 GAL.	PER PLAN	MULTI-TRUNK, 5 CANE MIN, FULL CANOPY, MATCHED
PC	PISTACHIA CHINENSIS/ CHINESE PISTACHE	3"	12'	4'	65. GAL	PER PLAN	MULTI-TRUNK, 5 CANE MIN, FULL CANOPY, MATCHED
QM	QUERCUS MACROCARPA/ BUR OAK	3"	12'	4'	65. GAL	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
QS	QUERCUS SHUMARDII/ SHUMARD OAK	3"	12'	4'	65. GAL	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
QV1	QUERCUS VIRGINIANA/ LIVE OAK	8"	18'	7'	B&B	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
QV2	QUERCUS VIRGINIANA/ LIVE OAK	3"	12'	4'	65. GAL	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
UC	ULMUS CRASSIFOLIA/ CEDAR ELM	3"	12'	4'	65. GAL	PER PLAN	SINGLE STRAIGHT TRUNK, FULL CANOPY, MATCHED
VA	VITEX AGNUS-CASTUS/ CHASTE TREE	3"	6'	4'	45. GAL	PER PLAN	MULTI-TRUNK, 5 CANE MIN, FULL CANOPY, MATCHED

SHRUBS / ORNAMENTAL GRASSES / GROUNDCOVERS							
AG	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'/ KALEIDOSCOPE ABELIA	24"	24"	5 GAL.	36" O.C.		
BG	BOUTELOUIA GRACILLIS/ BLONDE AMBITION BLUE GRAMA	18"	12"	1 GAL.	24" O.C.		
BM	BUXUS MICROPHYLLA VAR. JAPONICA 'WINTER GEM'/ WINTER GEM BOXWOOD	24"	24"	7 GAL.	36" O.C.		
DI	DIETES IRIDIODES/ BUTTERFLY IRIS	18"	12"	1 GAL.	24" O.C.		
EF	EUONYMUS FORTUNEI 'COLORATUS'/ PURPLE WINTERCREEPER	6"	12"	4" POTS	12" O.C.		
HP	HESPERALOE PARVIFLORA 'PERPA'/ BRAKELIGHTS RED YUCCA	24"	24"	5 GAL.	36" O.C.		
IC	ILEX CORNUTA 'DWARF BURFORD'/ DWARF BURFORD HOLLY	36"	24"	7 GAL.	36" O.C.		
JT	JUNCUS TENIUS 'BLUE DART'/ BLUE DART RUSH	12"	12"	1 GAL.	18" O.C.		
LA	LANTANA MONTEVIDENSIS/ TRAILING LANTANA	12"	12"	1 GAL.	18" O.C.		
LF	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'/ GREEN CLOUD TEXAS SAGE	24"	24"	5 GAL.	36" O.C.		
LZ	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'/ CIMARRON TEXAS SAGE	24"	24"	5 GAL.	36" O.C.		
LM	LIRIOPE MUSCARI 'BIG BLUE'/ BIG BLUE LIRIOPE	6"	6"	4" POTS	12" O.C.		
LC	LOROPETALUM CHINENSE 'PEACK'/ PURPLE PIXIE LOROPETALUM	24"	24"	5 GAL.	36" O.C.		
LS	LOROPETALUM CHINENSE 'SHANG-HI'/ PURPLE DIAMOND LOROPETALUM	24"	24"	5 GAL.	36" O.C.		
MC	MUHLENBERGIA CAPILLARIS 'REGAL MIST'/ REGAL MIST GULF MUHLY	24"	24"	5 GAL.	36" O.C.		
MP	MYRICA PUSILLA/ DWARF WAX MYRTLE	24"	24"	5 GAL.	36" O.C.		
ND	NANDINA DOMESTICA 'LEMON-LIME'/ LEMON LIME NANDINA	24"	24"	5 GAL.	36" O.C.		
NT	NASELLA TENUISSIMA/ MEXICAN FEATHER GRASS	18"	12"	1 GAL.	24" O.C.		
OE	OPUNTIA ELLISIANA/ SPINELESS PRICKLY PEAR	18"	18"	5 GAL.	24" O.C.		
PT	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'/ WHEELER'S DWARF PITTIOSPORUM	24"	24"	5 GAL.	36" O.C.		
RO	ROSMARINUS OFFICINALIS 'PROSTRATE'/ TRAILING ROSEMARY	12"	12"	5 GAL.	36" O.C.		
SC	SEASONAL COLOR	6"	6"	4" POTS	12" O.C.		SEASONAL, HEAVY W/ BUDS
SG	SALVIA GREGGII/ AUTUMN SAGE	18"	18"	1 GAL.	PER PLAN		

LAWN			
	CYNADON DACTYLON/ COMMON BERMUDAGRASS	SOLID SOD AS DESIGNATED ON PLANS. PROVIDE TEMPORARY COVERAGE OF ANNUAL RYE SHOULD THE TEMPERATURE NOT PERMIT COVERAGE OF BERMUDA.	
	ERAGROSTIS CURVULA WEEPING LOVE GRASS	HYDROMULCH @ MANUFACTURER'S RECOMMENDED APPLICATION RATE. IF COLD TEMPERATURES DO NOT ALLOW FOR GERMINATION OF SEED, INSTALL A TEMPORARY COOL SEASON COVER OF OF ANNUAL RYE ACCORDING TO SUPPLIER'S RECOMMENDED SEED RATE. CONVERT TO PERMANENT SEED TYPE AS SOON AS WARM WEATHER ALLOWS.	

SYMBOL	DESCRIPTION	COLOR	FINISH	REMARKS
	ARTIFICIAL TURF AUSTIN54 - INSTALL W/ 4" COMPACTED BASE & FILTER FABRIC	FIELD GREEN/OLIVE GREEN	N/A	CONTACT: MARCO GORTANA SYNTHETIC GRASS PROS PHONE: 214.577.3080
	316" X 4" STEEL EDGING (PLANTING BEDS) 1/4" X 4" (GRAVEL LOCATIONS)	GRAY/METALLIC	GALVANIZED	COL-MET, 972-494-3900
	STABILIZED DECOMPOSED GRANITE	NATURAL, PINK/BROWN	STANDARD	FULL CONTINUOUS COVERAGE AS DESIGNATED ON PLANS. INSTALL IN 1" COMPACTED LIFTS W/ SOIL STABILIZER CONTACT: STABILIZER SOLUTIONS PHONE: 800.336.2468 www.stabilizersolutions.com
	DECORATIVE GRAVEL COLORADO RIVER ROCK 2" - 4" DIA.	GRAY, SPECKLED	NATURAL, ROUNDED	FULL CONTINUOUS COVERAGE AS DESIGNATED ON PLANS.



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PLANTING
SCHEDULE

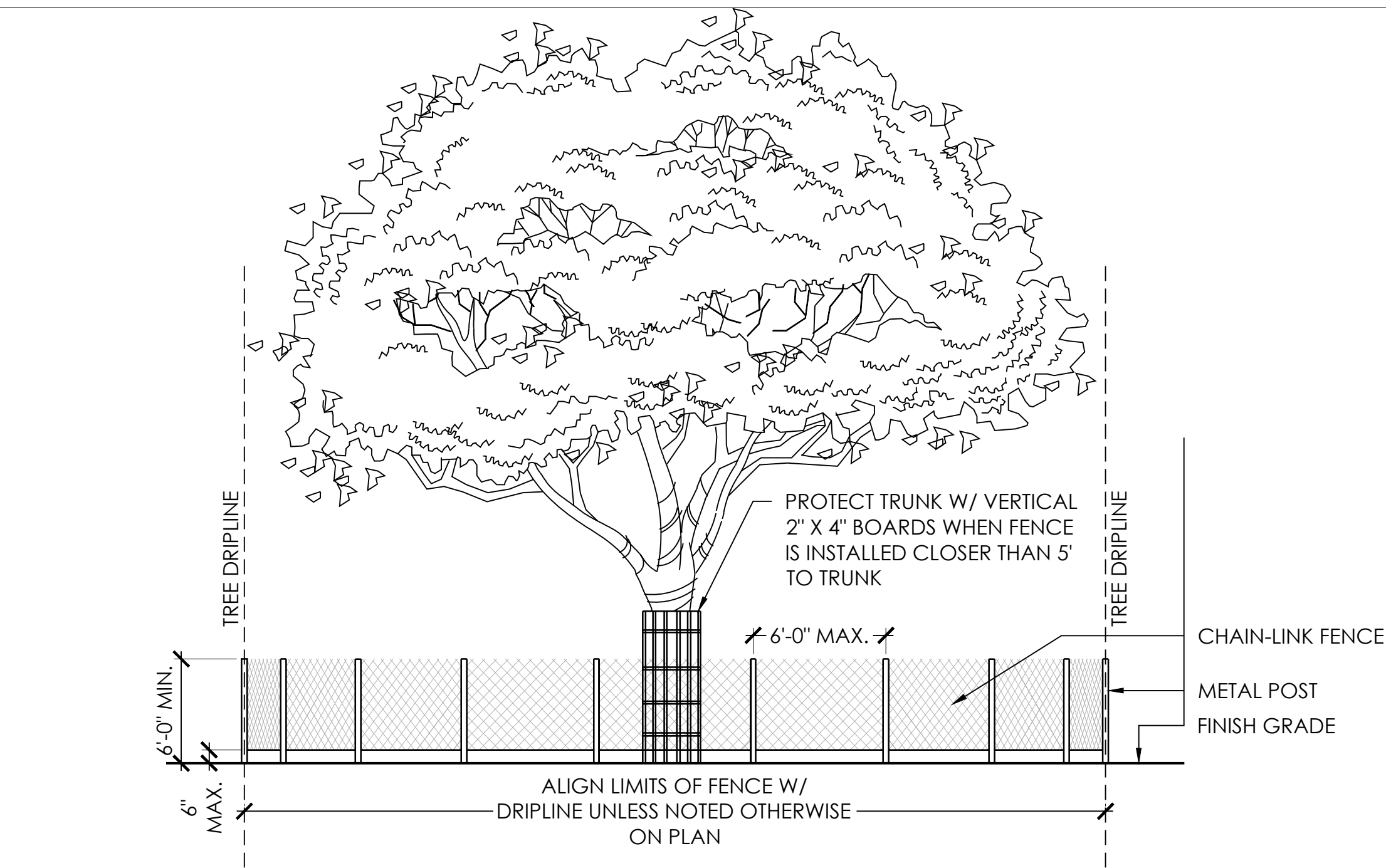
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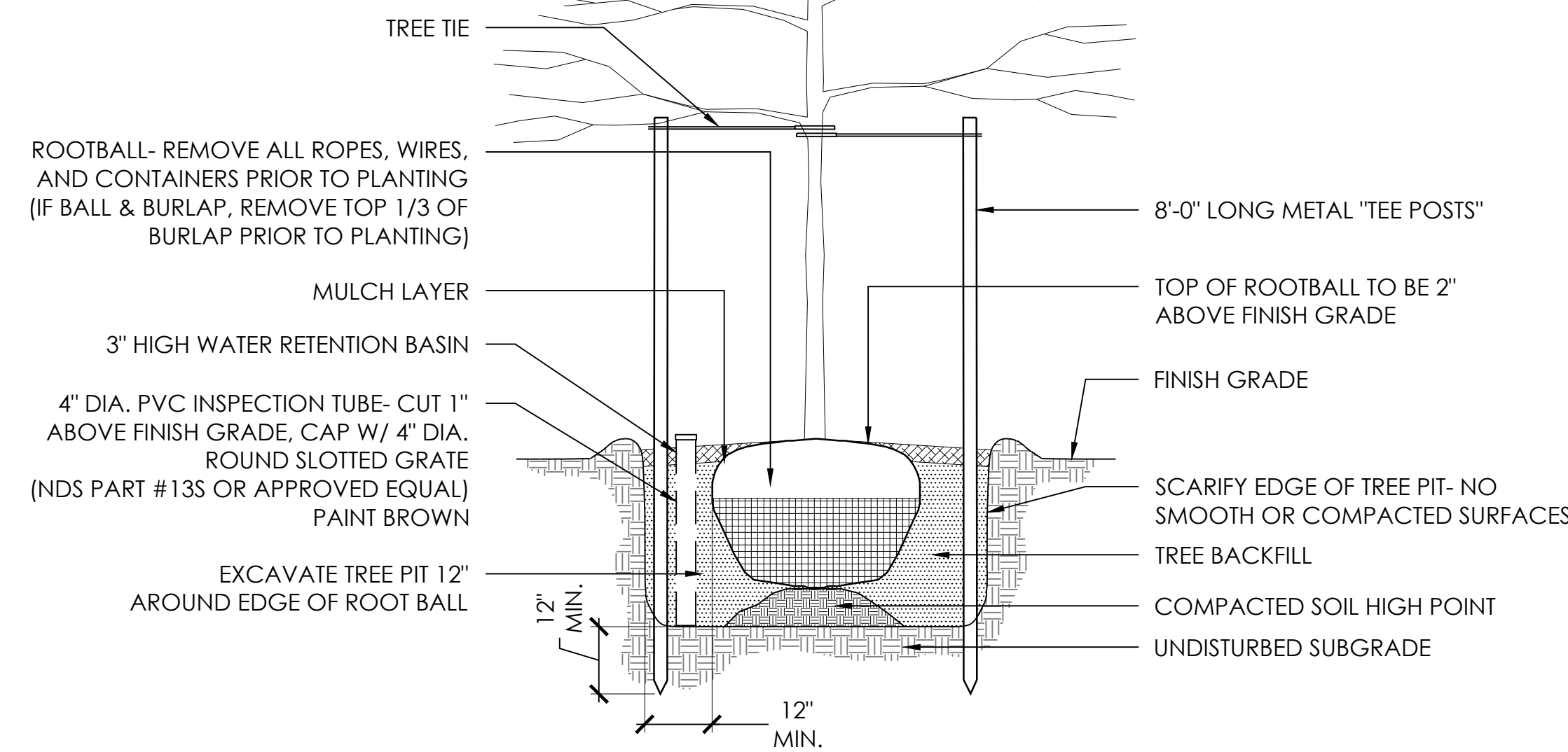
PLANTING
DETAILS

L3.6

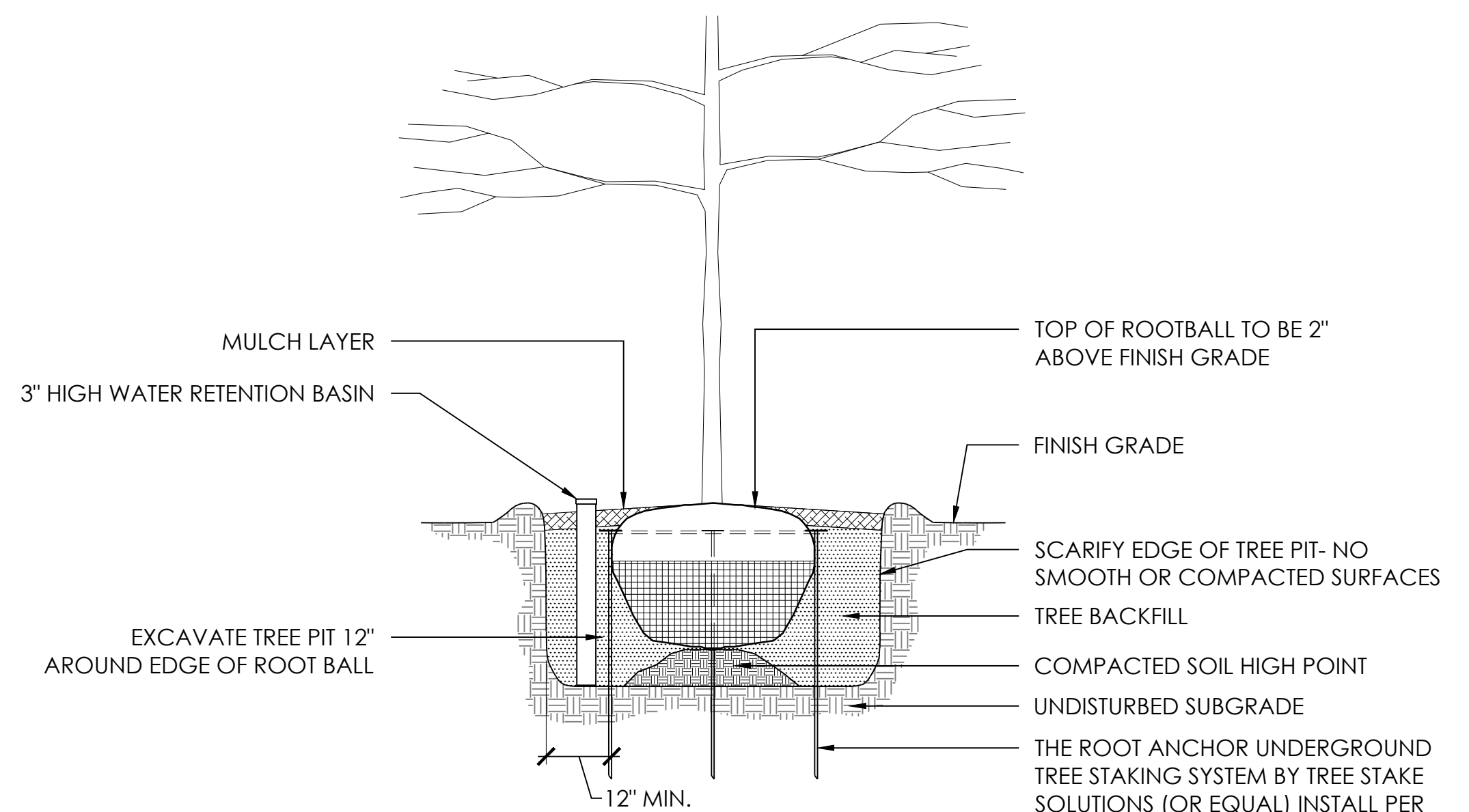


J TREE PROTECTION FENCE
SECTION

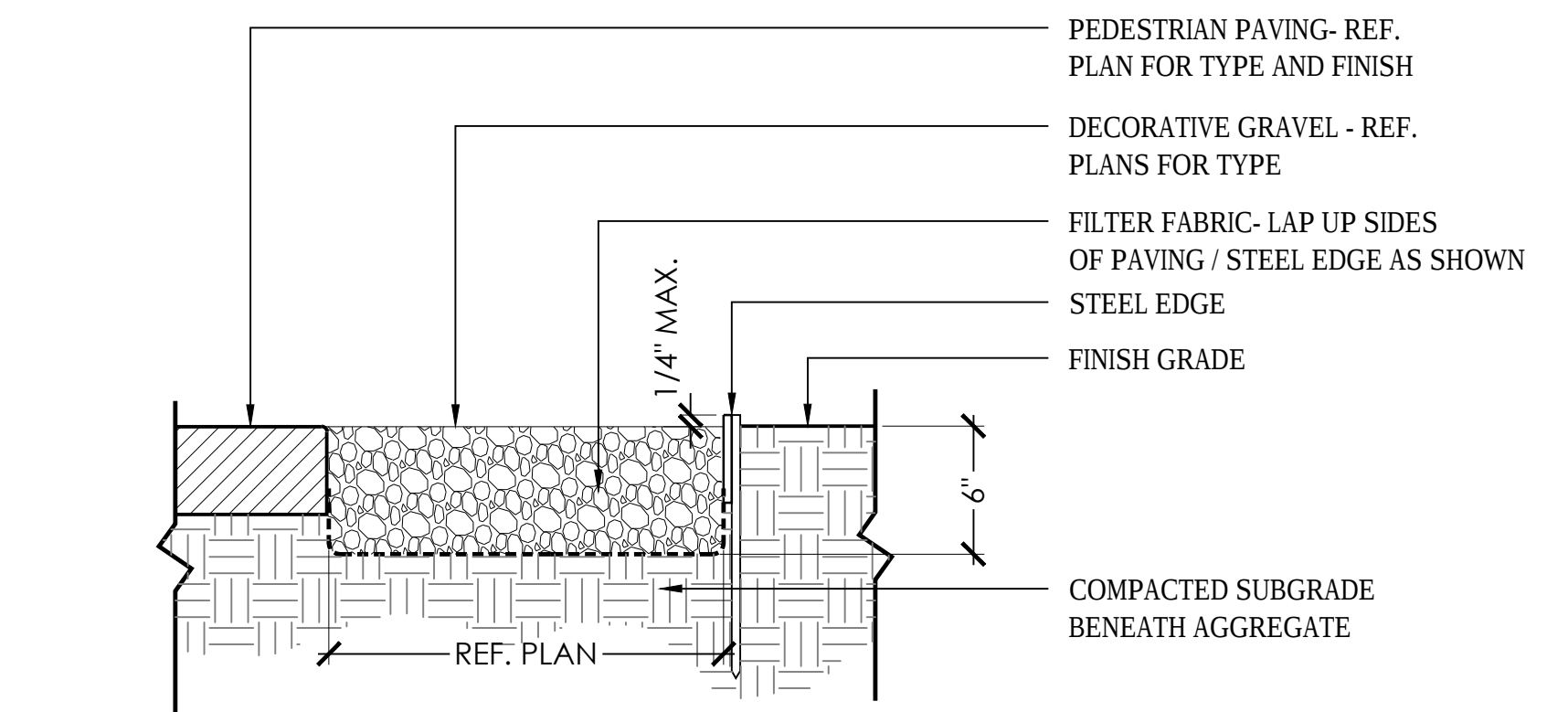
NOTES:
1. TREES LESS THAN 3" CALIPER TO RECEIVE TWO (2) TREE STAKES.
TREES LARGER THAN 3" CALIPER TO RECEIVE THREE (3) TREE STAKES.



I TYPICAL TREE PLANTING W/ ABOVE GRADE STAKING
SECTION

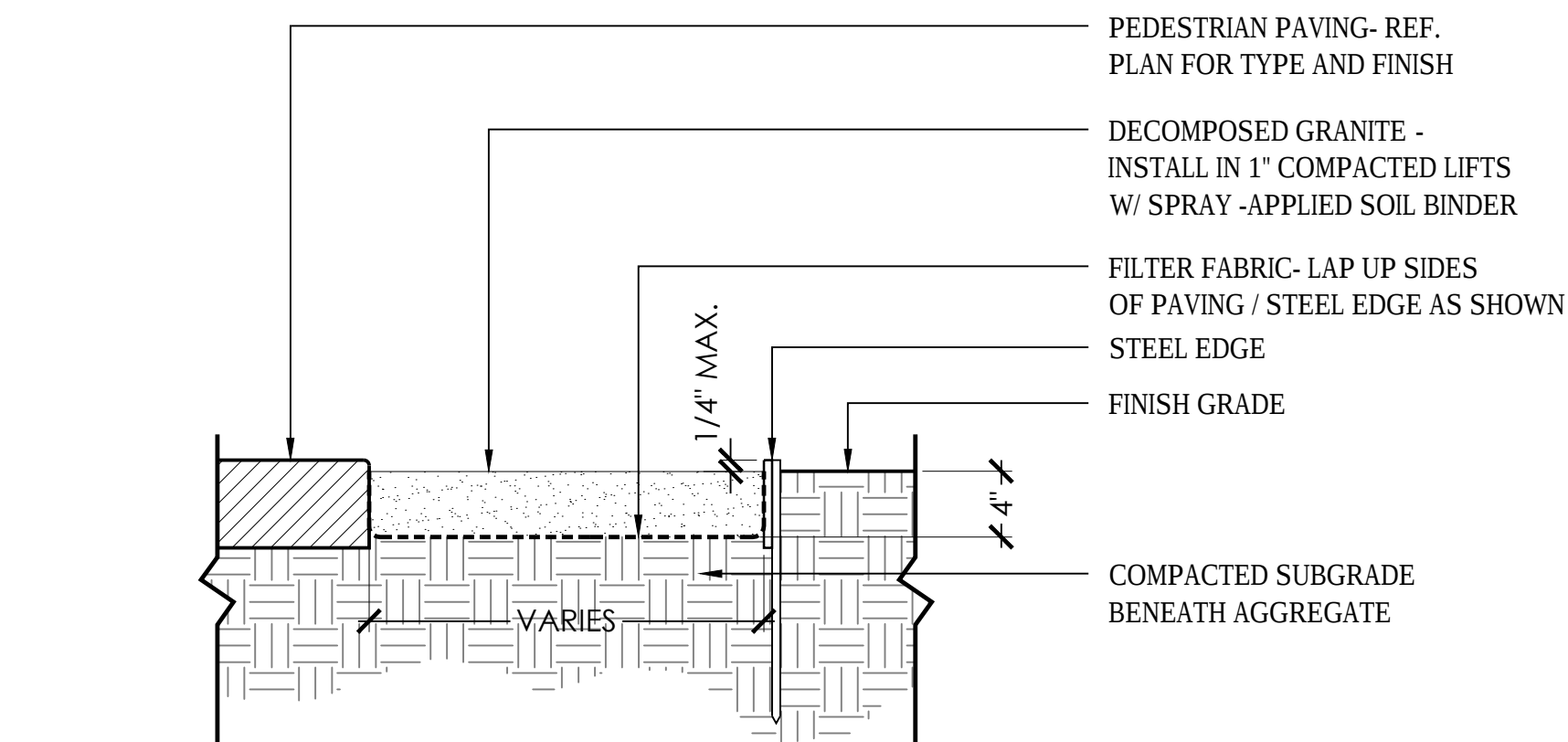


H TYPICAL TREE PLANTING W/ BELOW GRADE STAKING
SECTION



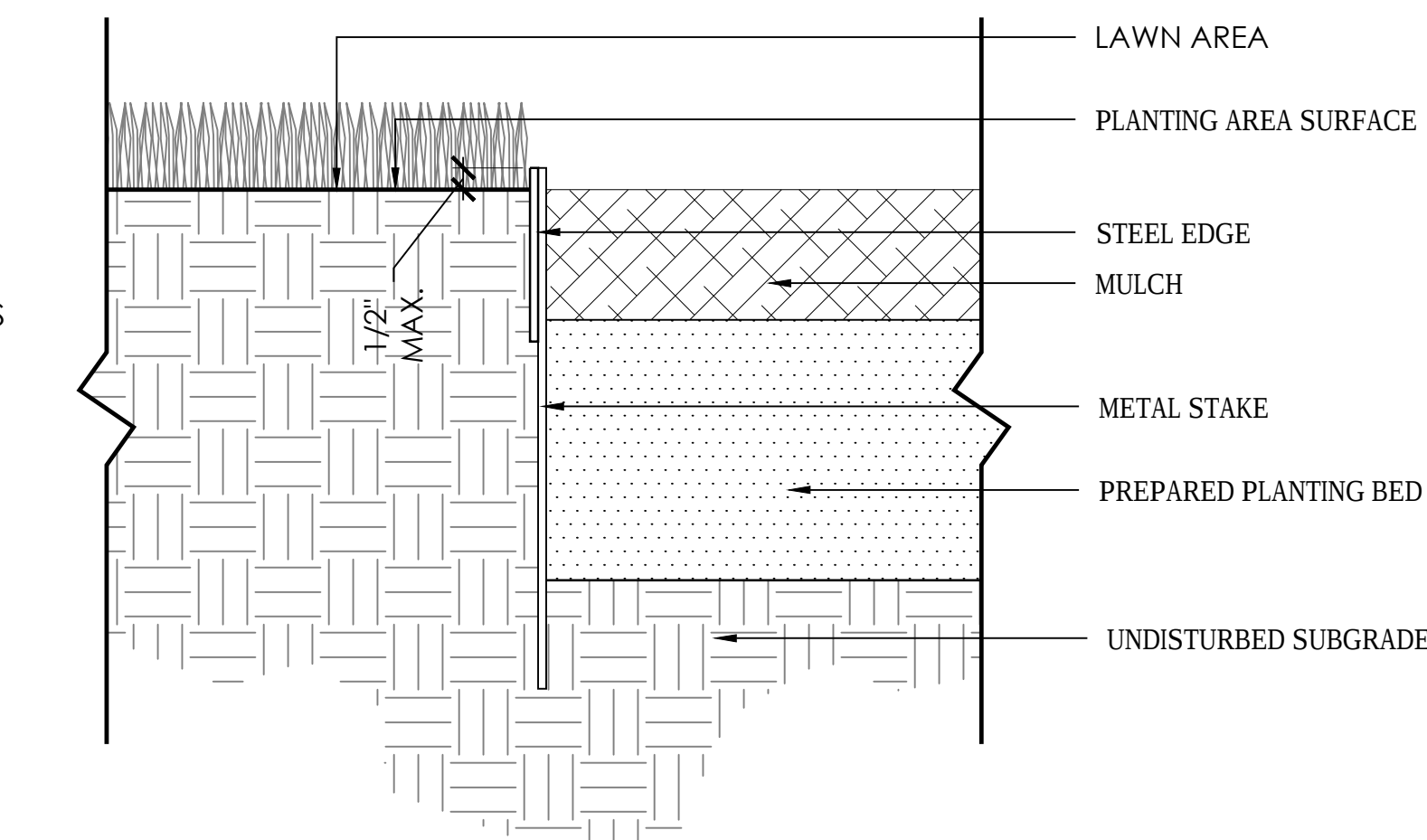
G TYPICAL DECORATIVE GRAVEL
SECTION

NOT TO SCALE



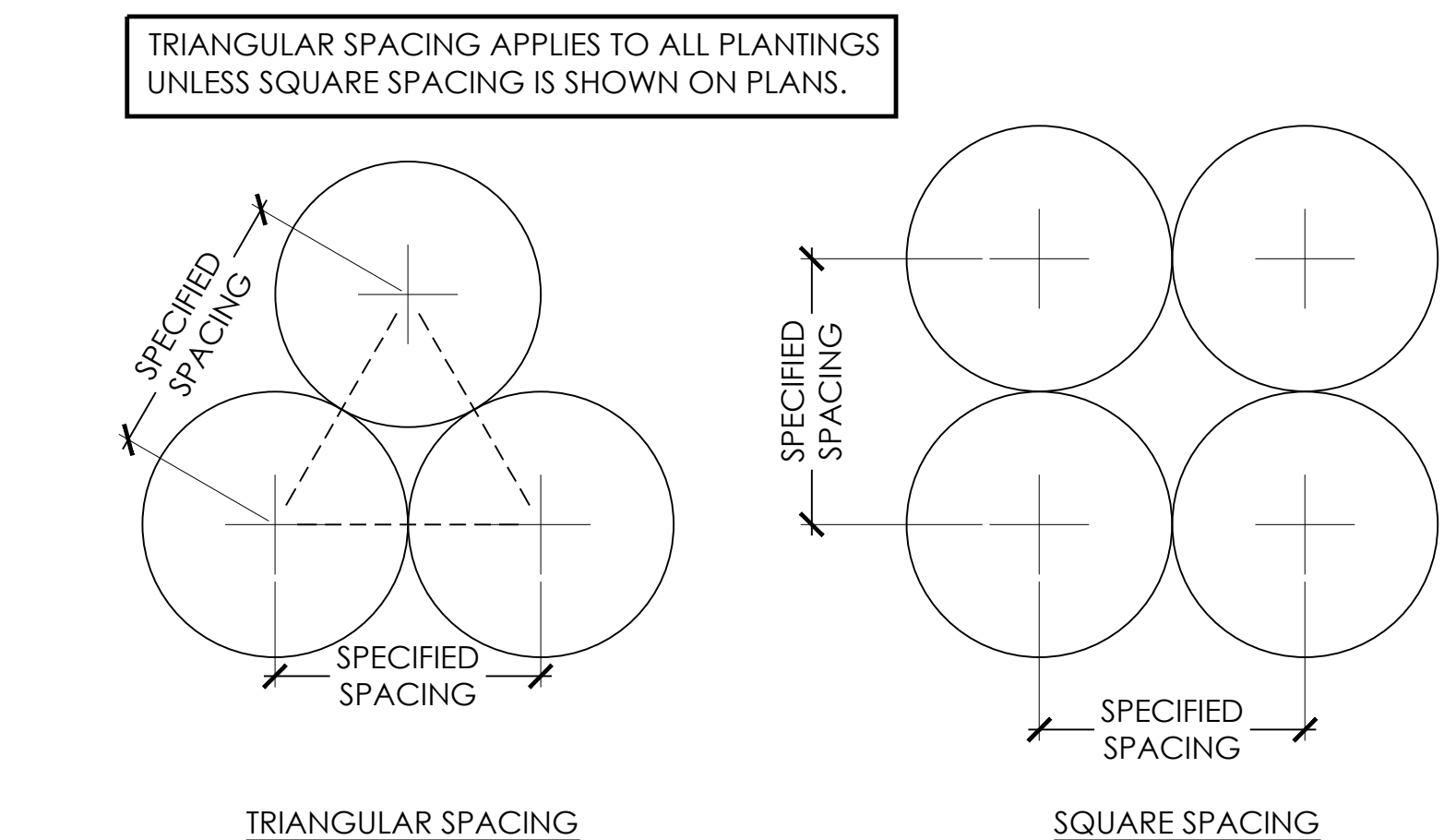
F TYPICAL DECOMPOSED GRANITE
SECTION

NOT TO SCALE



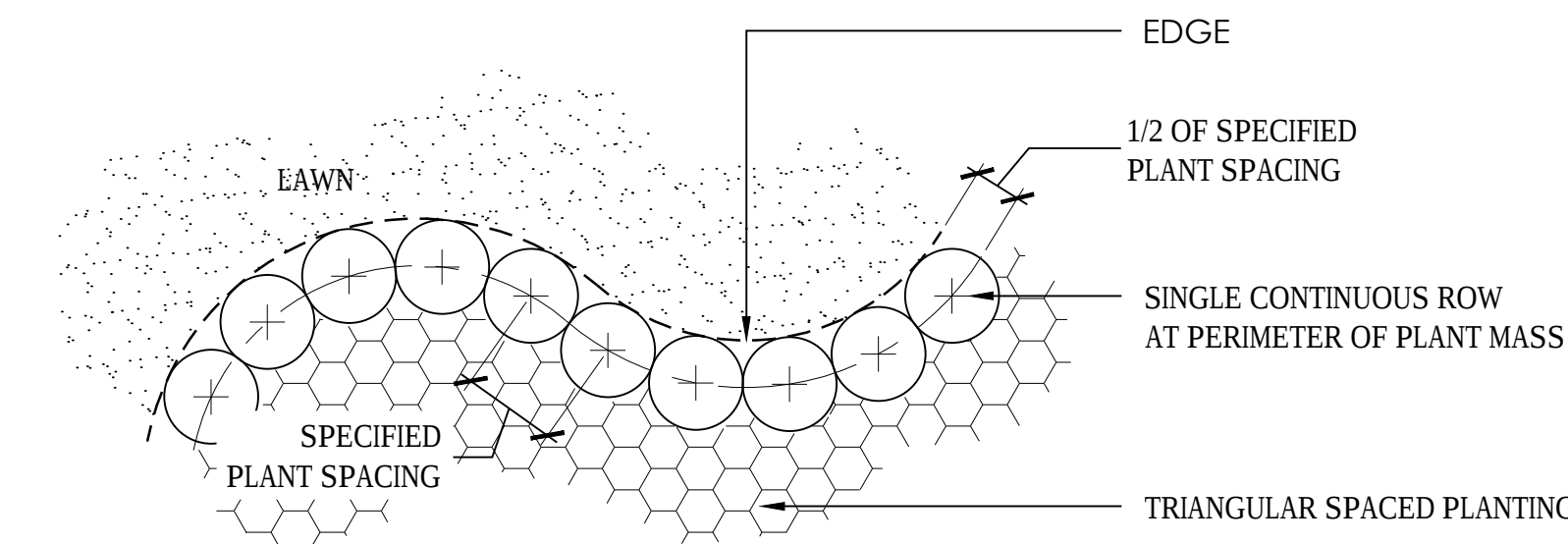
E TYPICAL STEEL EDGE DETAIL
SECTION

NOT TO SCALE



D TYPICAL PLANT SPACING DETAIL
SECTION

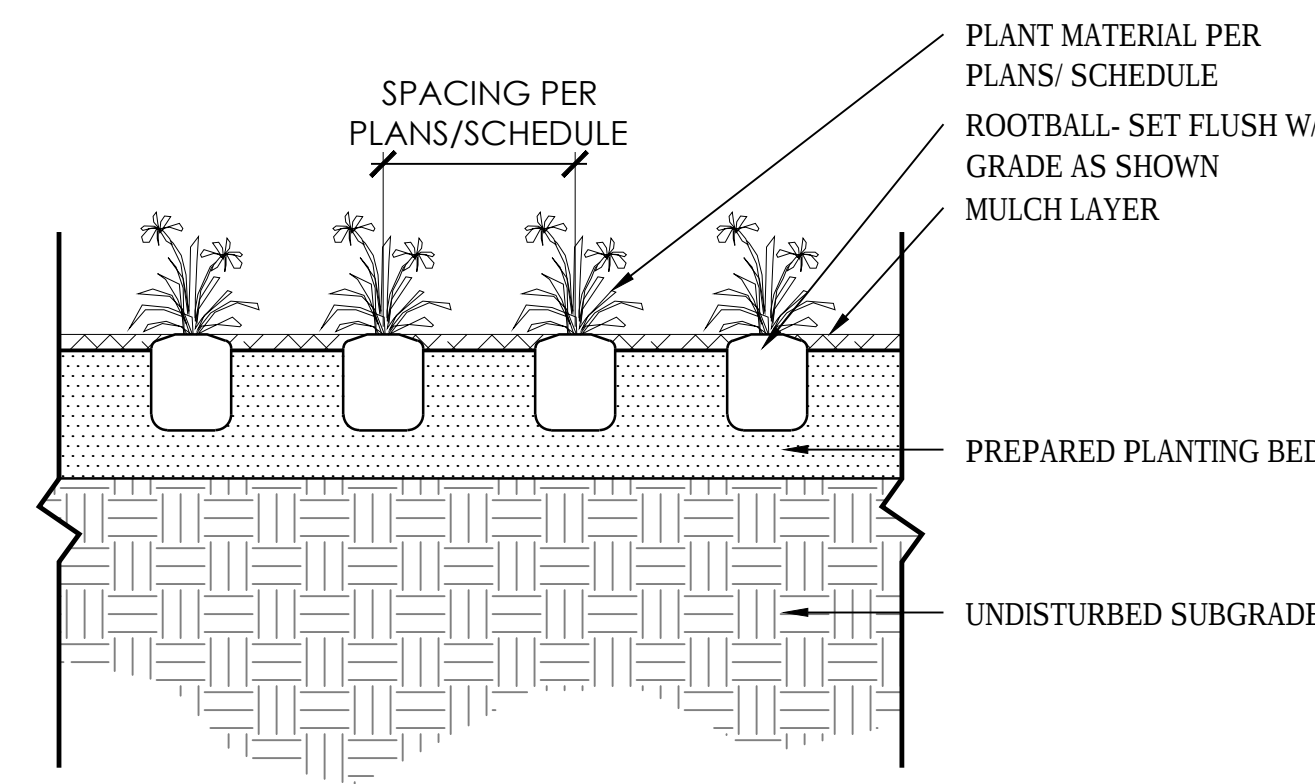
NOT TO SCALE



C TYPICAL PLANTING LAYOUT @ EDGING DETAIL
PLAN

NOT TO SCALE

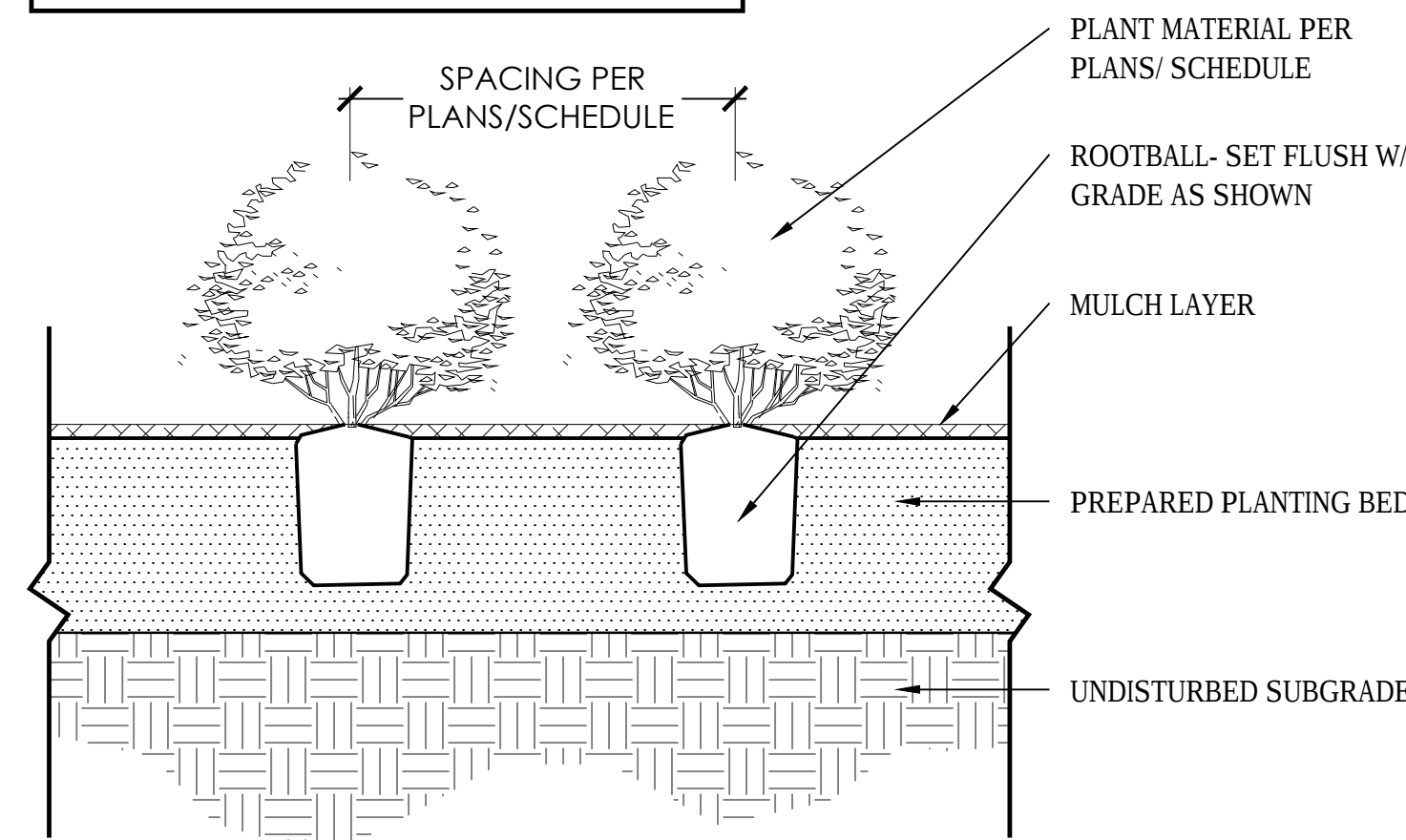
NOTE: THIS DETAIL REFERS TO ALL GROUNDCOVER, PERENNIAL, VINE AND SEASONAL COLOR PLANTINGS UNLESS OTHERWISE NOTED.



B TYPICAL GROUNDCOVER PLANTING DETAIL
SECTION

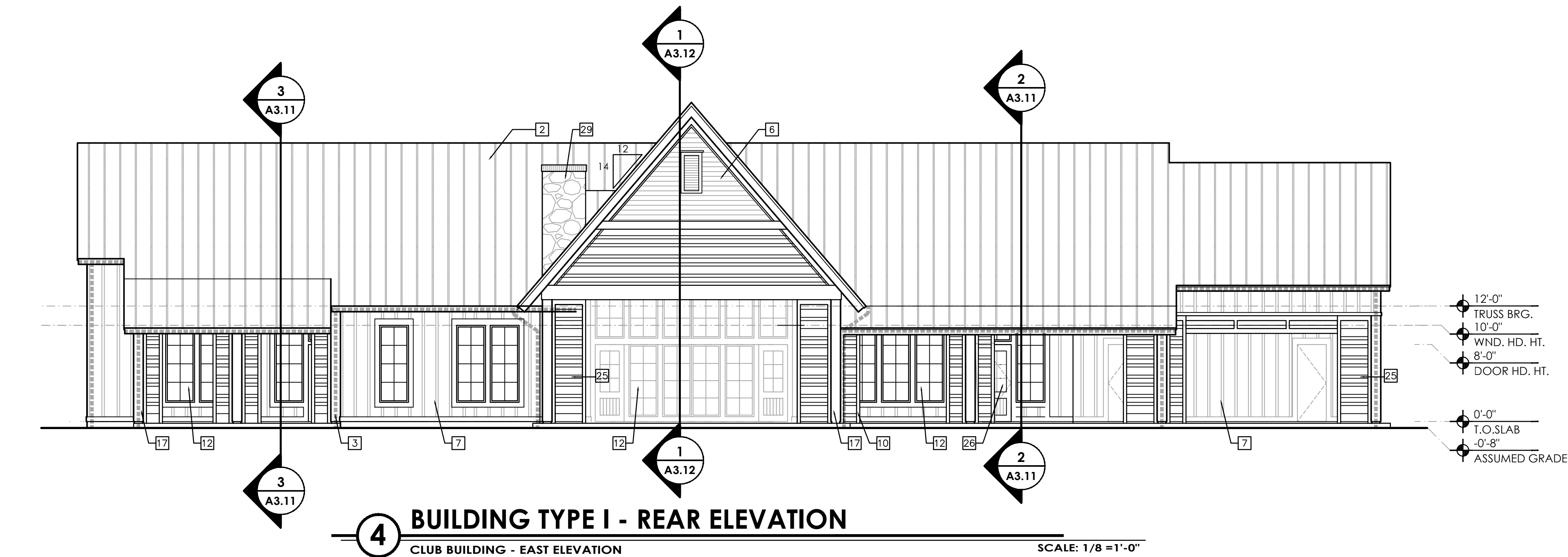
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NOTE: THIS DETAIL REFERS TO ALL SHRUBS AND ORNAMENTAL GRASSES UNLESS OTHERWISE NOTED.



A TYPICAL SHRUB PLANTING DETAIL
SECTION

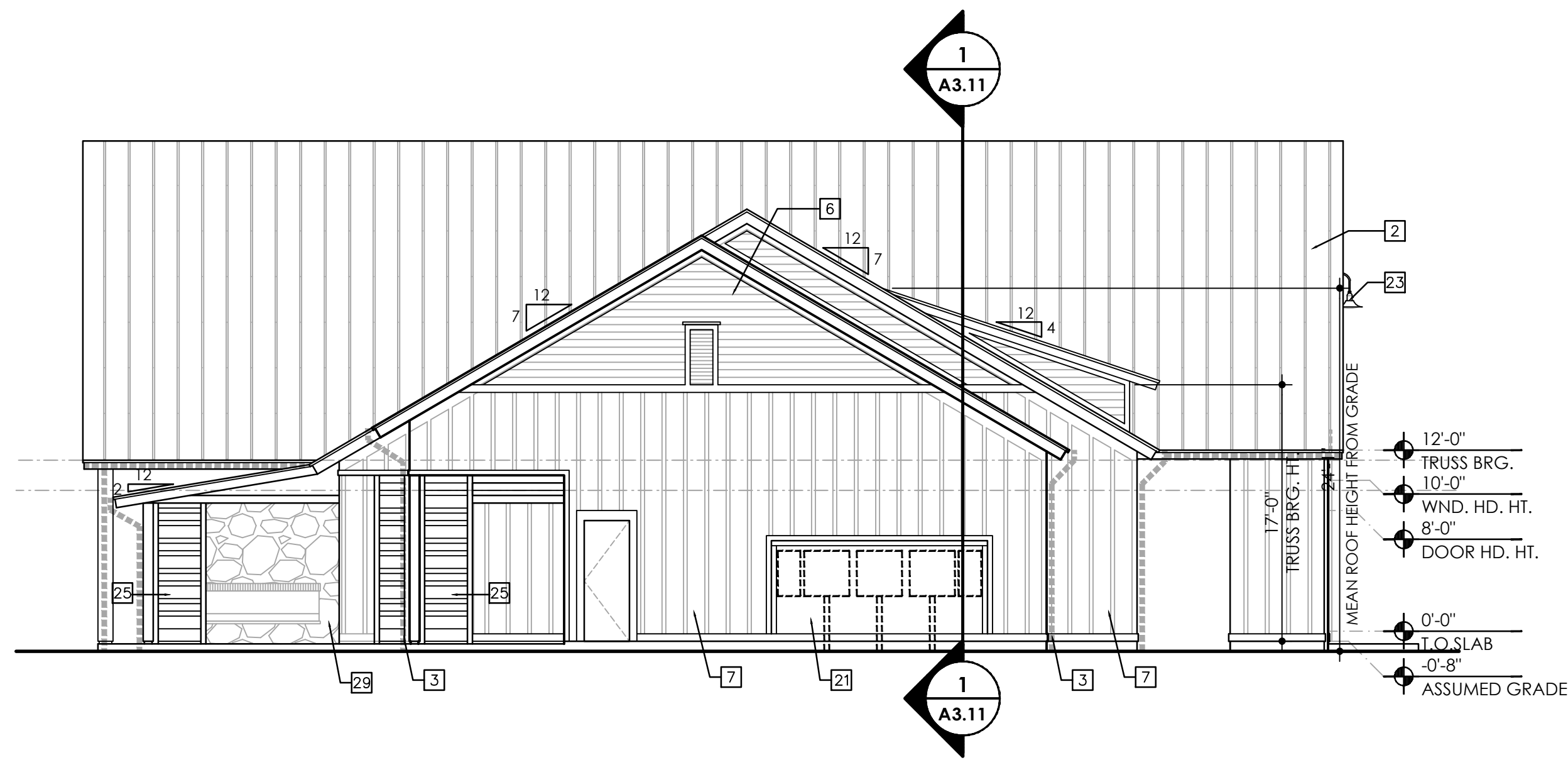
NOT TO SCALE



4 BUILDING TYPE I - REAR ELEVATION

CLUB BUILDING - EAST ELEVATION

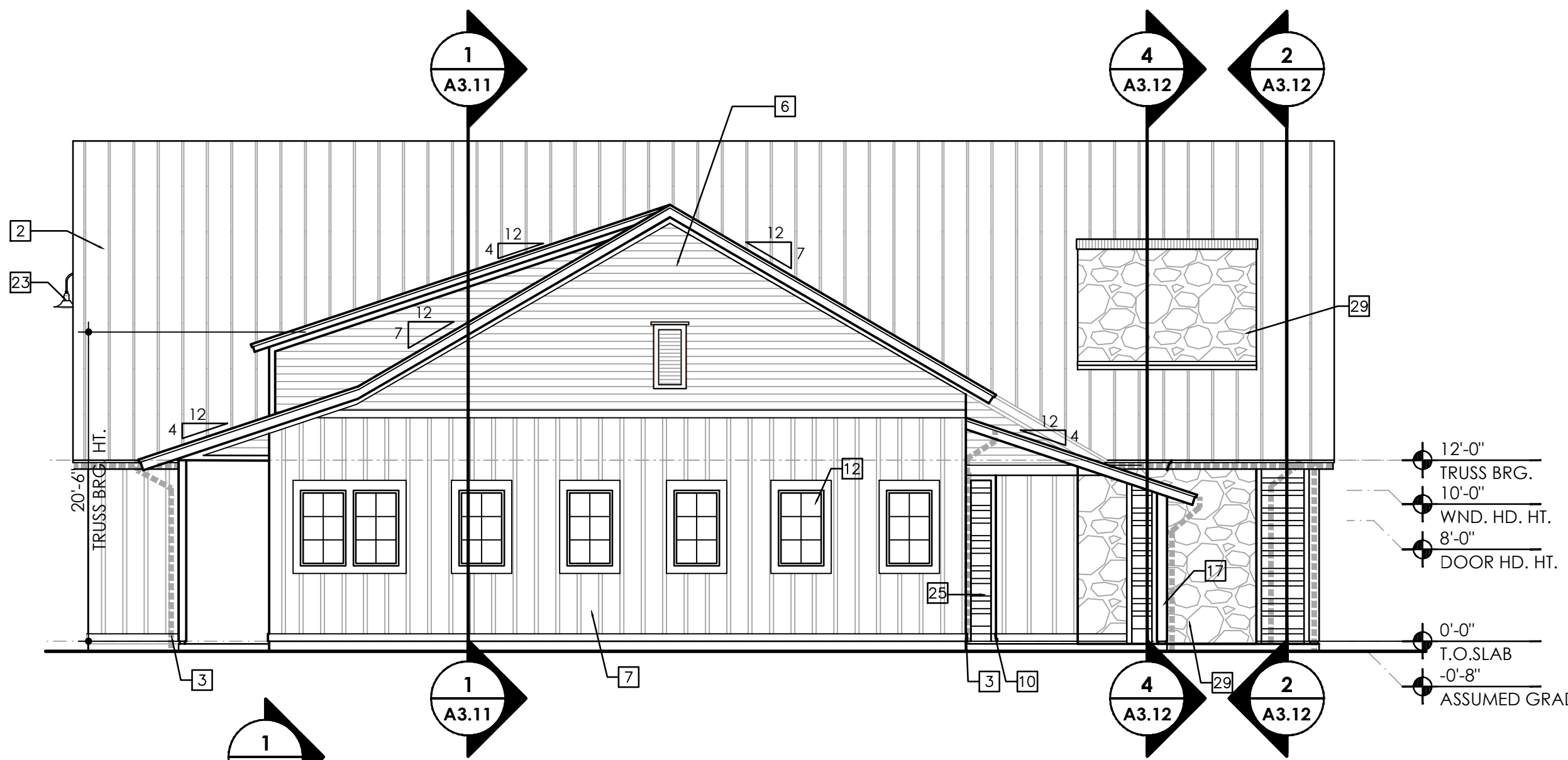
SCALE: 1/8"=1'-0"



3 BUILDING TYPE I - LEFT ELEVATION

CLUB BUILDING - NORTH ELEVATION

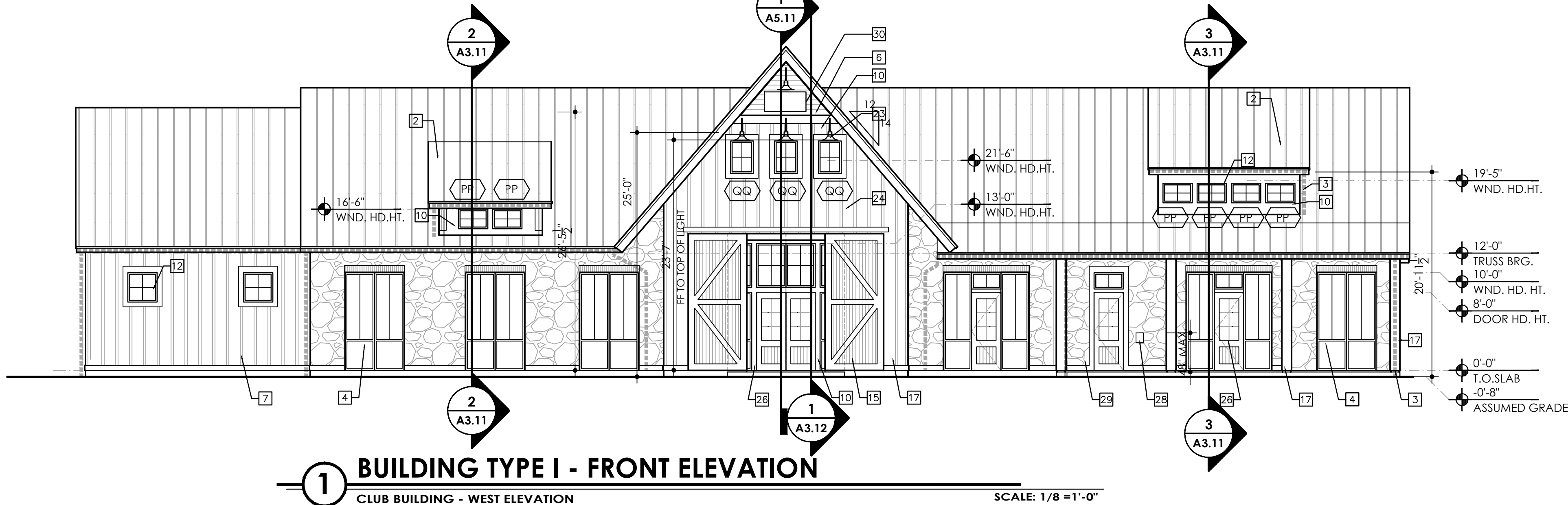
SCALE: 1/8"=1'-0"



2 BUILDING TYPE I - RIGHT ELEVATION

CLUB BUILDING - SOUTH ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE I - FRONT ELEVATION

CLUB BUILDING - WEST ELEVATION

SCALE: 1/8"=1'-0"

GENERAL ELEVATION NOTES

- REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
- ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC., SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL
- STAIR RAILS AND GUARDS TO BE STEEL
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.
- PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
- PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL
- ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
- EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.
- LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.
- ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
- CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.

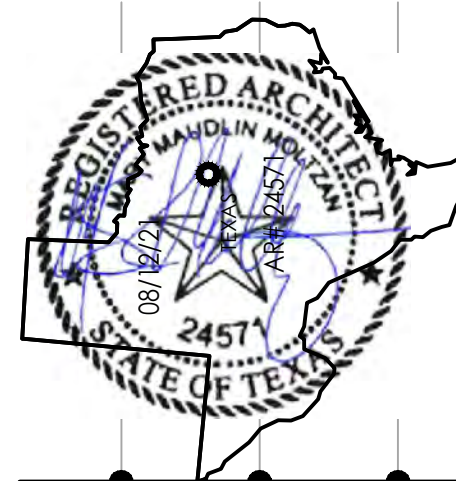
ELEVATION KEYNOTES

- ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.
- METAL ROOFING.
- ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.
- TYPICAL STORE FRONT SYSTEM.
- FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
- WIRE MESH FENCE.
- NOT USED
- FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
- COLUMN WRAPPED IN FIBER CEMENT PANEL.
- VINYL WINDOW.
- METAL GARAGE DOOR.
- ALUMINUM AND GLASS GARAGE DOOR.
- CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.
- 42" STEEL GUARDRAIL SYSTEM, COLOR:BLACK OPAQUE.
- 12X8 P.T. WOOD COLUMN, STAINED
- WOOD BEAM, STAINED.
- 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1X WOOD FLITCH PLATE.
- DECORATIVE, PRE-MANUFACTURED LOUVER.
- METER BANK PER ELECTRICAL DRAWINGS.
- DECORATIVE BRACKET.
- LIGHTING PER ELECTRICAL DRAWINGS.
- SIGNAGE PER OWNER.
- CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.
- ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.
- SLIDING DOOR SYSTEM PER DOOR SCHEDULE.
- DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.
- CULTURED STONE BASIS OF DESIGN; CANYON MOSS STONE, STYLE: ROUGH CUT.
- BUILDING NUMBER.
- ARCHITECTURAL TOWERS.
- DORMER WINDOW.
- STONE HEADER.

SIGNAGE

ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES.

ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.



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maitland florida 32751-7208
407 660 8900 f; 407 875 9948
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BUILDING
TYPE I - CLUB
ELEVATION

date **08-12-21**
job no **4399.21**
drawn by: **TYA, MEQ**
reviewed by: **TRW**
file: **4399A211**
issue history:

A2.11

PERMIT SET 08-12-21



2 FRONT ELEVATION
BUILDING TYPE II

SCALE: 1/8"=1'-0"



1 RIGHT ELEVATION
BUILDING TYPE II

SCALE: 1/8"=1'-0"

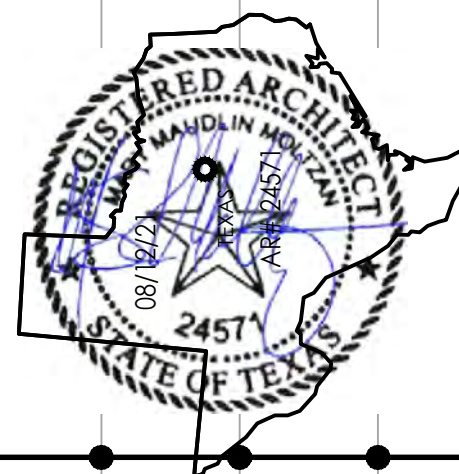
SIGNAGE

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ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.

ELEVATION KEYNOTES

1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.
 2. METAL ROOFING.
 3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.
 4. TYPICAL STORE FRONT SYSTEM.
 5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL. 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
 6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL. 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
 7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
 8. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 11" O.C., TYPICAL.
 9. FIBER CEMENT PANEL SIDING, TYPICAL.
 10. FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
 11. COLUMN WRAPPED IN FIBER CEMENT PANEL.
 12. VINYL GARAGE DOOR.
 13. METAL GARAGE DOOR.
 14. ALUMINUM AND GLASS GARAGE DOOR.
 15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.
 16. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE.
 17. 12X8 P.T. WOOD COLUMN, STAINED
 18. WOOD BEAM, STAINED.
 19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE.
 20. DECORATIVE, PRE-MANUFACTURED LOUVER.
 21. METER BANK PER ELECTRICAL DRAWINGS.
 22. DECORATIVE BRACKET.
 23. LIGHTING PER ELECTRICAL DRAWINGS.
 24. SIGNAGE PER OWNER.
 25. CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.
 26. ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.
 27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE.
 28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE. PER CODE, SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.
 29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE. STYLE: ROUGH CUT.
 30. BUILDING NUMBER.
 31. ARCHITECTURAL TOWERS.
 32. DORMER WINDOW.
 33. STONE HEADER.
- A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
- B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. STAIR RAILS AND GUARDS TO BE STEEL.
- E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.
- G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
- H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.
- J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
- K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.
- L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.
- O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.: COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- P. ■■■■■■■■■■ INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
- Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



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BUILDING TYPE II

EXTERIOR

ELEVATIONS

date: **08-12-21**
job no: **4399.21**
drawn by: **TYA**
reviewed by: **MMM**
file: **4399A221**
issue history:

PERMIT SET -08-12-21

A2.21

Tania Addorich Monday, August 09, 2021 P:\4399 - LIV CANYON FALLS\DRAWINGS\1_APARTMENT\00_CURRENT\4399A222

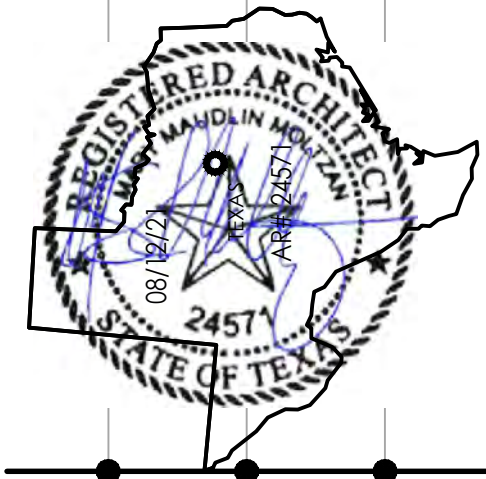


2 REAR ELEVATION
BUILDING TYPE II
SCALE: 1/8"=1'-0"



1 RIGHT ELEVATION
BUILDING TYPE II
SCALE: 1/8"=1'-0"

SIGNAGE	ELEVATION KEYNOTES	GENERAL ELEVATION NOTES
ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES. ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.	1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP. 2. METAL ROOFING. 3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN. 4. TYPICAL STORE FRONT SYSTEM. 5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. 6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. 7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL. 8. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 11" O.C., TYPICAL. 9. FIBER CEMENT PANEL SIDING, TYPICAL. 10. FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS. 11. COLUMN WRAPPED IN FIBER CEMENT PANEL. 12. VINYL WINDOW. 13. METAL GARAGE DOOR. 14. ALUMINUM AND GLASS GARAGE DOOR. 15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE. 16. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE. 17. 12X8 P.T. WOOD COLUMN, STAINED 18. WOOD BEAM, STAINED. 19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE. 20. DECORATIVE, PRE-MANUFACTURED LOUVER. 21. METER BANK PER ELECTRICAL DRAWINGS. 22. DECORATIVE BRACKET. 23. LIGHTING PER ELECTRICAL DRAWINGS. 24. SIGNAGE PER OWNER. 25. CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS. 26. ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE. 27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE. 28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F. 29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT. 30. BUILDING NUMBER. 31. ARCHITECTURAL TOWERS. 32. DORMER WINDOW. 33. STONE HEADER.	A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. D. STAIR RAILS AND GUARDS TO BE STEEL. E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS. G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS. H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC. I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL. J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP. L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING. M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS. N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS. O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR. P. ■■■■■■■■ INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT. Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



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BUILDING TYPE II
EXTERIOR
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A222
issue history:

PERMIT SET -08-12-21
A2.22

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2 FRONT ELEVATION

BUILDING TYPE III

SCALE: 1/8"=1'-0"



1 RIGHT ELEVATION

BUILDING TYPE III

SCALE: 1/8"=1'-0"

SIGNAGE

ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES.

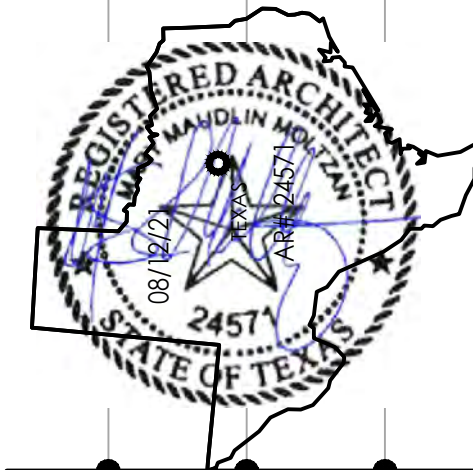
ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.

ELEVATION KEYNOTES

1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.
2. METAL ROOFING.
3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.
4. TYPICAL STORE FRONT SYSTEM.
5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
8. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 11" O.C., TYPICAL.
9. FIBER CEMENT PANEL SIDING, TYPICAL.
10. FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
11. COLUMN WRAPPED IN FIBER CEMENT PANEL.
12. VINYL WINDOW.
13. METAL GARAGE DOOR.
14. ALUMINUM AND GLASS GARAGE DOOR.
15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.
16. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE.
17. 12X8 P.T. WOOD COLUMN, STAINED WOOD BEAM, STAINED.
18. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE.
20. DECORATIVE, PRE-MANUFACTURED LOUVER.
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27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE.
28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.
29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT.
30. BUILDING NUMBER.
31. ARCHITECTURAL TOWERS.
32. DORMER WINDOW.
33. STONE HEADER.

GENERAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
- B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. STAIR RAILS AND GUARDS TO BE STEEL.
- E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.
- G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
- H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.
- J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
- K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.
- L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.
- O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- P. INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
- Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



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BUILDING TYPE III

EXTERIOR

ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A231
issue history:

PERMIT SET -08-12-21

A2.31

Tania Addorich Monday, August 09, 2021 P:\4399 - LIV CANYON FALLS\DRAWINGS\1_APARTMENT\00_CURRENT\4399A232



2 REAR ELEVATION
BUILDING TYPE III

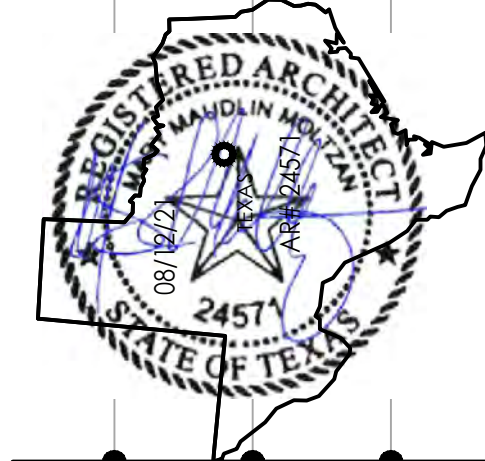
SCALE: 1/8"=1'-0"



1 LEFT ELEVATION
BUILDING TYPE III

SCALE: 1/8"=1'-0"

SIGNAGE		ELEVATION KEYNOTES		GENERAL ELEVATION NOTES	
ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISIBLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES.		#			
ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.		1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.		A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS	
		2. METAL ROOFING.		B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.	
		3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.		C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.	
		4. TYPICAL STORE FRONT SYSTEM.		D. STAIR RAILS AND GUARDS TO BE STEEL.	
		5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.		E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.	
		6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.		F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.	
		7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.		G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.	
		8. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 11" O.C., TYPICAL.		H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.	
		9. FIBER CEMENT PANEL SIDING, TYPICAL.		I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.	
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		11. COLUMN WRAPPED IN FIBER CEMENT PANEL.		K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.	
		12. VINYL WINDOW.		L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.	
		13. METAL GARAGE DOOR.		M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.	
		14. ALUMINUM AND GLASS GARAGE DOOR.		N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.	
		15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.		O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.	
		16. 42" STEEL GUARDRAIL SYSTEM, COLOR:BLACK OPAQUE.		P. INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.	
		17. 12X8 P.T. WOOD COLUMN, STAINED WOOD BEAM, STAINED.		Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.	
		18. WOOD BEAM, STAINED.			
		19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE.			
		20. DECORATIVE, PRE-MANUFACTURED LOUVER.			
		21. METER BANK PER ELECTRICAL DRAWINGS.			
		22. DECORATIVE BRACKET.			
		23. LIGHTING PER ELECTRICAL DRAWINGS.			
		24. SIGNAGE PER OWNER.			
		25. CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.			
		26. ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.			
		27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE.			
		28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE, SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.			
		29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT.			
		30. BUILDING NUMBER.			
		31. ARCHITECTURAL TOWERS.			
		32. DORMER WINDOW.			
		33. STONE HEADER.			



LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS

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BUILDING TYPE III
EXTERIOR
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A232
issue history:

PERMIT SET -08-12-21
A2.32

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Tania Addorich Tuesday, August 10, 2021 P:\4399 - LIV CANYON FALLS\DRAWINGS\1_APARTMENT\00_CURRENT\4399A241



2 REAR ELEVATION
BUILDING TYPE IV

SCALE: 1/8"=1'-0"



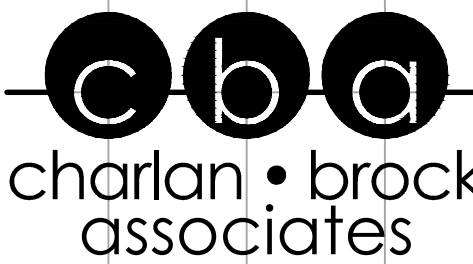
1 LEFT ELEVATION
BUILDING TYPE IV

SCALE: 1/8"=1'-0"

SIGNAGE		ELEVATION KEYNOTES		GENERAL ELEVATION NOTES	
ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISIBLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES.		#		A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS	
ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.		1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.		B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.	
		2. METAL ROOFING.		C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC., SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.	
		3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.		D. STAIR RAILS AND GUARDS TO BE STEEL.	
		4. TYPICAL STORE FRONT SYSTEM.		E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.	
		5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.		F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.	
		6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.		G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.	
		7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.		H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.	
		8. WIRE MESH FENCE.		I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.	
		9. NOT USED		J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.	
		10. FIBER CEMENT BOARD TRIM. TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.		K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.	
		11. COLUMN WRAPPED IN FIBER CEMENT PANEL.		L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.	
		12. VINYL WINDOW.		M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.	
		13. METAL GARAGE DOOR.		N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.	
		14. ALUMINUM AND GLASS GARAGE DOOR.		O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC., COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.	
		15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.		P. INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.	
		16. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE.		Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.	
		17. 12X8 P.T. WOOD COLUMN, STAINED			
		18. WOOD BEAM, STAINED.			
		19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1X WOOD FLITCH PLATE.			
		20. DECORATIVE, PRE-MANUFACTURED LOUVER.			
		21. METER BANK PER ELECTRICAL DRAWINGS.			
		22. DECORATIVE BRACKET.			
		23. LIGHTING PER ELECTRICAL DRAWINGS.			
		24. SIGNAGE PER OWNER.			
		25. CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.			
		26. ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.			
		27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE.			
		28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE, SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.			
		29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT.			
		30. BUILDING NUMBER.			
		31. ARCHITECTURAL TOWERS.			
		32. DORMER WINDOW.			
		33. STONE HEADER.			



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BUILDING TYPE IV
EXTERIOR
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A241
issue history:

PERMIT SET -08-12-21

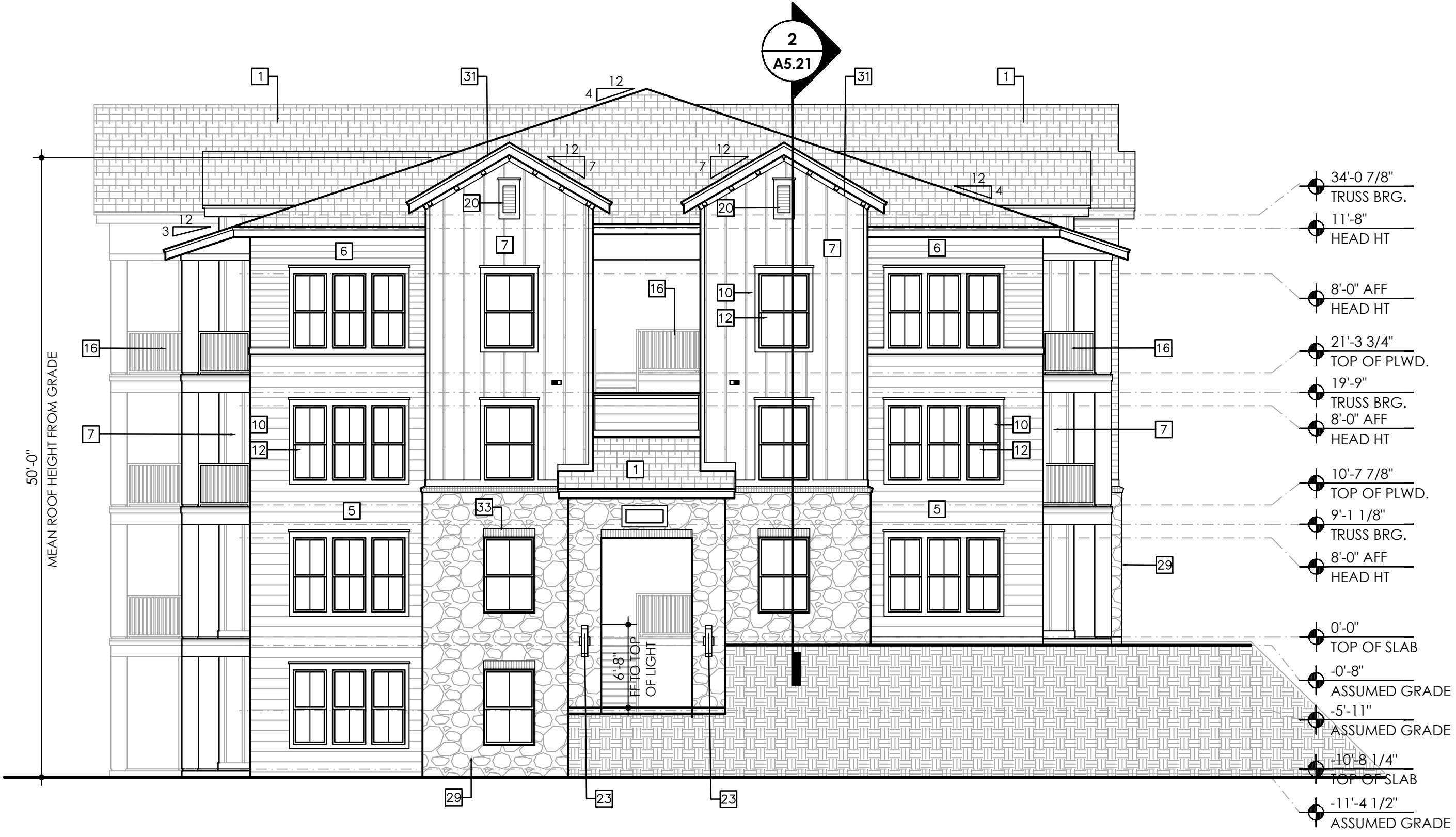
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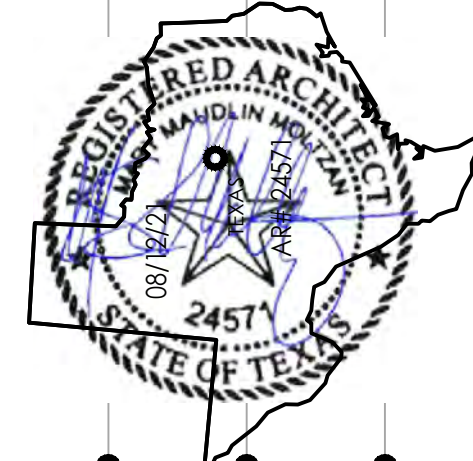


2 FRONT ELEVATION
BUILDING TYPE IV
SCALE: 1/8"=1'-0"

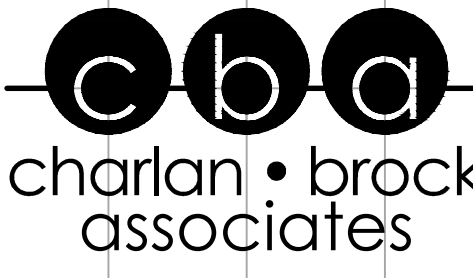
SIGNAGE	ELEVATION KEYNOTES	GENERAL ELEVATION NOTES
ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES. ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.	# - ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP. - METAL ROOFING. - ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN. - TYPICAL STORE FRONT SYSTEM. - FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. - FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. - FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL. - WIRE MESH FENCE. - NOT USED - FIBER CEMENT BOARD TRIM. TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS. - COLUMN WRAPPED IN FIBER CEMENT PANEL. - VINYL WINDOW. - METAL GARAGE DOOR. - ALUMINUM AND GLASS GARAGE DOOR. - CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE. 12X8 P.T. WOOD COLUMN, STAINED - WOOD BEAM, STAINED. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE. - DECORATIVE, PRE-MANUFACTURED LOUVER. - METER BANK PER ELECTRICAL DRAWINGS. - DECORATIVE BRACKET. - LIGHTING PER ELECTRICAL DRAWINGS. - SIGNAGE PER OWNER. - CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS. - ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE. - SLIDING DOOR SYSTEM PER DOOR SCHEDULE. - DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F. - CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE. STYLE: ROUGH CUT. - BUILDING NUMBER. - ARCHITECTURAL TOWERS. - DORMER WINDOW. - STONE HEADER.	A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. D. STAIR RAILS AND GUARDS TO BE STEEL. E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS. G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS. H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC. I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL. J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP. L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING. M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS. N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS. O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR. P. ■■■■■■■■ INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT. Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



1 RIGHT ELEVATION
BUILDING TYPE IV
SCALE: 1/8"=1'-0"



LIV CANYON FALLS APARTMENTS
NORTHLAKE, TEXAS



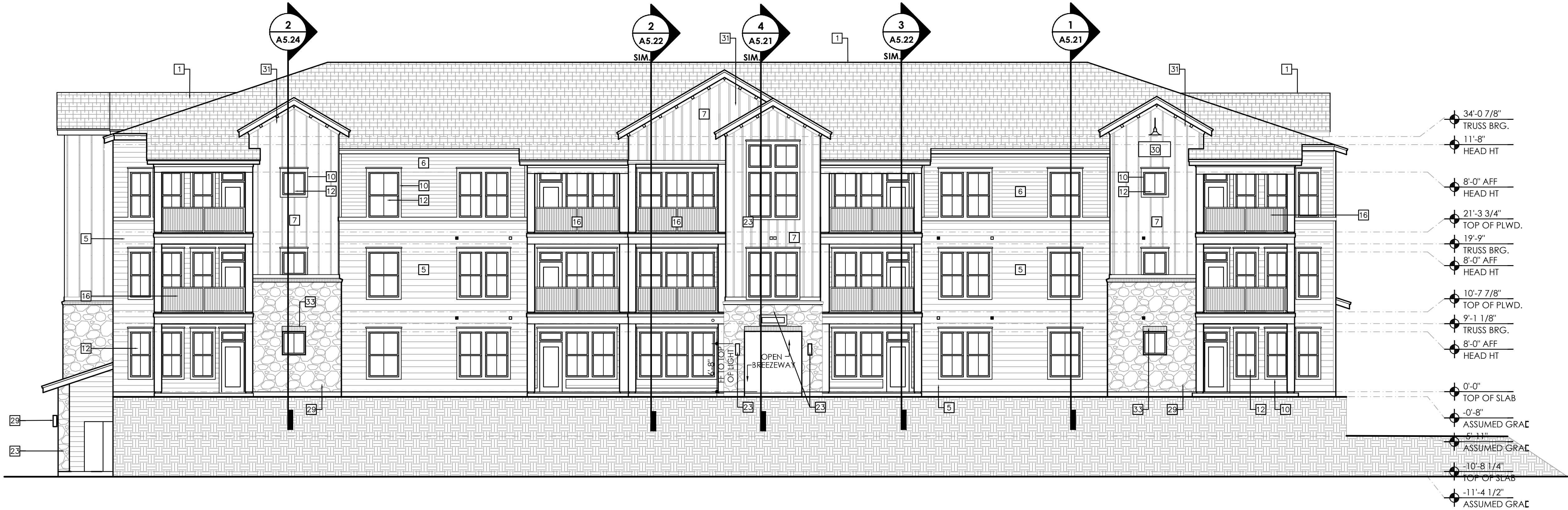
1770 fennell street
maitland florida 32751-7208
407 660 8900 f; 407 875 9948
www.cbaarchitects.com

BUILDING TYPE IV
EXTERIOR
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A242
issue history:

PERMIT SET -08-12-21

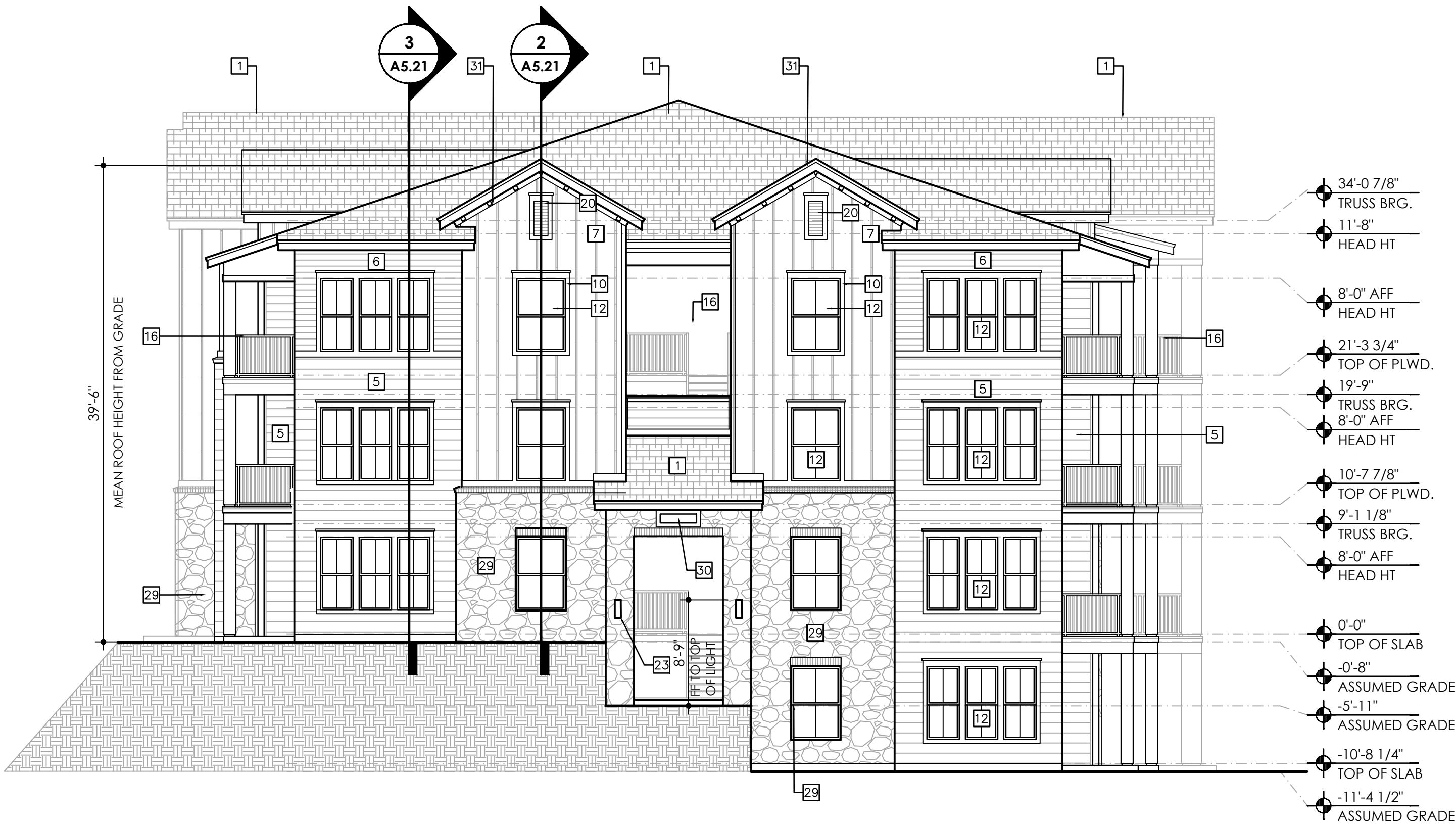
A2.42



2 REAR ELEVATION

BUILDING TYPE V

SCALE: 1/8"=1'-0"

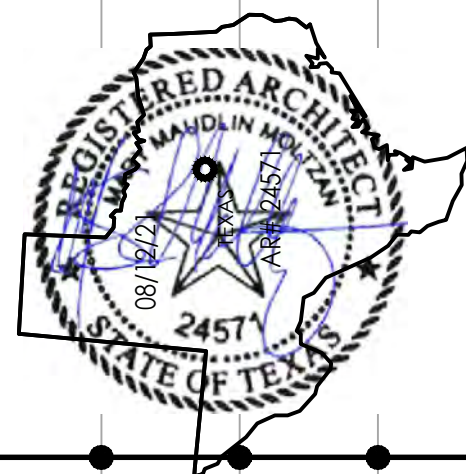


1 LEFT ELEVATION

BUILDING TYPE V

SCALE: 1/8"=1'-0"

SIGNAGE	ELEVATION KEYNOTES	GENERAL ELEVATION NOTES
ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES. ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.	1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP. 2. METAL ROOFING. 3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN. 4. TYPICAL STORE FRONT SYSTEM. 5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. 6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS. 7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL. 8. WIRE MESH FENCE. 9. NOT USED 10. FIBER CEMENT BOARD TRIM. TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS. 11. COLUMN WRAPPED IN FIBER CEMENT PANEL. 12. VINYL WINDOW. 13. METAL GARAGE DOOR. 14. ALUMINUM AND GLASS GARAGE DOOR. 15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE. 16. 42" STEEL GUARDRAIL SYSTEM, COLOR:BLACK OPAQUE. 17. 12X8 P.T. WOOD COLUMN, STAINED 18. WOOD BEAM, STAINED. 19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1X WOOD FLITCH PLATE. 20. DECORATIVE, PRE-MANUFACTURED LOUVER. 21. METER BANK PER ELECTRICAL DRAWINGS. 22. DECORATIVE BRACKET. 23. LIGHTING PER ELECTRICAL DRAWINGS. 24. SIGNAGE PER OWNER. 25. CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS. 26. ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE. 27. SLIDING DOOR SYSTEM PER DOOR SCHEDULE. 28. DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE, SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F. 29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT. 30. BUILDING NUMBER. 31. ARCHITECTURAL TOWERS. 32. DORMER WINDOW. 33. STONE HEADER.	A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC., SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED, IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. D. STAIR RAILS AND GUARDS TO BE STEEL. E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING. F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS. G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS. H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC. I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL. J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP. L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING. M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS. N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS. O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC., COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR. P. INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT. Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



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NORTHLAKE, TEXAS

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maitland florida 32751-7208
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BUILDING TYPE V

EXTERIOR

ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MMM
file: 4399A251
issue history:

PERMIT SET -08-12-21

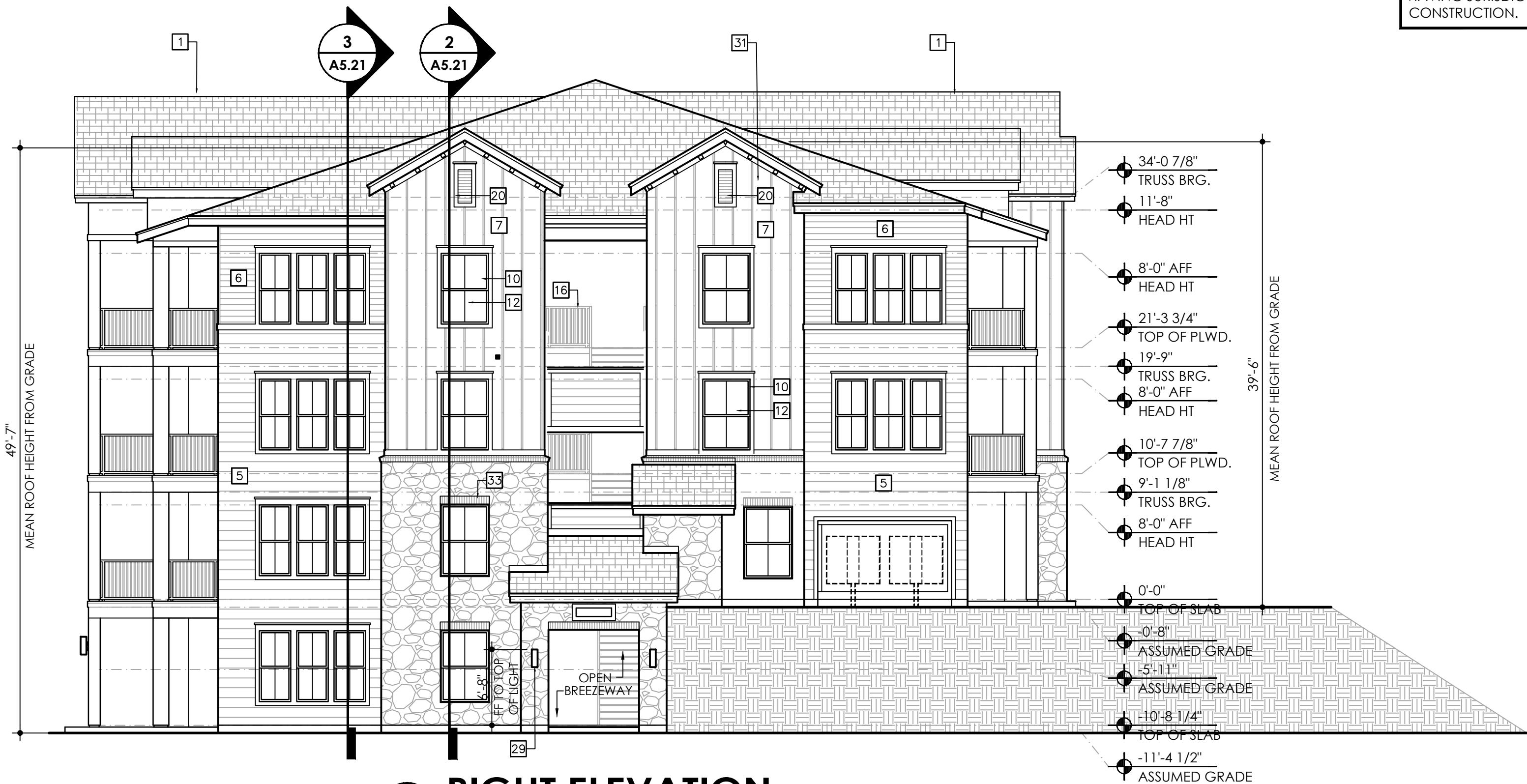
A2.51

Tania Addorich Tuesday, August 10, 2021 P:\4399 - LIV CANYON FALLS\DRAWINGS\1_APARTMENT\00_CURRENT\4399A252



2 FRONT ELEVATION
BUILDING TYPE V

SCALE: 1/8"=1'-0"



1 RIGHT ELEVATION
BUILDING TYPE V

SCALE: 1/8"=1'-0"

SIGNAGE

ADDRESS NUMBERS ARE REQUIRED AT FRONT AND REAR OF BUILDING, VISABLE FROM ROADWAY, WITH LETTERS AT A MINIMUM OF 4" HIGH (PREFERABLY 6") W/ CONTRASTING BACKGROUND COLOR. ADDITIONALLY, UNIT NUMBERS SHALL BE INDICATED AT THE APPROPRIATE ENTRANCES.

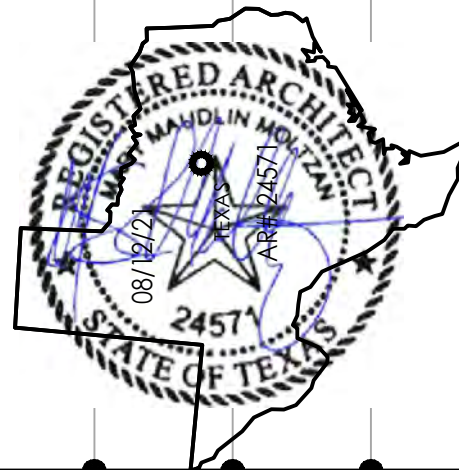
ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.

ELEVATION KEYNOTES

1. ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.
2. METAL ROOFING.
3. ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.
4. TYPICAL STORE FRONT SYSTEM.
5. FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
6. FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
7. FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
8. WIRE MESH FENCE.
9. NOT USED
10. FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
11. COLUMN WRAPPED IN FIBER CEMENT PANEL.
12. VINYL WINDOW.
13. METAL GARAGE DOOR.
14. ALUMINUM AND GLASS GARAGE DOOR.
15. CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.
16. 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE.
17. 12X8 P.T. WOOD COLUMN, STAINED
18. WOOD BEAM, STAINED.
19. 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE.
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29. CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE, STYLE: ROUGH CUT.
30. BUILDING NUMBER.
31. ARCHITECTURAL TOWERS.
32. DORMER WINDOW.
33. STONE HEADER.

GENERAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
- B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. STAIR RAILS AND GUARDS TO BE STEEL.
- E. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
- F. PROVIDE A PAINTABLE URETHANE SEALANT AT ALL CORNERS.
- G. PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
- H. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BREEZEWAY CEILINGS, BREEZEWAY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- I. PROVIDE POSITIVE SLOPE (1:2) AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.
- J. ALL ATTACHMENT AND PENETRATION THROUGH THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
- K. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.
- L. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- M. REFER TO SHEET A7.10 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- N. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS OF ELEMENTS.
- O. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- P. ■■■■■■■■ INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
- Q. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.



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BUILDING TYPE V

EXTERIOR

ELEVATIONS

date: 08-12-21

job no: 4399.21

drawn by: TYA

reviewed by: MMM

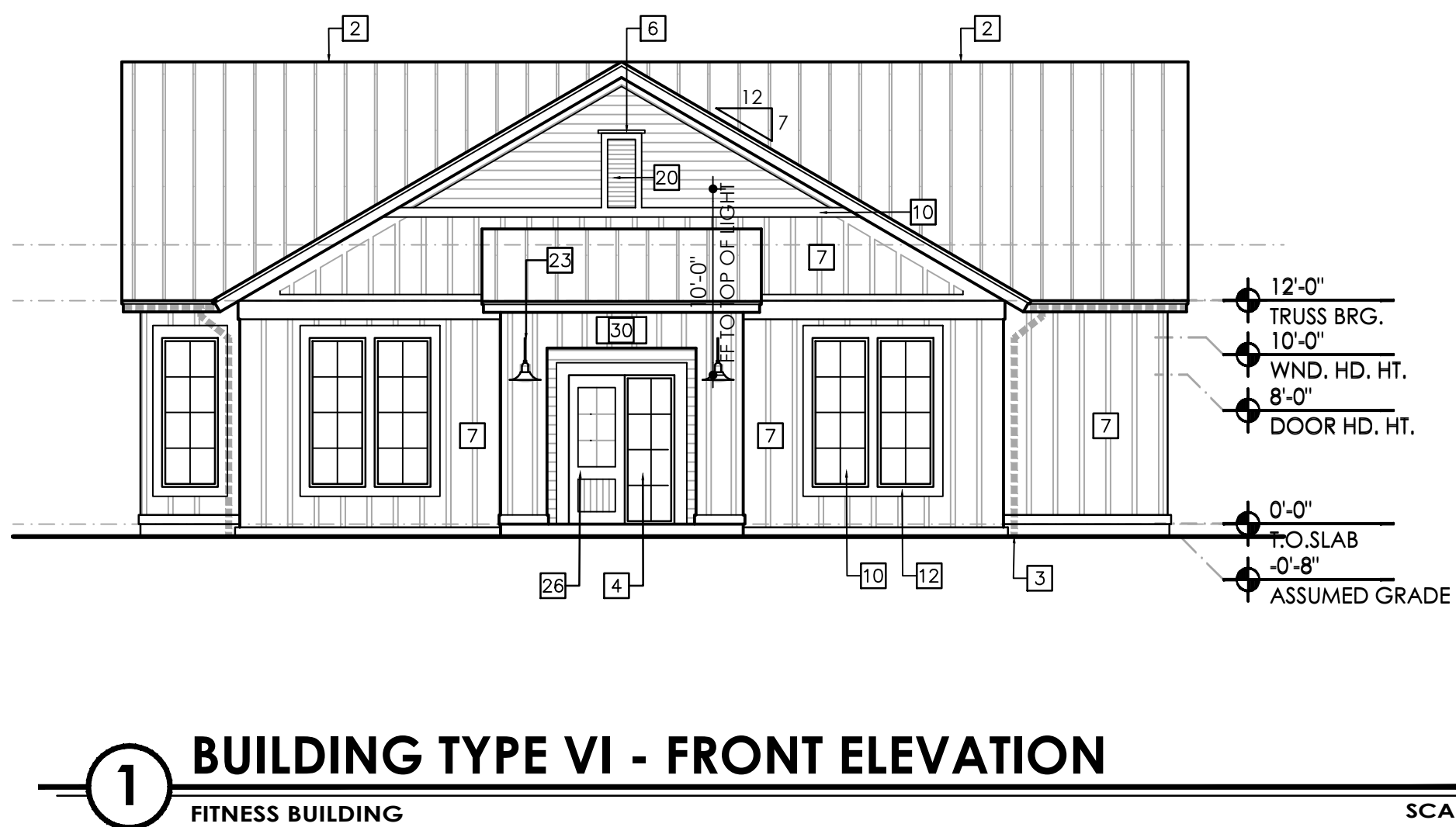
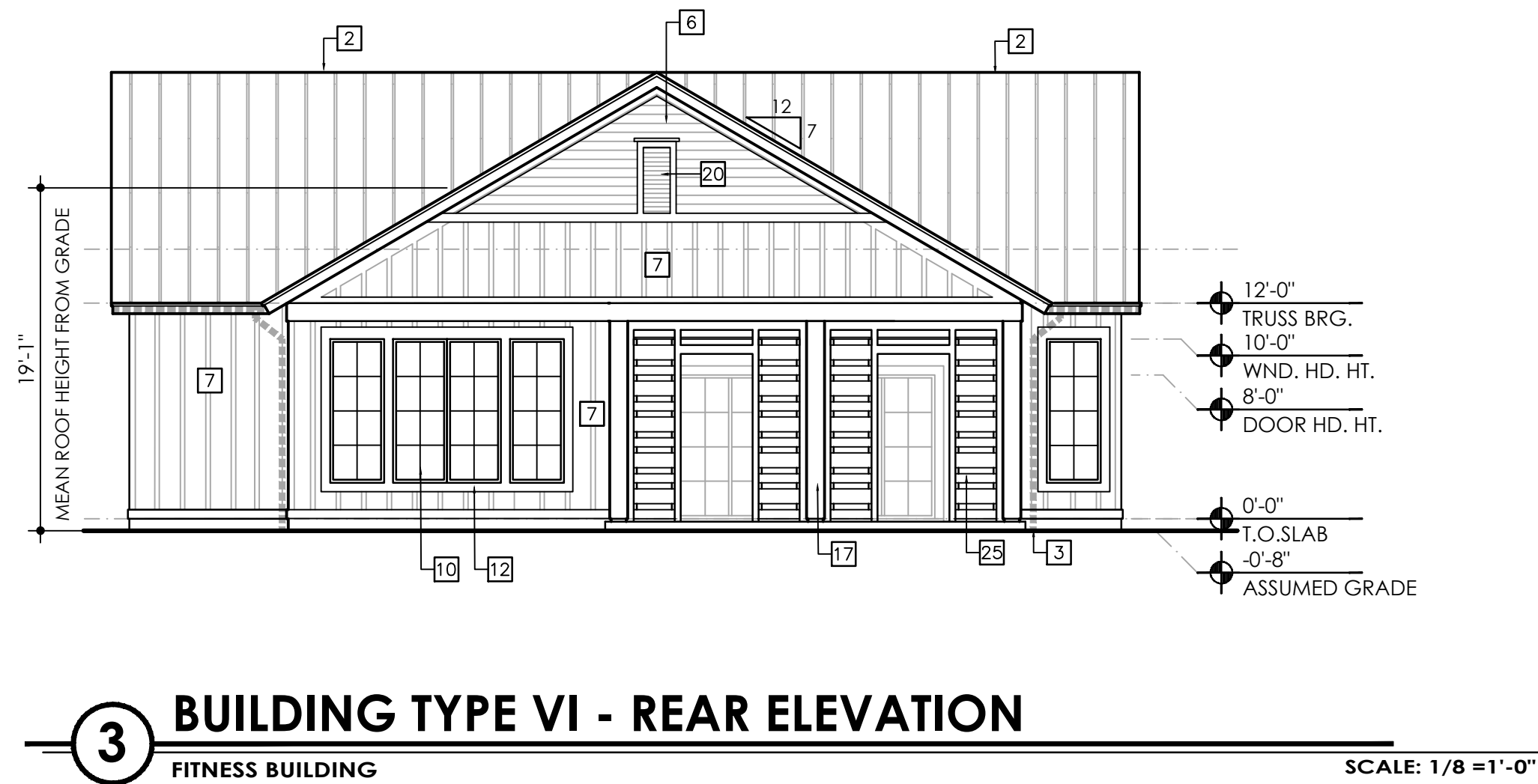
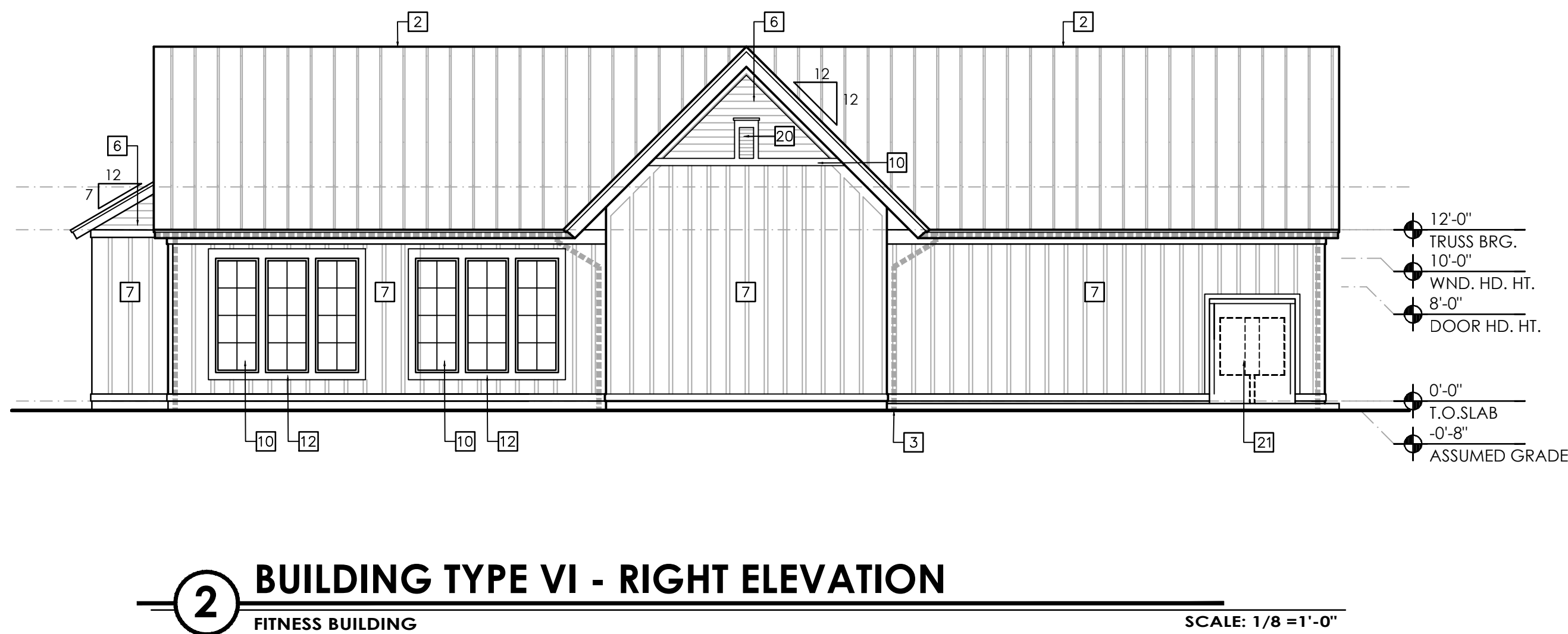
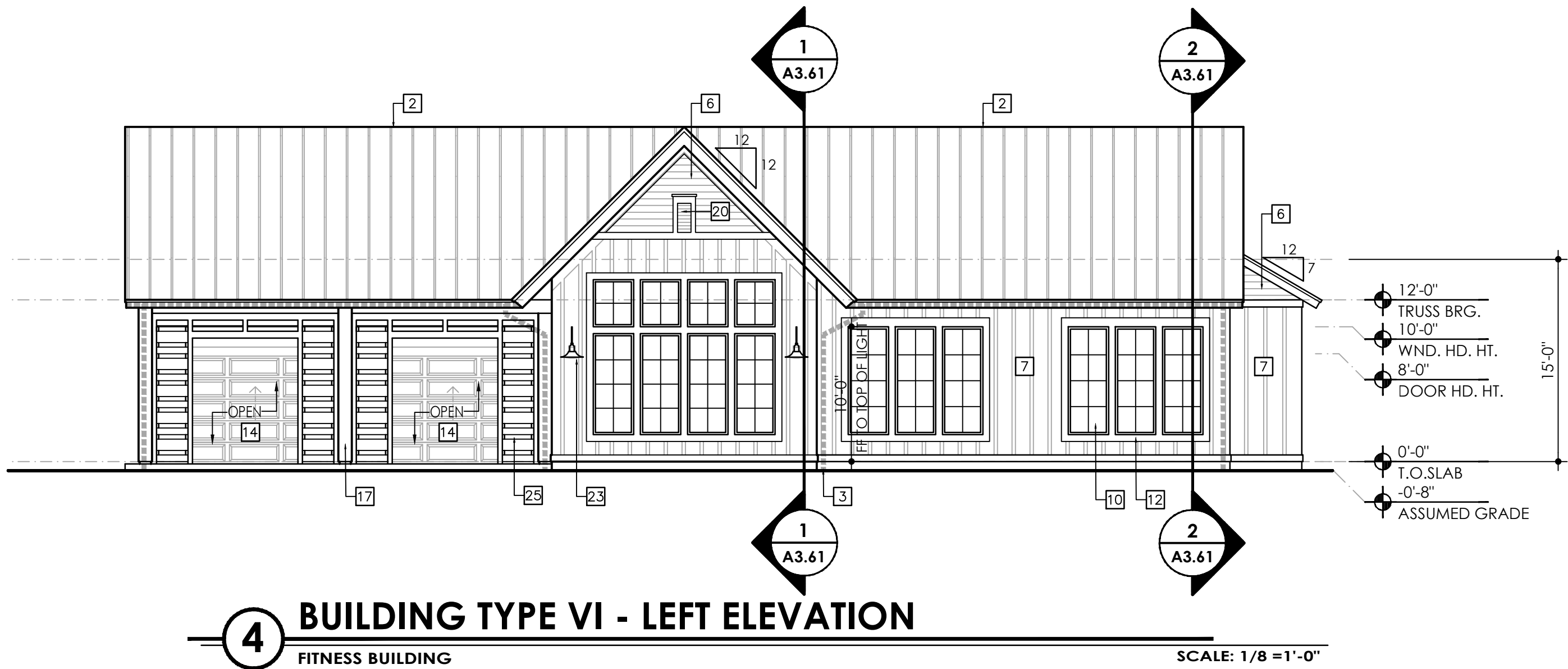
file: 4399A252

issue history:

PERMIT SET -08-12-21

A2.52

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SIGNAGE

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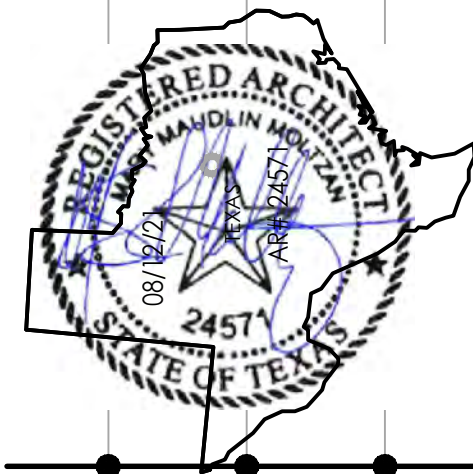
ALL SIGNAGE REQUIREMENTS ARE TO BE VERIFIED BY THE CONTRACTOR AN OWNER WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO FINAL ROUGH-IN CONSTRUCTION.

GENERAL ELEVATION NOTES

- REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
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- PROVIDE A PAINTABLE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
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- ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
- CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAIL.

ELEVATION KEYNOTES

- ARCHITECTURAL GRADE SHINGLES W/ MINIMUM 30 YEAR WARRANTY, TYP.
- METAL ROOFING.
- ARCHITECTURAL GRADE DOWNSPOUT AND GUTTER SYSTEM. SEE ROOF PLAN.
- TYPICAL STORE FRONT SYSTEM.
- FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT SMOOTH LAP SIDING WITH 4" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
- FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 11" O.C., TYPICAL.
- FIBER CEMENT PANEL SIDING, TYPICAL.
- FIBER CEMENT BOARD TRIM, TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
- COLUMN WRAPPED IN FIBER CEMENT PANEL.
- VINYL WINDOW.
- METAL GARAGE DOOR.
- ALUMINUM AND GLASS GARAGE DOOR.
- CUSTOM-FABRICATED WOOD SLIDING DOOR ON EXTERIOR-GRADE BARN DOOR HARDWARE.
- 42" STEEL GUARDRAIL SYSTEM. COLOR:BLACK OPAQUE.
- 12X8 P.T. WOOD COLUMN, STAINED
- WOOD BEAM, STAINED.
- 2 PRE-FABRICATED ROOF TRUSSES SEPARATED BY 1x WOOD FLITCH PLATE.
- DECORATIVE, PRE-MANUFACTURED LOUVER.
- METER BANK PER ELECTRICAL DRAWINGS.
- NOT USED.
- LIGHTING PER ELECTRICAL DRAWINGS.
- SIGNAGE PER OWNER.
- CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.
- ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.
- NOT USED.
- DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE, PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.
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- BUILDING NUMBER.
- ARCHITECTURAL TOWERS.
- DORMER WINDOW.
- STONE HEADER.



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BUILDING
TYPE VI - FITNESS
ELEVATIONS

date: **08-12-21**
job no: **4399.21**
drawn by: **CA**
reviewed by: **MMM**
file: **4399A261**
issue history:

PERMIT SET -08-12-21

A2.61



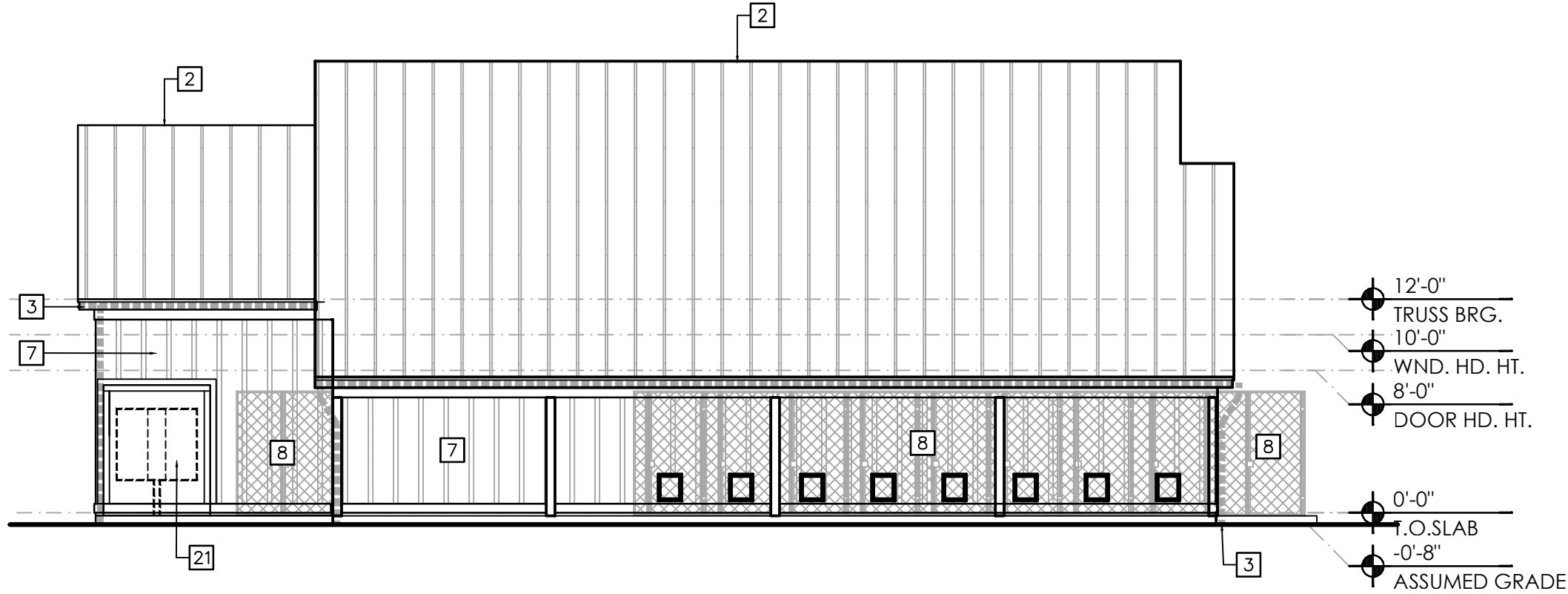
4 BUILDING TYPE VII- LEFT ELEVATION
MAINTENANCE/DOG WASH BUILDING

SCALE: 1/8 =1'-0"



2 BUILDING TYPE VII - RIGHT ELEVATION
MAINTENANCE/DOG WASH BUILDING

SCALE: 1/8 =1'-0"



3 BUILDING TYPE VII - REAR ELEVATION
MAINTENANCE/DOG WASH BUILDING

SCALE: 1/8 =1'-0"



1 BUILDING TYPE VII - FRONT ELEVATION
MAINTENANCE/DOG WASH BUILDING

SCALE: 1/8 =1'-0"

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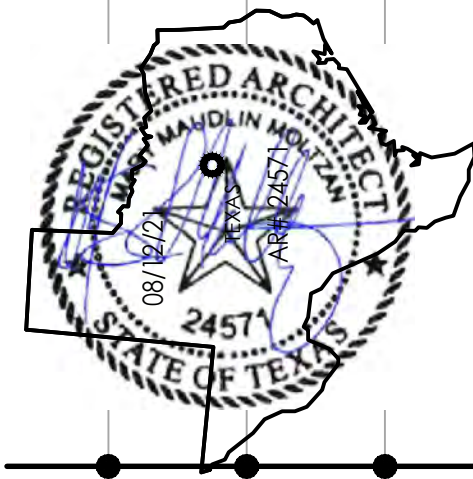
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- INDICATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.
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ELEVATION KEYNOTES

#

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- METAL ROOFING.
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- TYPICAL STORE FRONT SYSTEM.
- FIBER CEMENT SMOOTH LAP SIDING WITH 10" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT SMOOTH LAP SIDING WITH 6" REVEAL, 5/4X4" TRIM AT INSIDE AND OUTSIDE CORNERS.
- FIBER CEMENT BOARD AND BATTEN PANEL SIDING WITH 3" BATTENS AT 17" O.C., TYPICAL.
- WIRE MESH FENCE.
- NOT USED
- FIBER CEMENT BOARD TRIM. TYP. SEE ENLARGED ELEVATIONS FOR SPECIFICS.
- COLUMN WRAPPED IN FIBER CEMENT PANEL.
- VINYL WINDOW.
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- METER BANK PER ELECTRICAL DRAWINGS.
- DECORATIVE BRACKET.
- LIGHTING PER ELECTRICAL DRAWINGS.
- SIGNAGE PER OWNER.
- CUSTOM-FABRICATED SELECT GRADE DOUGLAS FIR LOUVER ASSEMBLY, STAINED WITH ALTERNATING LOUVER WIDTHS.
- ALUMINUM CLAD EXTERIOR DOORS PER DOOR SCHEDULE.
- SLIDING DOOR SYSTEM PER DOOR SCHEDULE.
- DIGITAL ACCESS PAD TO BE MOUNTED WITHIN REACH RANGE PER CODE. SUPPLIED POWER AND DATA TO BE MAX 48" A.F.F.
- CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE. STYLE: ROUGH CUT.
- BUILDING NUMBER.
- ARCHITECTURAL TOWERS.
- DORMER WINDOW.
- STONE HEADER.



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maitland florida 32751-7208
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www.cbaarchitects.com

BUILDING TYPE VII

MAINT./DOG WASH

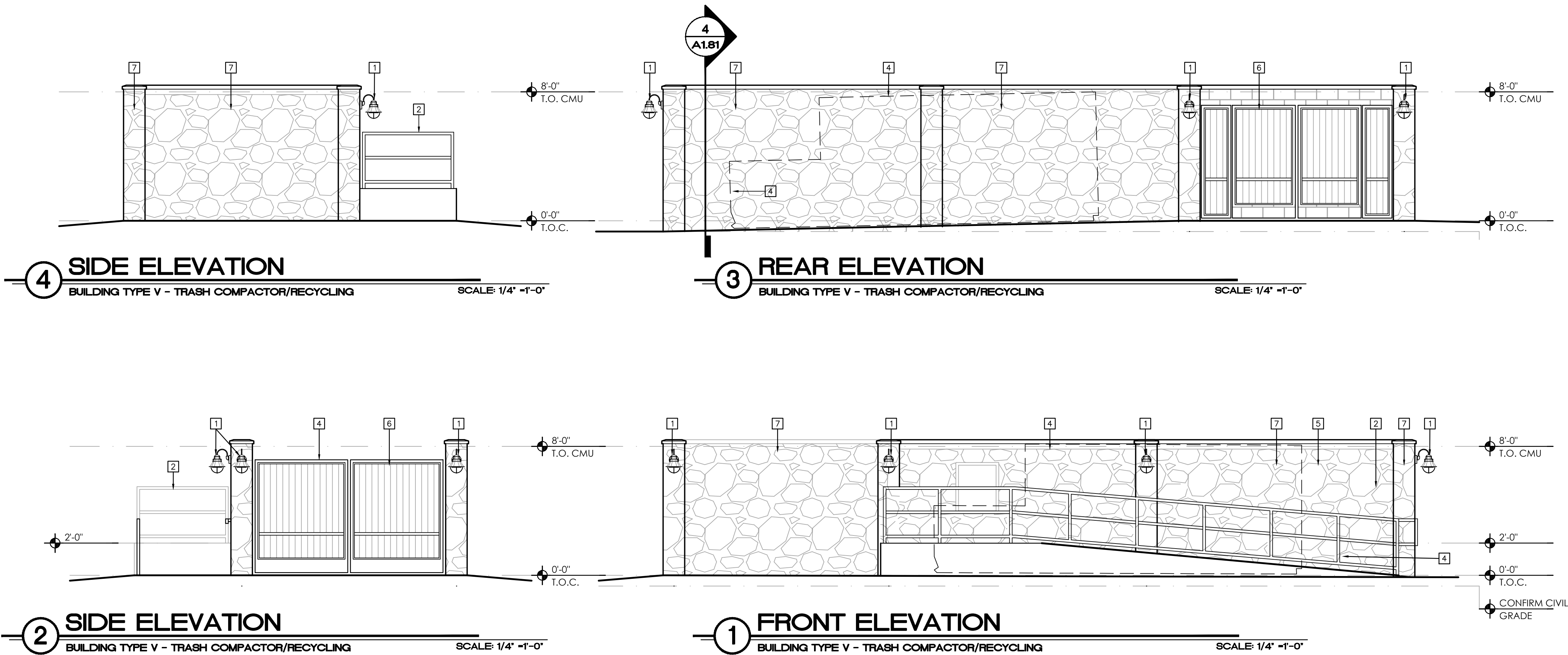
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TG
reviewed by: MMM
file: 4399A271
issue history:

PERMIT SET -08-12-21

A2.71

Monday, August 09, 2021 P:\4399 - LIV CANYON FALLS\DRAWINGS\1_APARTMENT\00_CURRENT\4399A281 Tino Comb



NOTES
1. FINISHED GRADE AND BERMS BY OTHERS. COORDINATE WITH CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
2. PROVIDE REQUIRED ELECTRICAL SERVICE TO COMPACTOR. REFER TO MANUFACTURE'S SPECIFICATIONS FOR VOLTAGE DATA.
3. PROVIDE ONE #5 REBAR IN FILLED CELL AT CORNERS AND AT 4'-0" ON CENTER IN FILLED CELL VERTICALLY.
4. PROVIDE HOSE BIB IN ENCLOSURE.
5. FILL CELLS TO 5'-0" ABOVE SLAB.
6. COMPACTOR MANUFACTURER TO REVIEW. MANUFACTURER TO CONFIRM AND SIGN OFF COMPACTOR MODEL TO BE USED WORKS WITH PLAN PROVIDED.

KEY NOTES

1

LIGHTING PER ELECTRICAL DRAWINGS.

2

42" HIGH METAL GUARDRAIL W/ HANDRAIL AT 34" ABOVE WALKING SURFACE. EXTEND HANDRAIL 12" BEYOND RAMP LENGTH AT TOP AND BOTTOM OF RAMP. COLOR: OPAQUE BLACK

3

6" CONCRETE FILLED STEEL BOLLARD

4

COMPACTOR BY OWNER

5

OPENING IN WALL FOR TRASH DISPOSAL BY RESIDENTS. FINAL COORDINATION OF CMU WALL OPENING PER EQUIPMENT SELECTION.

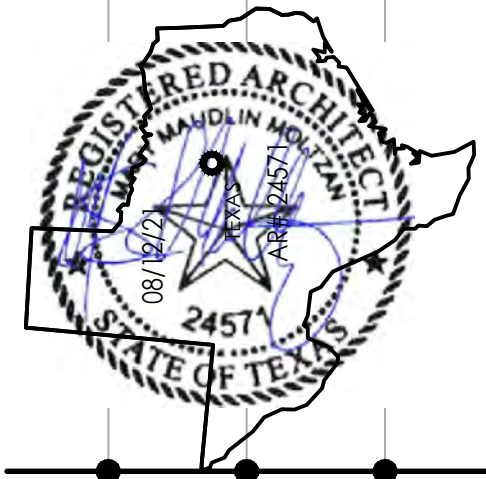
6

METAL GATE. COLOR: OPAQUE BLACK

7

CULTURED STONE BASIS OF DESIGN: CANYON MOSS STONE. STYLE: ROUGH CUT.

GENERAL ELEVATION NOTES
A. REFER TO ENLARGED ELEVATION SHEETS FOR TYPICAL ENLARGED ELEVATIONS & TYPICAL DETAIL MARKERS
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BUILDING TYPE VIII
TRASH COMPACTOR/
RECYCLING
ELEVATIONS

date: 08-12-21
job no: 4399.21
drawn by: TYA
reviewed by: MM
file: 4399A281
issue history:

PERMIT SET -08-12-21

A2.81

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